



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

September 6, 2024

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator



Cleveland City Planning Commission

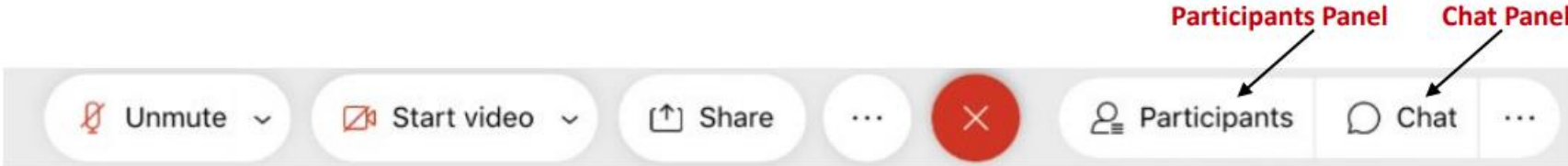
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. RECUSALS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE. IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



Cleveland City Planning Commission

P r e a m b l e

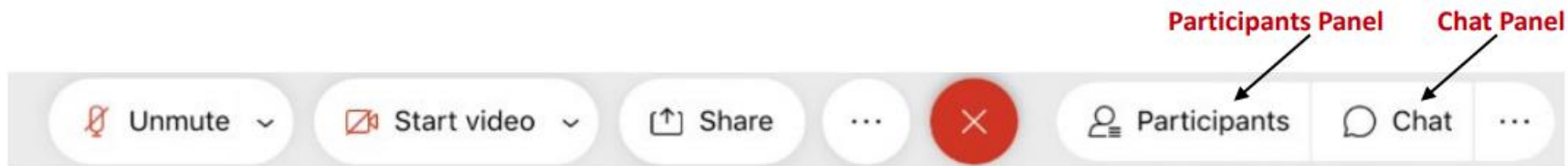
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER SUBMITTED THROUGH PROPER CHANNELS HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER. PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

COMMUNICATION WITH MEMBERS OF THIS BODY MUST FOLLOW PROPER CHANNELS FOR CONSIDERATION. ANY COMMENTS RECEIVED BY THE **WEDNESDAY 12:00 PM** DEADLINE ARE COLLECTED BY CITY PLANNING STAFF AND DISSEMINATED TO THE COMMISSION MEMBERS PRIOR TO ANY SCHEDULED MEETING.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



Sept 6, 2024

Cleveland City Planning Commission

Meeting Rules and Procedures

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission, in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Committee recommendations and any public comments received.
- The deadline for public comments is noon on the Wednesday prior to any regularly scheduled City Planning Commission meeting and will be read into the record. Any comments received by the deadline are distributed to Commission members prior to the meeting through Dropbox. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

Lillian Kuri, Chair

Sept 6, 2024

August Fluker, Vice Chair

Charles Slife, Council Member

Dr. Denise McCray-Scott

Erika Anthony

Andrew Sargeant

Isabella McKnight

Cleveland City Planning Commission

Call to Order and Roll Call



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Cleveland City Planning Commission

Zoning Text Amendments



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Ordinance No. 639-2024 (Introduced by Councilmember Maurer): To amend the title of Chapter 352 and Section 352.01 of [the] Codified Ordinances of Cleveland, Ohio, 1976, as amended by Ordinance No. 3077-A-89, passed June 17, 1991; and to supplement the Codified Ordinances, by enacting new Section 352.13, relating to lighting requirements for outdoor parking lots.

Sept 6, 2024

Ordinance No. 588-2024 (Introduced by Council Members McCormack and Spencer): To supplement the Codified Ordinances of the City of Cleveland, 1976 by enacting new Sections 686B.01 through 686B.11 and 686B.99 related to Short-Term Rentals, and by amending Sections 193.01, 193.02, 193.03 and 193.021 as amended by various ordinances related to the Transient Occupancy Tax, and by amending Section 337.02, as amended by Ordinance No. 586-16, passed July 13, 2016 related to One-Family Districts, and repealing Section 337.251, as amended by Ordinance No. 1444-16, passed January 23, 2017, related to Limited Lodging in Residence Districts.

Sept 6, 2024

Cleveland City Planning Commission

Lot Splits & Consolidations



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Lot Splits & Consolidations

For PPN# 105-07-020, -021, -076

Address: 1058 E. 62nd Street

Presenter: Carl and Senait Robson, Property Owners

Sept 6, 2024

Line #	Length	Bearing
L1	30.00'	S 89° 10' 00" E
L2	1.87'	N 71° 30' 00" E
L3	7.00'	S 89° 10' 00" E
L4	25.42'	N 71° 15' 00" E
L5	18.00'	N 71° 15' 00" E
L6	5.45'	N 71° 15' 00" E
L7	2.00'	N 70° 00' 00" E

CARRY AVENUE 50'
(FORMERLY CARRY STREET)
(A PUBLIC RIGHT-OF-WAY)

EASEMENT NOTES

This Plat establishes an 18' Access Easement benefiting Parcel "B". No building shall be constructed within said easement.

This plat establishes a blanket easement for existing utilities servicing the residence with the address of 1008 East 62nd Street over the northerly 30' by 75' portion of Parcel "B".

OWNERS ACCEPTANCE

I, (We) the undersigned owner(s) of the land shown hereon, do hereby accept this Plat of Lot Split and Consolidation of the same.

NOTARY

Before me a Notary Public in and for said County and State, personally appeared the above named owner(s) who acknowledged that he did sign the foregoing instrument and that it was his free will act and deed.

In witness whereof, I have hereunto set my hand and official seal at _____ this _____ day of _____ 202__.

APPROVALS

This Plat of Lot Split and Consolidation is accepted and approved by the Planning Director of the City of Cleveland, Ohio this _____ day of _____ 202__.

Joyce Pan Huang - Planning Director

This Plat of Lot Split and Consolidation is accepted and approved by the Planning Commissioner of the City of Cleveland, Ohio this _____ day of _____ 202__.

Richard Seifried - Planning Commissioner

REFERENCE SURVEYS

- The Meyer, Wageman and Thoman Subdivision as recorded in Volume 4, Page 44 of Cuyahoga County Map Records. (Rec.)
- Foreman, Bates and Stone's Subdivision as recorded in Volume 8, Page 26 of Cuyahoga County Map Records. (Rec.)
- The St. Clair-Norwood Community Rehabilitation Corporation Subdivision as recorded in Volume 138, Page 11 of Cuyahoga County Map Records. (Base)
- Plat of Survey for Mountain Park Installation, LLC by Gulsosky & Associates, Inc., Dated April 4, 2023. (Sur)
- City of Cleveland Survey Records (CSR)

ST. CLAIR AVENUE N.E. 99'
(FORMERLY ST. CLAIR STREET)
(VOLUME 10, PAGE 6 OF C.C.M.R.)
(A PUBLIC RIGHT-OF-WAY)

BASIS OF BEARINGS

The centerline of St. Clair Avenue as North 71°30'37" East is an assumed bearing and is used to indicate angles only.

PLAT OF LOT SPLIT AND CONSOLIDATION OF ROBSON PROPERTIES P.P.N. 105-07-020 P.P.N. 105-07-021 P.P.N. 105-07-076 CREATING PARCELS "A", "B", & "C" CITY OF CLEVELAND, OHIO

LEGEND

- = Monument Box Found
 - = Iron Pin Found
 - = Iron Pipe Found
 - = 3/8" Iron Pin Set
 - ⊕ = 3/8" Stake Set / Found
 - ⊖ = 3/8" Nail Set / Found
 - ⊗ = Curbside
 - ⊘ = Property Line
- Parcel / Sublot No. Original Parcel / Sublot No. Original Lot / Section Line Color. Subject Property Line. Easement Line.

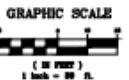
INTENT STATEMENT

The intent of this Lot Split & Consolidation plat is to split the 78 feet of the vacant front portion of P.P.N. 105-07-076 off and consolidated it with P.P.N. 105-07-020 (1080 East 62nd Street) creating Parcel "B". A 7.5 foot rear portion of P.P.N. 105-07-021 is to be split off and consolidated with the remainder of P.P.N. 105-07-076 (1058 East 62nd Street) creating Parcel "C".

CERTIFICATION

This plat was prepared from a field survey, analysis of recorded plats, recorded deeds, and city survey records. Bearings shown herein are to an assumed meridian and are intended to indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge. I hereby certify I have surveyed the subject premises and prepared this drawing in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code.

Building Department August 20, 2024
October 10, 2023
Peter J. Gaurloff P.S. No. 8046 Date
Note: 3/8" iron pins set and capped "Riverstone Company-956743-PS8640"



RIVERSTONE

LAND SURVEYING, ENGINEERING, DESIGN
3800 LAKEVIEW AVENUE - SUITE 100
CLEVELAND, OHIO 44114
PHONE (216) 491-2000 FAX (216) 491-9640
WWW.RIVERSTONE-SURVEY.COM

Date _____

Lot Splits & Consolidations

For PPN# 004-21-008

Address: 1025 Starkweather Avenue

Presenter: Justin Davies, Davies Architecture

Sept 6, 2024

1025 STARKWEATHER AVE.

1025 STARKWEATHER AVE.
CLEVELAND, OH

OWNER: 1025 STARKWEATHER PROPERTIES, LLC
515 EUCLID AVE. #1809
CLEVELAND, OH 44114

CONTACT: PATRICK MANFRON
(216) 310-9315
PMANFRON@GMAIL.COM

ARCHITECT: DAVIES ARCHITECTURE

16680 CHILlicothe RD.
CHA GRIN FALLS, OH 44023

CONTACT: JUSTIN DAVIES, AA
(857) 204-7400
JUSTIN@DAVIESARCHITECTURE.COM



15908 CHADBOURNE RD.
SHAKER HEIGHTS, OH
JUSTIN@DAVIESARCHITECTURE.COM
P: (857) 204-7430

SHEET	DESCRIPTION	REVISIONS
CP-1	COVER PAGE	
SP-1	SITE PLAN / ZONING ANALYSIS	
A-1	FLOOR PLANS	
A-2	ELEVATIONS	

PLANNING / ZONING REVIEW
SUBMISSION
4 AUGUST 2024

REAR PROPERTY VIEW
LOOKING NORTH EAST TOWARDS ST ARKWEATHER AVE.

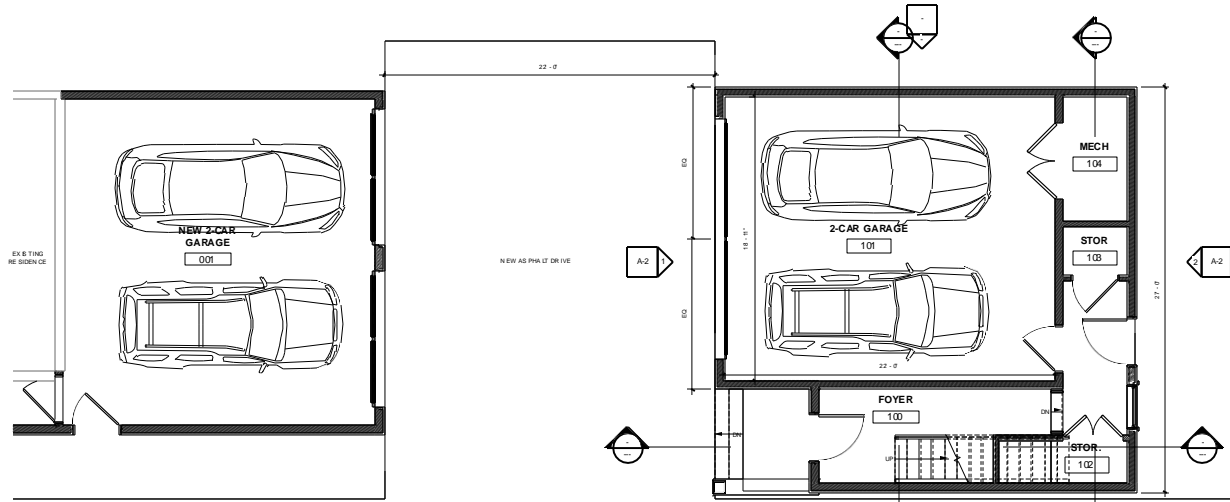
PROPERTY TO WEST
LOOKING SOUTH FROM ST ARKWEATHER AVE.

FRONT PROPERTY VIEW
LOOKING SOUTH FROM ST ARKWEATHER AVE.

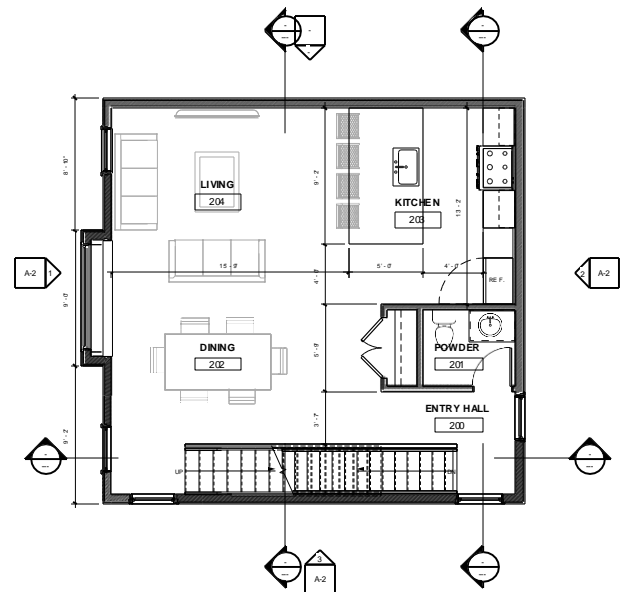
PROPERTY TO EAST
LOOKING SOUTH FROM ST ARKWEATHER AVE.

REAR PROPERTY VIEW
LOOKING EAST

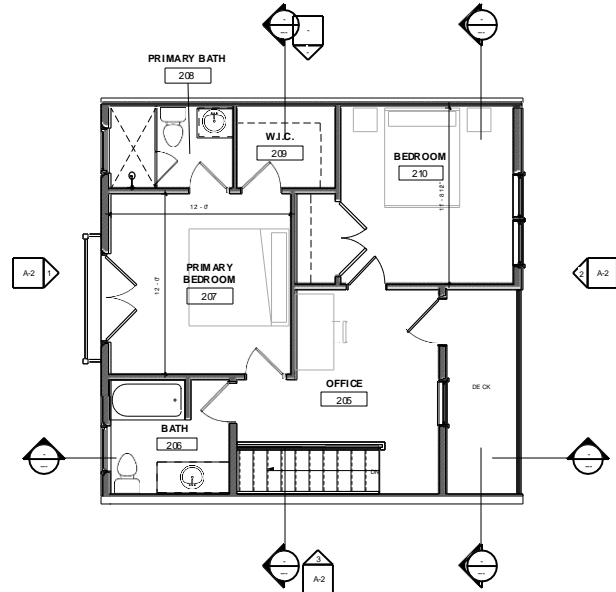
REAR PROPERTY VIEW
LOOKING SOUTHEAST



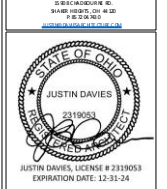
GROUND FLOOR
1/4" = 1'-0"
0 5 10
GRAPHIC SCALE
(IN FEET)



SECOND FLOOR PLAN
1/4" = 1'-0"



THIRD FLOOR PLAN
1/4" = 1'-0"



1025 STARKWEATHER AVE.
1025 STARKWEATHER
AVE. CLEVELAND, OH

FLOOR PLANS

DATE: 4 AUGUST 2024

FILED FOR
PLANNING / ZONING
REVIEW SUBMISSION

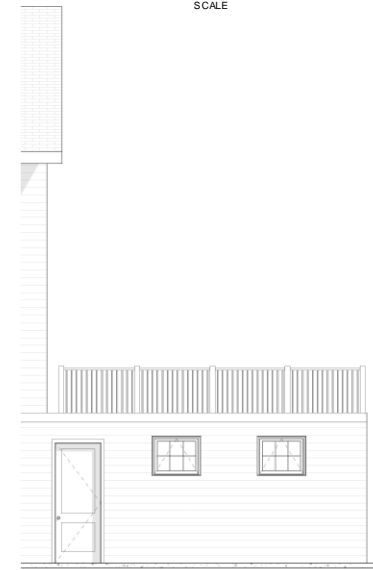
A-1



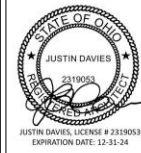
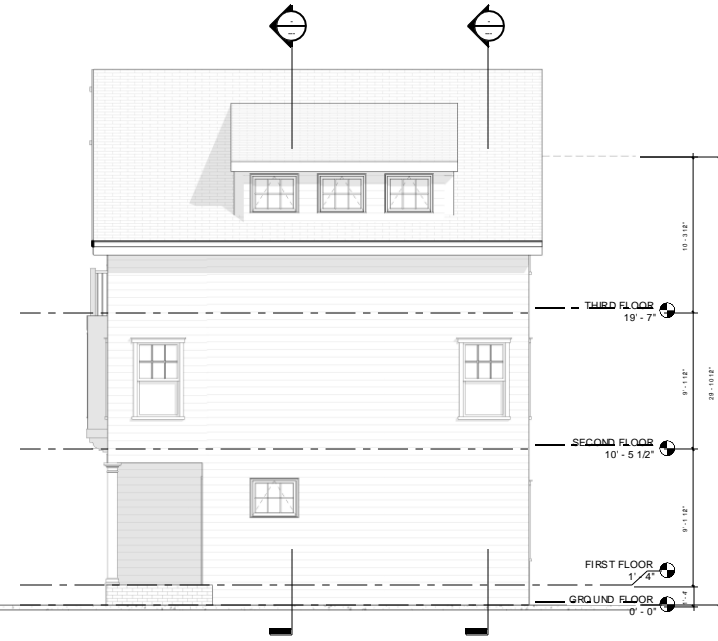
1 FRONT (NORTH) ELEVATION
1/2" = 1'-0"
0 5 1 2
GRAPHIC SCALE



2 REAR (SOUTH) ELEVATION
1/2" = 1'-0"



3 SIDE (NORTH) ELEVATION
1/2" = 1'-0"



1025 STARKWEATHER AVE.
1025 STARKWEATHER
AVE. CLEVELAND, OH

PROJECT: ELEVATIONS

DATE: 4 AUGUST 2024

FILE FOR: PLANNING / ZONING REVIEW SUBMISSION

ARCHNO: **A-2**

BOUNDARY SURVEY

SITUATED IN

THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
KNOWN AS BEING PART OF SUBLOTS 99 AND 100 IN JOHN G.
JENNINGS AND OTHERS SUBDIVISION AS SHOWN BY THE RECORDED
PLAT OF SAID SUBDIVISION IN VOLUME 1 OF MAPS, PAGE 15
CUYAHOGA COUNTY RECORDS

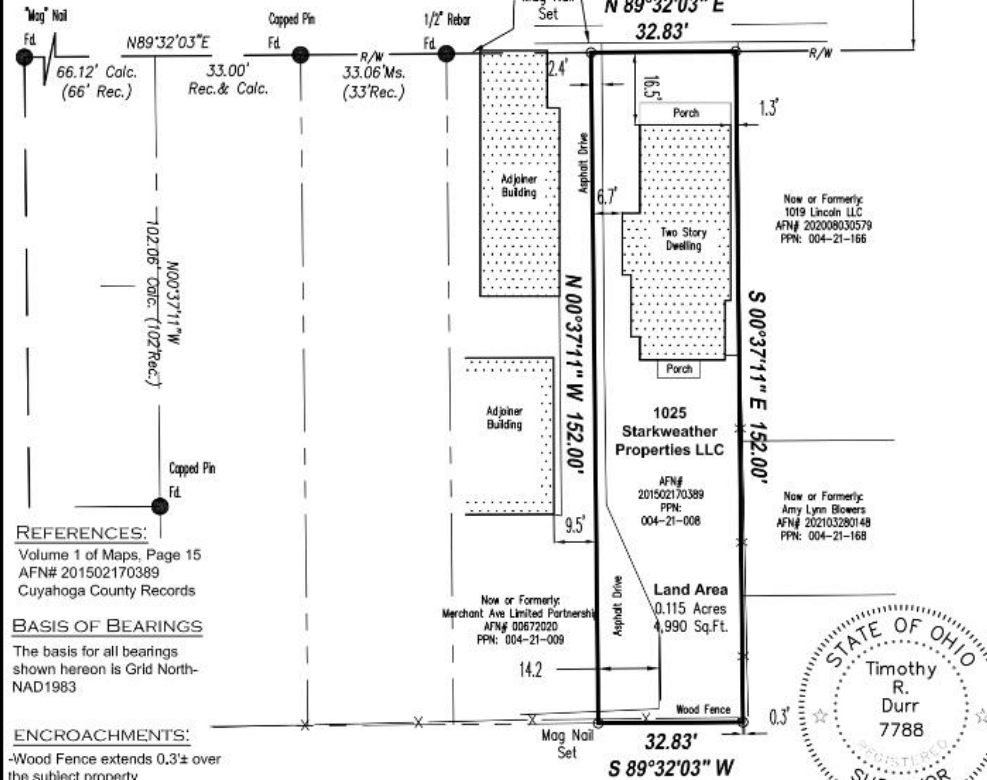


LEGEND

- Monumentation found (as noted)
- 1/2" Rebar set w/ cap stamped
"LMS DURR 7788"
- R/W - Right of way
- Fd. - Found
- C/L - Centerline
- Rec. - Record
- Msd. - Measured
- Calc. - Calculated

Starkweather Avenue

100' Public R/W



REFERENCES:

Volume 1 of Maps, Page 15
AFN# 201502170389
Cuyahoga County Records

BASIS OF BEARINGS

The basis for all bearings shown hereon is Grid North-NAD1983.

ENCROACHMENTS:

-Wood Fence extends 0.3'± over the subject property



(IN FEET)

1 inch = 30 ft.

LMS SURVEYING LTD

Professional Commercial & Residential Land Surveys
P.O. Box 65 • Sharon Center • OH • 44274
330.329.6812 / Surveys@LMSurveying.com

PREPARED FOR:
PATRICK MANFRONI
1025 STARKWEATHER AVENUE
CLEVELAND, OH 44113

I hereby certify to the best of my professional knowledge and belief this survey plat to be a true and correct delineation of a survey made on the ground in September of 2021.

Timothy R. Durr, P.S. 7788
Project No. B-211004



Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

NW2024-xx Walton Apartments: Seeking Schematic Approval

Project Address: 3517 Walton Avenue

New construction of a complete senior living development

Representative: Greg Baron Volker/RDL

Sept 6, 2024

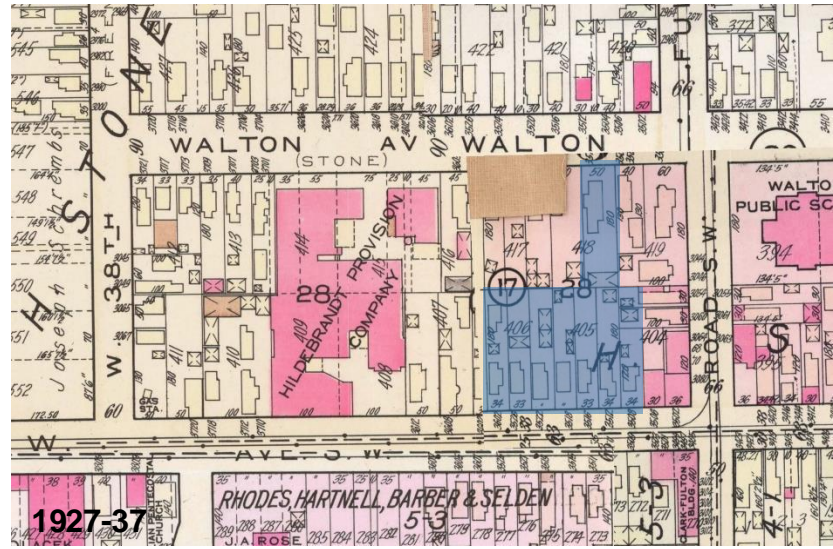
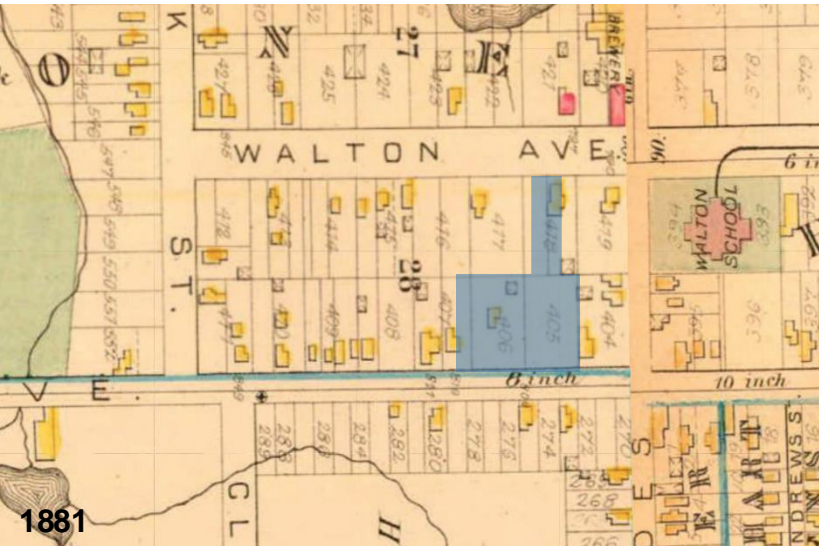
WALTON APARTMENTS

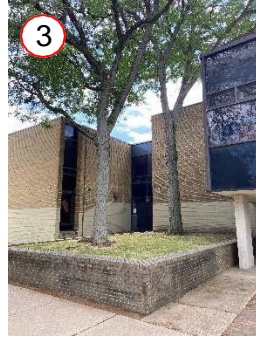
ADDRESS: 3517 WALTON AVENUE
PROPOSED 52-UNIT SENIOR APARTMENT BUILDING
CLEVELAND PLANNING COMMISSION
09/06/2024

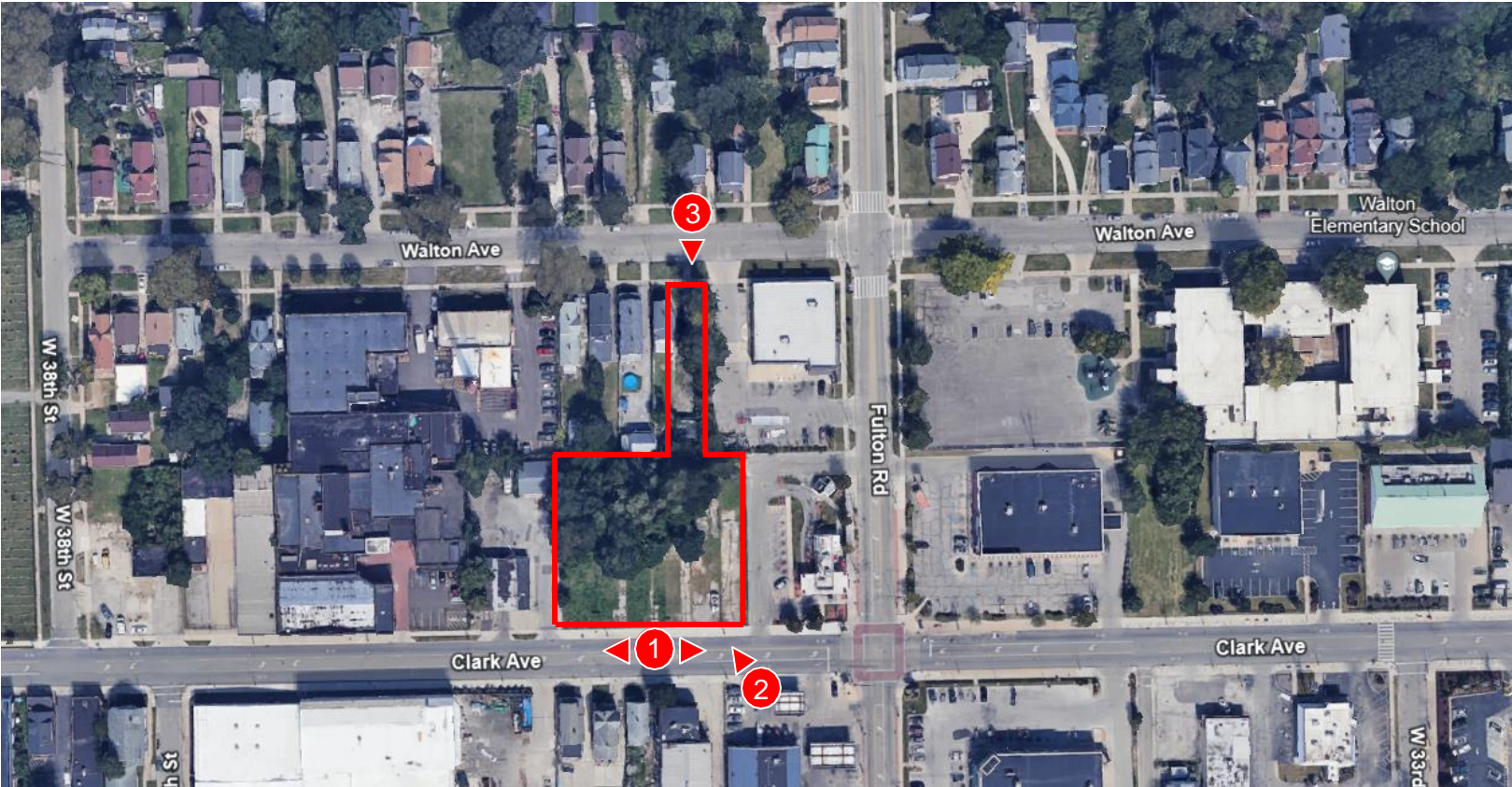
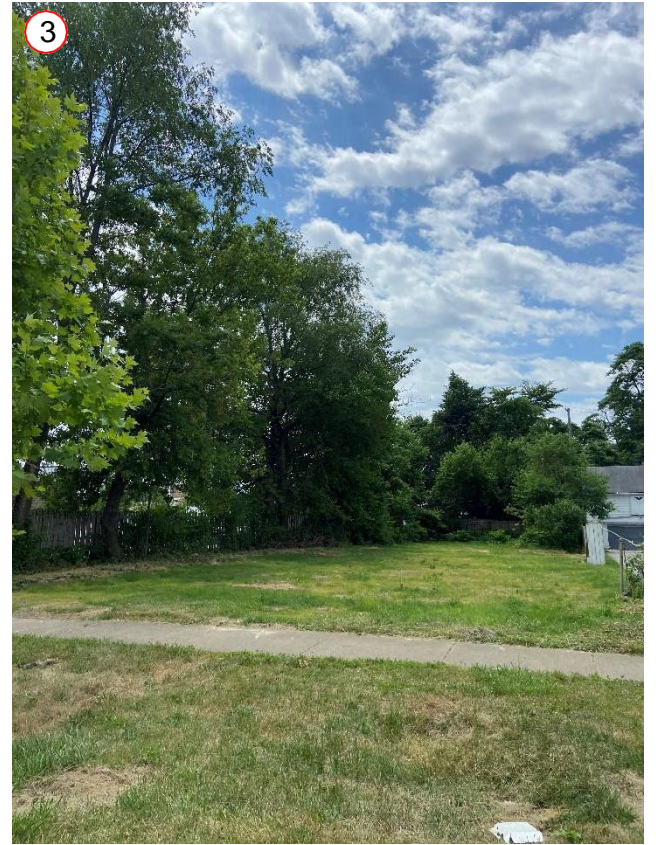


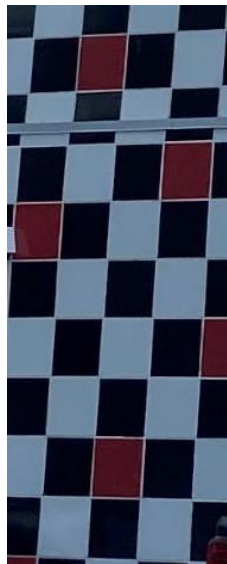


WALTON APARTMENTS | CLEVELAND, OHIO | NEIGHBORHOOD CONTEXT

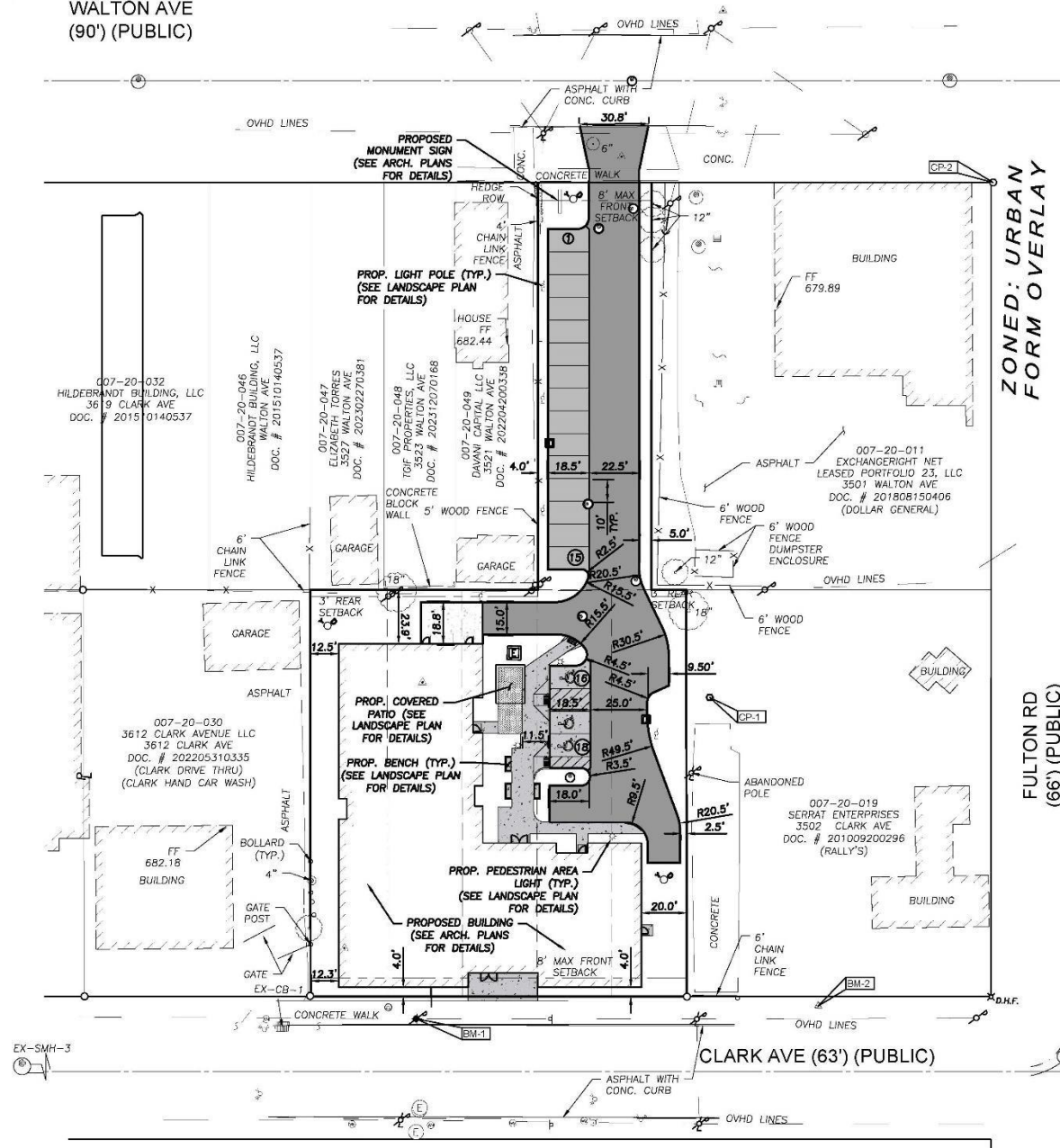








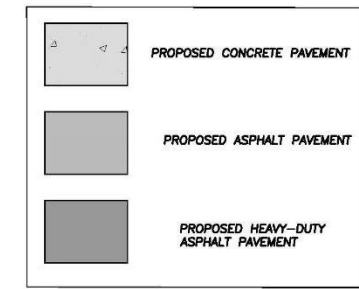
WALTON AVE
(90') (PUBLIC)



ZONING MF-G2 - MULTI-FAMILY, LLR-G2 - LIMITED RETAIL BUSINESS, & URBAN FORM OVERLAY AT CLARK PROPOSED USE 4-STORY MF SENIOR APARTMENT BUILDING
ACREAGE +/- 0.89-AC (38,880-SF)
UNIT COUNT 52 UNITS 36 ONE-BEDROOMS
16 TWO-BEDROOMS

	REQUIRED	PROVIDED
MAX. GROSS BLDG AREA	G (3x), 116,640-SF	53,929 SF
BUILDING HEIGHT	60' MAX	50' TO HT PT
FRONT YARD SETBACK	0' MIN - 8'	4'
REAR YARD SETBACK	3'	17'
SIDE YARD SETBACK	0'	12'
OFF-STREET PARKING 25% UFO REDUCTION	1 SPACE/ 3 DU	18 SPACES REQ'D 5 SPACES REQ'D 18 SPACES SHOWN
DRIVE AISLE WIDTH	22'	22'
PARKING STALL	180-SF	180-SF
FRONTAGE BUILD-OUT	80% MIN	80%

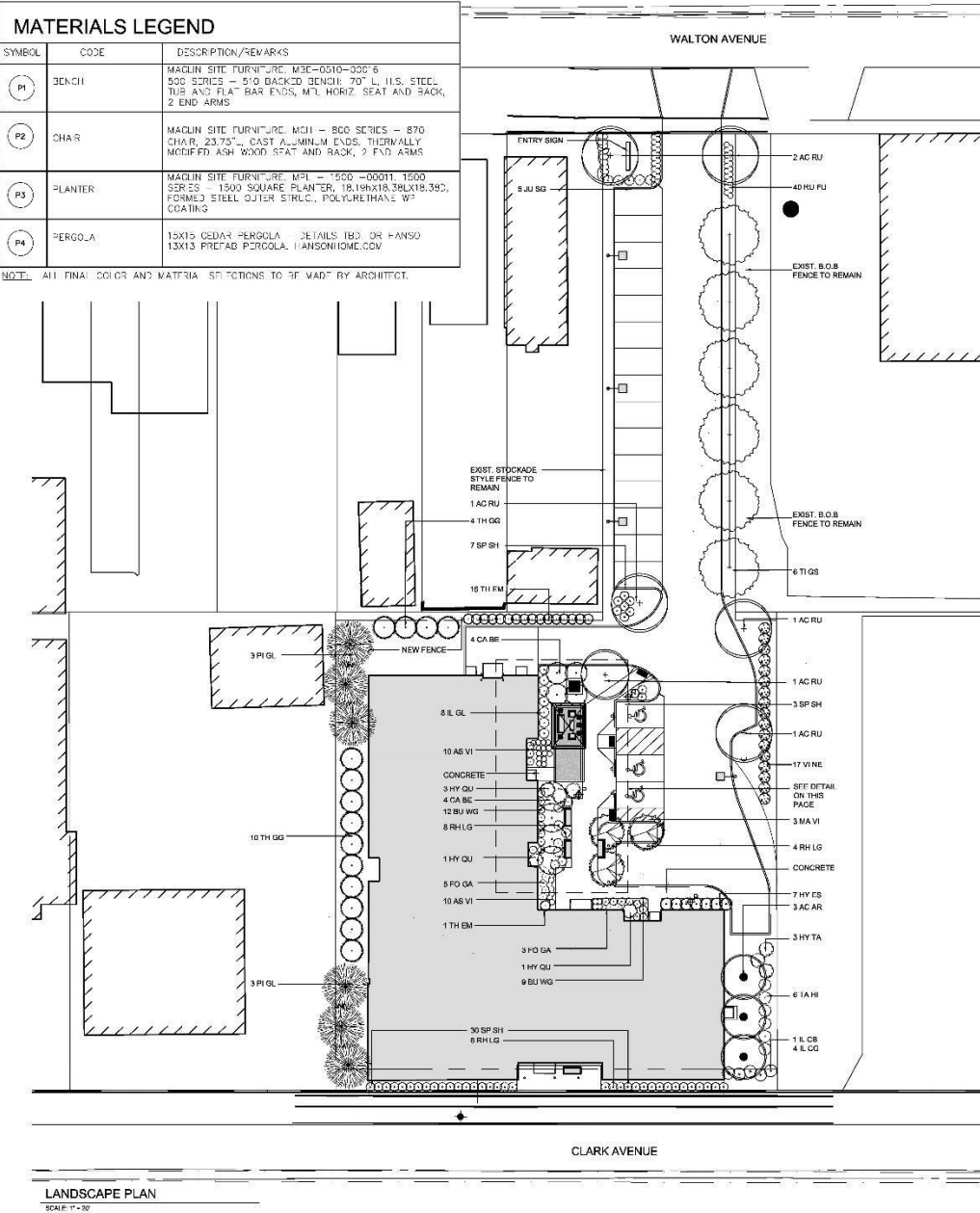
HATCH LEGEND:



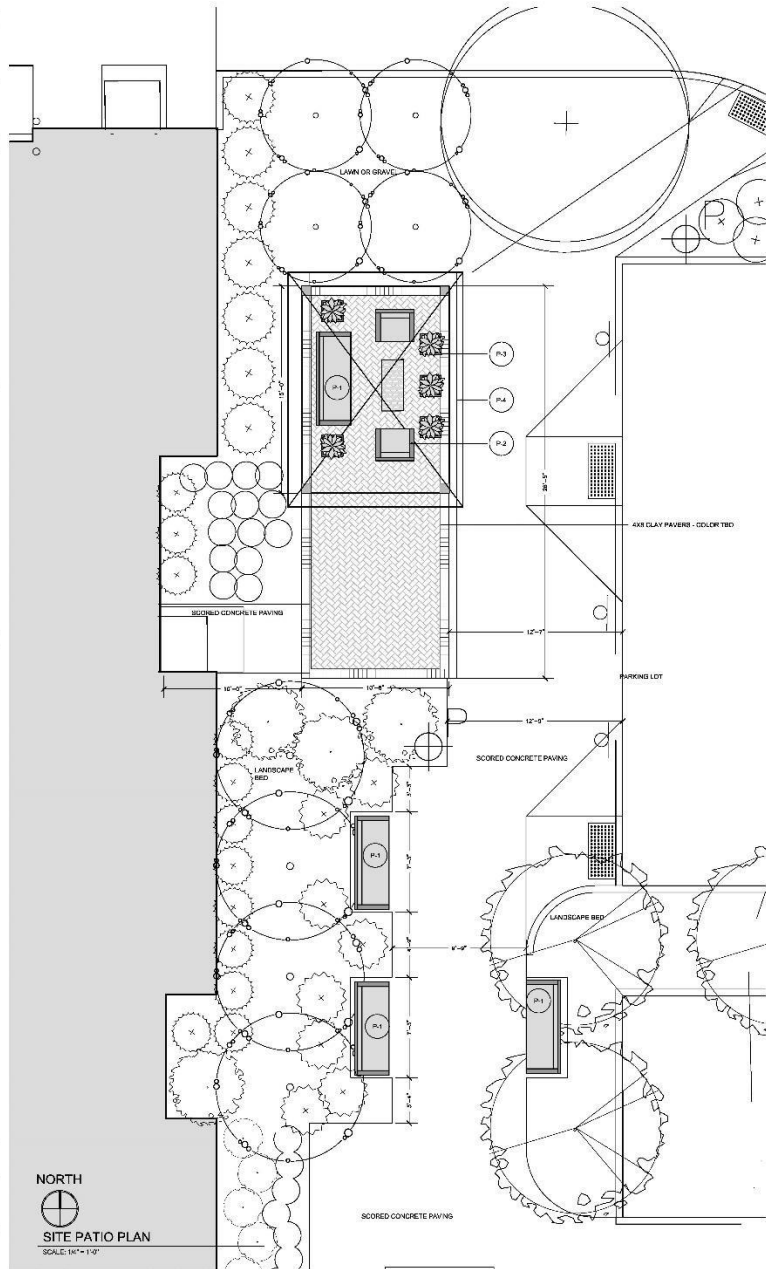
MATERIALS LEGEND

SYMBOL	CODE	DESCRIPTION/REMARKS
P1	BENCH	MAGLIN SITE FURNITURE, M3E-0010-000'6" 500 SERIES - 5'0" BACKED BENCH; 70" L, 11.5" STEEL TUB AND FLAT BAR ENDS, M/L HORIZ. SEAT AND BACK, 2 END ARMS
P2	CHAR	MAGLIN SITE FURNITURE, M3E - 800 SERIES - 870 CHAR, 23.75" CAST ALUMINUM ENDS, THERMALLY MODIFIED ASH WOOD SEAT AND BACK, 2 END ARMS
P3	PLANTER	MAGLIN SITE FURNITURE, M3E - 1500 - 00011, 1500 SSR ES - 1500 SQUARE PLANTER, 18.18X18.38X18.38"; FORMED STEEL OUTER SURF., POLYURETHANE W/ COATING
P4	PERGOLA	15X15 CEDAR PERGOLA - DETAILS TBD OR FANSO 13X13 PRECAB PERGOLA (LANSONIOME.COM)

NOTE: ALL FINAL COLOR AND MATERIAL SPECIFICATIONS TO BE MADE BY ARCHITECT.



LANDSCAPE PLAN
SCALE: 1" = 30'



NORTH
SITE PATIO PLAN
SCALE: 1/4" = 1'-0"



POPULUS STUDIO
LANDSCAPE ARCHITECTS
2171 DENNINGTON DR. CLEVELAND, OH

WALTON SENIOR APARTMENTS OVERALL LANDSCAPE PLAN

3517 WALTON AVENUE, CLEVELAND, OHIO

REVISIONS

NO.	DATE	DESCRIPTION
1	8.21.24	City Submission
2	8.27.24	City Submission
3	9.6.24	Planning

Scale: As Noted
Date: 7.5.2024
Drawn: MCB
Project: WALTON SENIOR
Phase: I
Sheet:

L - 2

PLANT LIST (SAME AS L-4)

Symbol	Common Name	Scientific Name
AC AR	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE
AC RU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE
AL MI	ALLIUM 'MILLENNIUM'	ORNAMENTAL ONION
AS VI	ASTILBE 'VISIONS IN PINK'	PINK VISIONS ASTILBE
BU WG	BUXUS 'WINTER GEM'	WINTER GEM 'BOXWOOD'
CA BE	CARPINUS BETULUS 'COLUMNARIS'	COLUMNARIS HORBEAM
FO GA	FOTHERGILLA GARDENII 'MT. AIRY'	MT. AIRY FOTHERGILLA
HY TA	HYDRANGEA PANGULATA 'TARDIVA'	TARDIVA HYDRANGEA
HY QU	HYDRANGEA QUERC. 'SNOW QUEEN'	HENRY'S GARNET SWEETSPHIRE
HY FS	HYDRANGEA MACRO. 'FINDI' FSS SUMMER	FINDI FSS SUMMER HYDRANGEA
IL CB	ILEX X 'CHINA BOY'	CHINA BOY HOLLY
IL CG	ILEX X 'CHINA GIRL'	CHINA GIRL HOLLY
IL GL	ILEX GLABRA 'SHAMROCK'	INKBERRY HOLLY
JU SG	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER
MA VI	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA
PI GL	PICEA GLAUCA	WHITE SPRUCE
RH LG	RHUS ARGMATICA 'GRO-LOW'	GRO-LOW SUMAC
RU FU	RUBRICKIA FULG. 'GLITTERS GOLD'	GLITTERS GOLD BLACK EYED SUSAN
SP SH	SPIRAEA 'JAPONICA' 'SHIROBANA'	SHIROBANA SPIRAEA
TA HI	TAXUS MED. 'HICKSI'	HICKSI YEW
TH GM	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE
TH EM	THUJA OCCIDENT. 'EMERALD'	EMERALD ARBORVITAE
TI CO	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN
VI NF	VIBURNUM PLICATUM 'NEWPORT'	NEWPORT VIBURNUM



LANDSCAPE PLAN
SCALE: 1" = 20'



MAGNOLIA VIRGINIANA ACER X FREEE 'ARMSTRONGS' ACER RUS 'OCTOBER GLORY' ALLIUM 'MILLENNIUM'



ASTILBE 'VISIONS IN PINK' BUXUS 'WINTER GEM' CARPINUS BET. 'COLUMNARIS'



FOTHERGILLA GARDENII 'MT. AIRY' HYDRANGEA PAN. 'TARDIVA' HYDRANGEA QUERC. 'SNOW QUEEN'



HYDRANGEA MAC. 'ENDLESS SUMMER' ILEX 'CHINA BOY' / 'CHINA GIRL' ILEX GLABRA



THUJA OCCIDENT. 'EMERALD' JUNIPERUS 'SEA GREEN' PICEA GLAUCA RHUS AROM. 'GRO LOW'



RUBRICKIA 'GLITTERS GOLD' SPIRAEA JAPON. 'SHIROBANA' TAXUS MED. 'HICKSI'



THUJA PLICATA 'GREEN GIANT' TILIA CORDATA 'GREENSPIRE' VIBURNUM PLICATUM 'NEWPORT'



POPULUS STUDIO
LANDSCAPE ARCHITECTS
2171 DENNINGTON DR., CLEVELAND, OH

WALTON SENIOR APARTMENTS
SITE RENDERING
3517 WALTON AVENUE, CLEVELAND, OHIO

REVISIONS

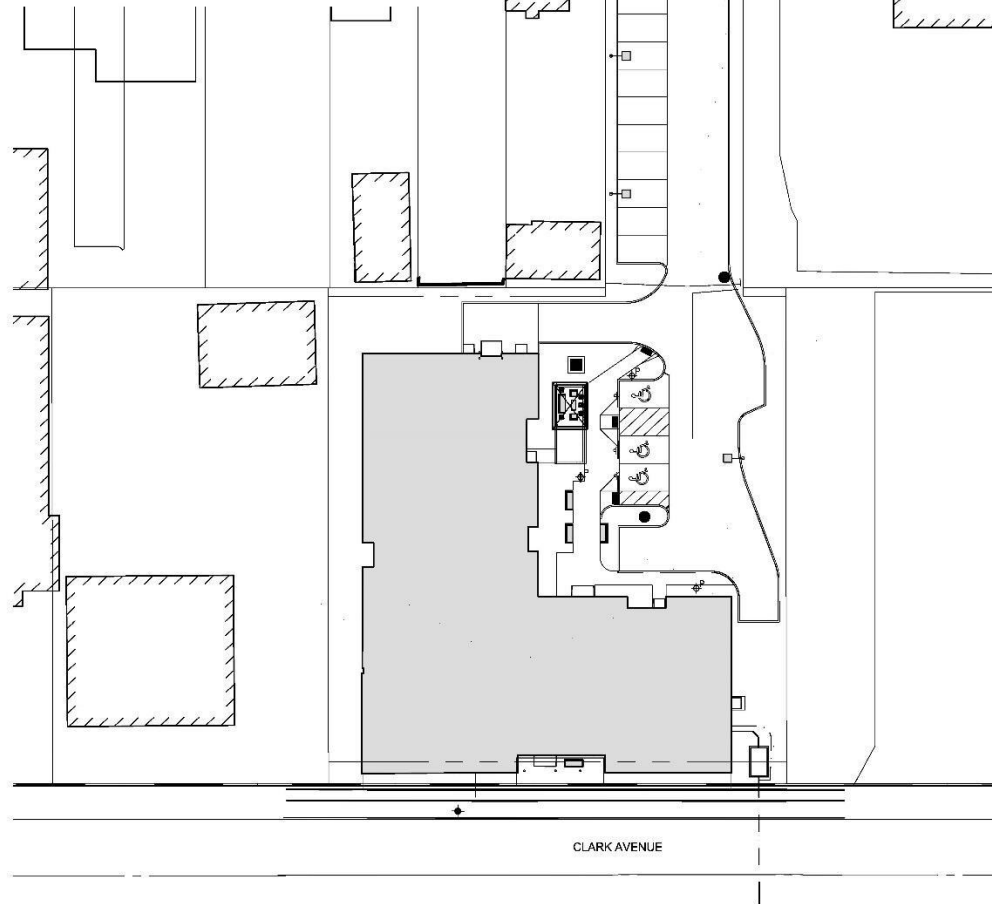
NO.	DATE	DESCRIPTION
1	8.21.24	City Submission
2	8.27.24	City Submission
3	9.0.24	Planning

Scale: As Noted
Date: 7.8.2024
Drawn: MCB
Project: WALTON SENIOR
Phase: I
Sheet:

L-5

SITE LIGHTING LEGEND		
SYMBOL	CODE	DESCRIPTION/REMARKS
	PARKING AREA LIGHT	SINGLE AREA/ ROAD LUMINAIRE - BEGA LIGHTING, POLE HEIGHT AND SPACING TO BE DETERMINED BY ENGINEER
	PEDESTRIAN AREA LIGHT	NORTH HORN PAT-LIG-1 - 3/4" HIL POWDER COATED METAL, COLOR TBD, MANUFACT: LANDSCAPE FORMS

NOTE: ALL FINAL COLOR SELECTIONS TO BE MADE BY ARCHITECT.



PEDESTRIAN AREA LIGHT



PARKING AREA LIGHT



POPULUS STUDIO
LANDSCAPE ARCHITECTS
2171 DEMINGTON DR. CLEVELAND, OH

WALTON SENIOR APARTMENTS
SITE LIGHTING PLAN
3517 WALTON AVENUE, CLEVELAND, OHIO

REVISIONS

NO.	DATE	DESCRIPTION
1	8.21.24	City Submission
2	8.27.24	City Submission
3	9.6.24	Planning

Scale: As Noted
Date: 7.5.2024
Drawn: MCB
Project: WALTON SENIOR
Phase: I
Sheet:

L - 3



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



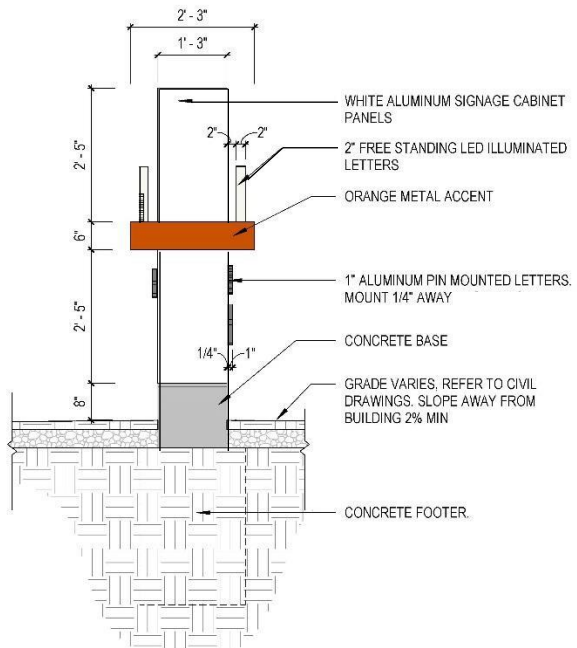
DOWN LIGHT



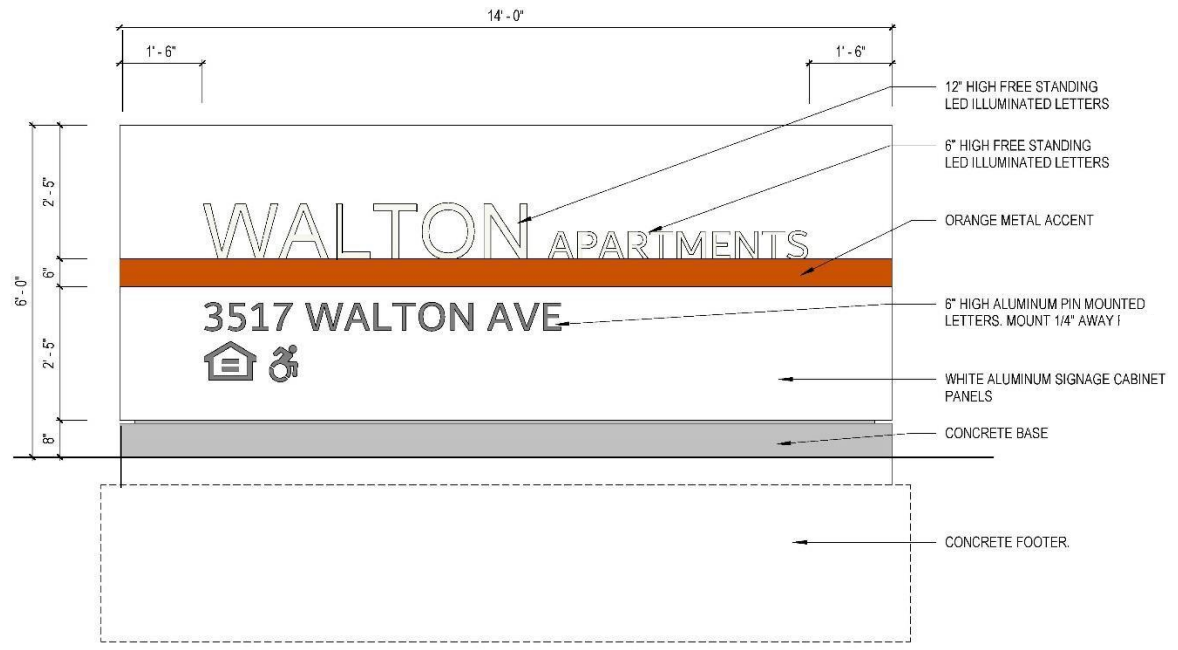
WALL PACK



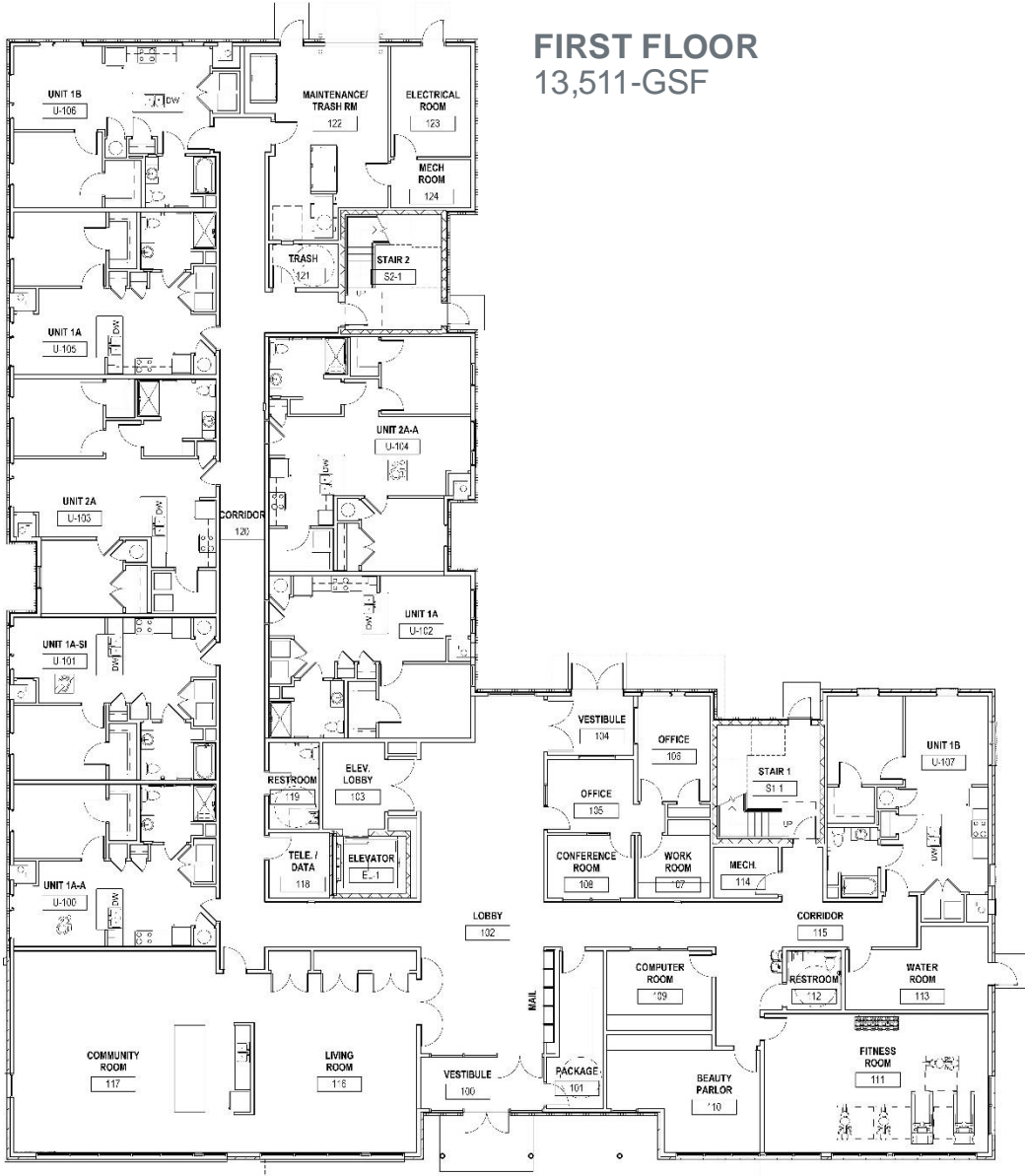
WALL SCENCE



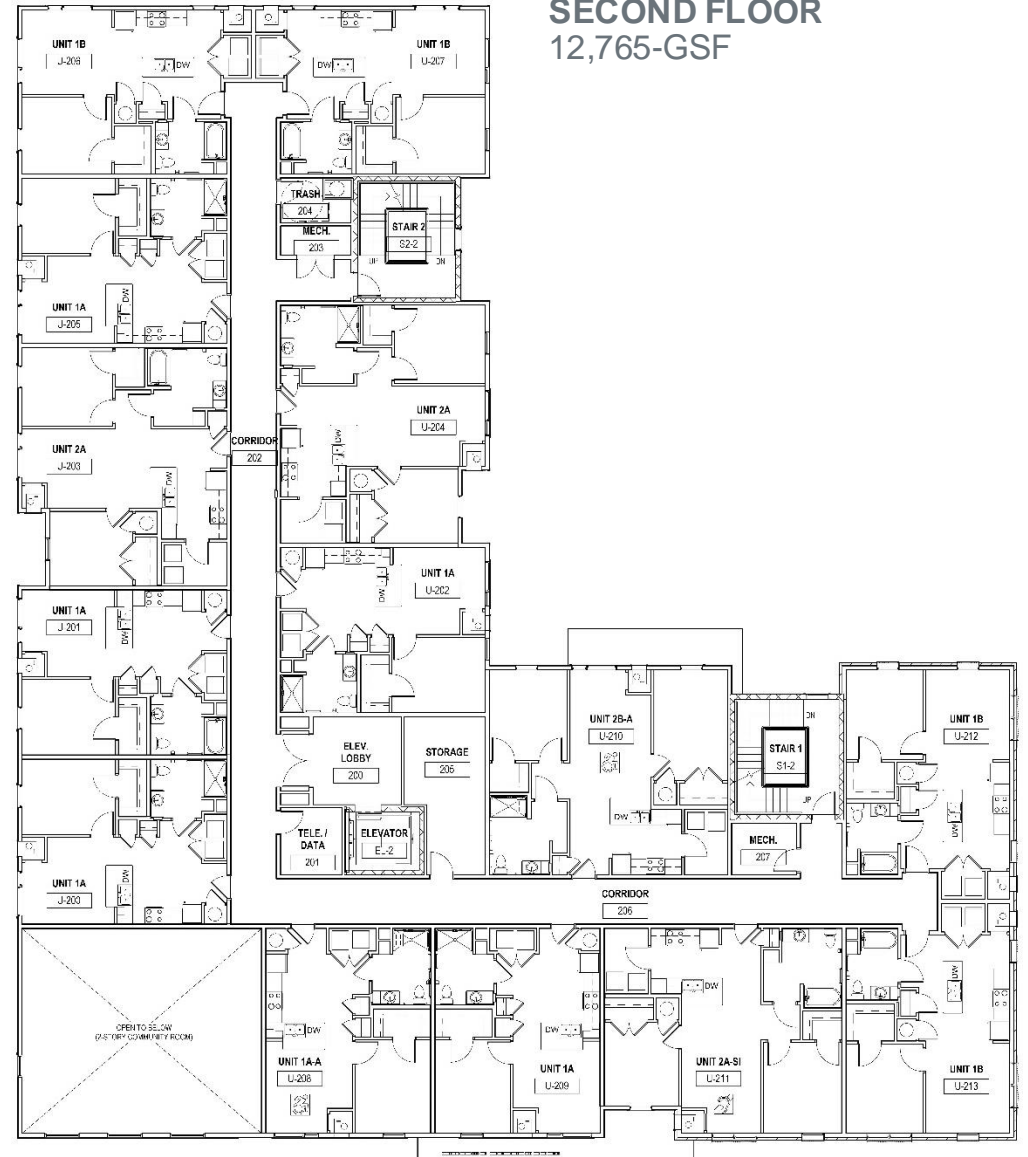
2 MONUMENT SIGN SIDE ELEVATION - BOTH SIDES
1/2" = 1'-0"



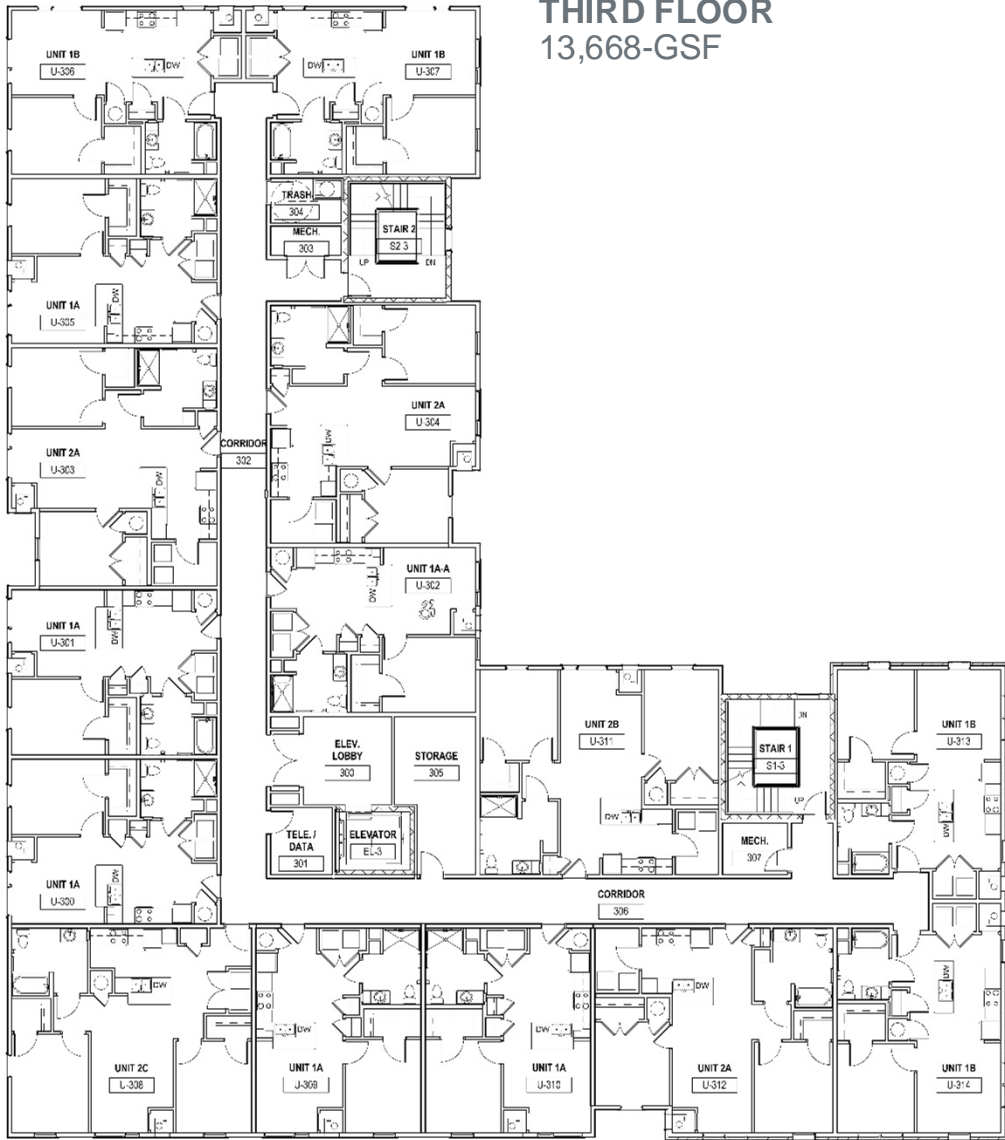
1 MONUMENT SIGN ENTRYWAY ELEVATION - BOTH SIDES
1/2" = 1'-0"



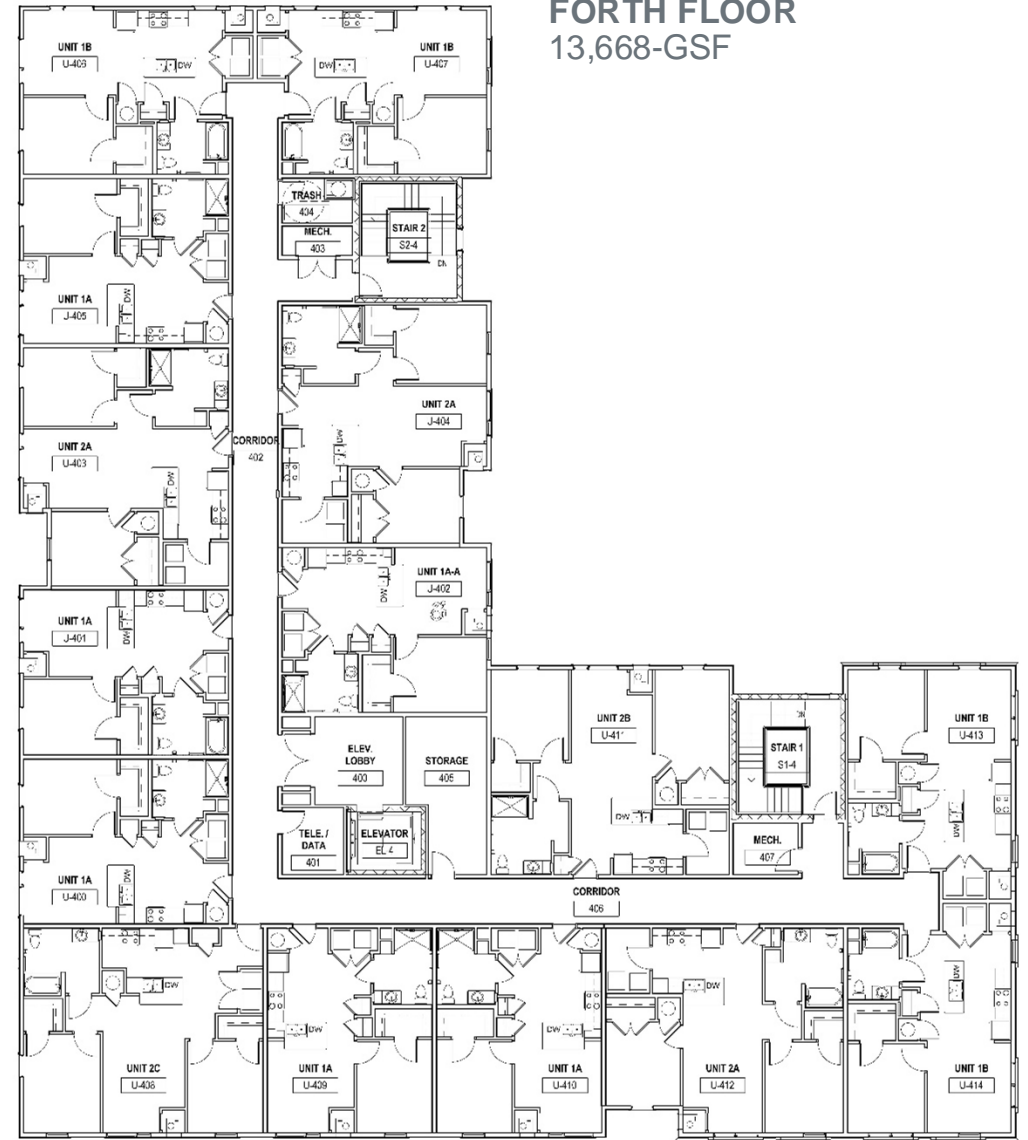
FIRST FLOOR
13,511-GSF



SECOND FLOOR
12,765-GSF



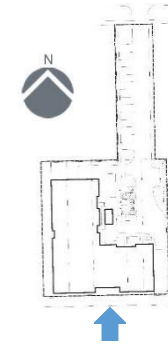
THIRD FLOOR
13,668-GSF



FORTH FLOOR
13,668-GSF

COMMERCIAL FLOOR GLAZING

	REQUIRED	PROVIDED
COMMERCIAL AREAS	75% (499-SF)	75.6% (503-SF)



MATERIAL KEY

1. PREFINISHED CORRUGATED METAL SIDING
2. FIBERCEMENT LAP SIDING 7-INCH EXPOSURE
3. FIBERCEMENT BOARD & BATTEN SIDING
4. THRU-WALL HEAT PUMP GRILLE
5. VINYL WINDOWS
6. ALUMINUM STOREFRONTS & ENTRANCE
7. PVC TRIM
8. UTILITY BRICK (12x4 NOMINAL) RUNNING BOND
9. UTILITY BRICK ROWLOCK SILLS
10. UTILITY BRICK SOLDIER COURSING
11. UTILITY BRICK (12x4 NOMINAL) HORIZONTAL STACK BOND
12. PROJECTED CANOPY



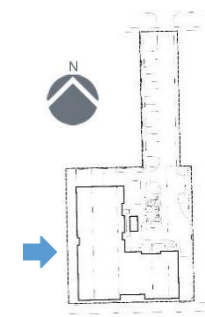
PARAPET HEIGHT
EL. 46'-6" A.F.F.

FIN. FOURTH FLOOR
EL. 32'-0.7/8"

FIN. THIRD FLOOR
EL. 21'-5"

FIN. SECOND FLOOR
EL. 10'-9 1/8"

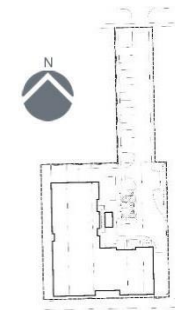
FIN. FIRST FLOOR
EL. 0'-0"



- MATERIAL KEY**
1. PREFINISHED CORRUGATED METAL SIDING
 2. FIBERCEMENT LAP SIDING 7-INCH EXPOSURE
 3. VINYL LAP SIDING
 4. THRU-WALL HEAT PUMP GRILLE
 5. VINYL WINDOWS
 6. UTILITY BRICK (12X4 NORMAL) HORIZONTAL STACK BOND



- PARAPET HEIGHT EL. 46'-6" A.F.F.
- FIN. FOURTH FLOOR EL. 32'-0 7/8"
- FIN. THIRD FLOOR EL. 21'-5"
- FIN. SECOND FLOOR EL. 10'-9 1/8"
- FIN. FIRST FLOOR EL. 0'-0"



MATERIAL KEY

- 1. PREFINISHED CORRUGATED METAL SIDING
- 2. VINYL LAP SIDING
- 3. FIBERCEMENT BOARD & BATTEN SIDING
- 4. VINYL WINDOWS
- 5. THRU-WALL HEAT PUMP GRILLE
- 6. TPO ROOF MEMBRANE, TYP.
- 7. UTILITY BRICK BASKET WEAVE
- 8. UTILITY BRICK (12x4 NORMINAL) RUNNING BOND
- 9. UTILITY BRICK SOLDIER COURSING
- 10. ROWLOCK BRICK SILLS & BAND COURSES
- 11. ALUMINUM GUTTERS & DOWNSPOUTS

PARAPET HEIGHT
EL. 46'-6" A.F.F.

FIN. FOURTH FLOOR
EL. 32'-0.7/8"

FIN. THIRD FLOOR
EL. 21'-5"

FIN. SECOND FLOOR
EL. 10'-9 1/8"

FIN. FIRST FLOOR
EL. 0'-0"





MATERIAL KEY

- 1. PREFINISHED CORRUGATED METAL SIDING
- 2. VINYL LAP SIDING
- 3. FIBERCEMENT BOARD & BATTEN SIDING
- 4. THRU-WALL HEAT PUMP GRILLE
- 5. VINYL WINDOWS
- 6. ALUMINUM STOREFRONTS & ENTRANCE
- 7. PVC TRIM
- 8. UTILITY BRICK (12x4 NORMINAL) RUNNING BOND
- 9. UTILITY BRICK ROWLOCK WALL CAP
- 10. UTILITY BRICK (12X4 NORMINAL) HORIZONTAL STACK BOND
- 11. PREFINISHED ALUM. CAP FLASHING
- 12. PROJECTED CANOPY
- 13. OVERHEAD SECTIONAL DOOR (TRASH ROOM)



WALTON AVE



NORTH ELEVATION



SOUTH ELEVATION



WALTON APARTMENTS | CLEVELAND, OHIO | SCHEMATIC PERSPECTIVE 1



WALTON APARTMENTS | CLEVELAND, OHIO | FINAL PERSPECTIVE 1



WALTON APARTMENTS | CLEVELAND, OHIO | FINAL PERSPECTIVE 2



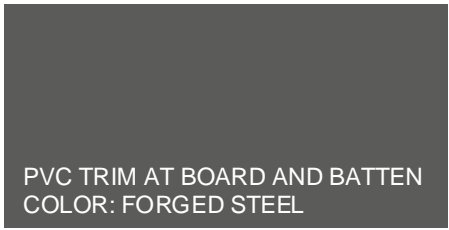
UTILITY SIZE BRICK
COLOR: SEAL BROWN CELOUR



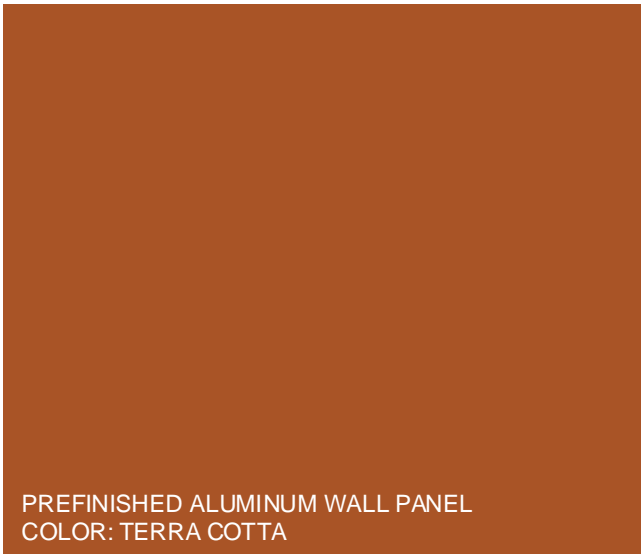
UTILITY SIZE BRICK
COLOR: SMOOTH



FIBER CEMENT BOARD AND BATTEN
VERTICAL SIDING
COLOR: STEELY GRAY



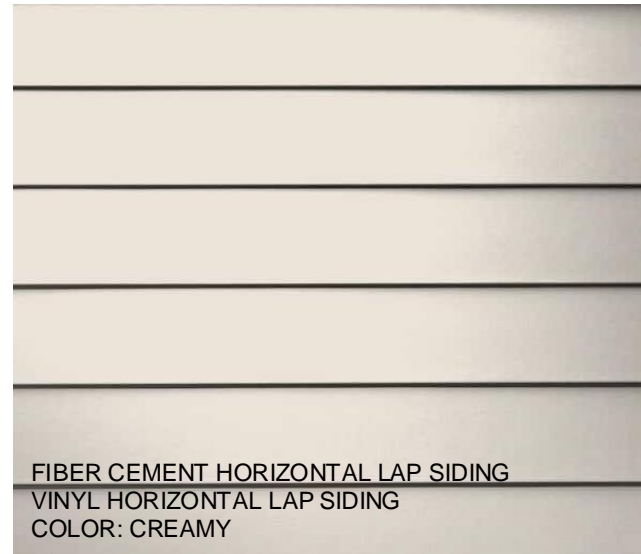
PVC TRIM AT BOARD AND BATTEN
COLOR: FORGED STEEL



PREFINISHED ALUMINUM WALL PANEL
COLOR: TERRA COTTA



PREFINISHED CORRUGATED HORIZONTAL
METAL SIDING
COLOR: HEMLOCK GREEN



FIBER CEMENT HORIZONTAL LAP SIDING
VINYL HORIZONTAL LAP SIDING
COLOR: CREAMY



Near West Design Review Advisory Committee
Meeting Motion and Report Form

Meeting Location: Virtual, 8:00 AM

Case Number: NW 2024 - 0 Meeting Date: 8/28/24
Project Name: "Walton Apartments" Ward #: 14
Project Address: 3517 Walton Ave
Project Rep.: Greg Baron
Existing Use: Vacant land Proposed Use: Residential
Project Scope: Brand new construction of a senior development

Design Review Level Applied For: Schematic

Motion by Design Review Committee:

Approve (as presented) Approve (with stated conditions) Disapprove Table

Conditions:

1st John R 2nd Kerry
Conditions to approve schematically:
More landscaping in the entrance
Additional glazing on the southwest side
Material brightening
to make the sign larger and bolder font

Tree plan MANDATORY contact Jenifer Kipp: jkipp@clevelandohio.gov
Storm Water plan MANDATORY contact CDPP@neorsd.org
Please have these items in progress or completed by the next design review.

Next Steps: CPC Schematic Approval and internal Zoning Review

Committee Action:		(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)			
Contreras	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Madera	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Esposito	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Rakaukas	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Gallagher	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Sandoval	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Gardin	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input checked="" type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Schmidt	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Hart	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Jurca (C)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.				

Applicant Signature & Date: _____ Virtual Meeting – No Signature Required

Conditions:

1st John R 2nd Kerry
Conditions to approve schematically:
More landscaping in the entrance
Additional glazing on the southwest side
Material brightening
to make the sign larger and bolder font

Tree plan MANDATORY contact Jenifer Kipp: jkipp@clevelandohio.gov
Storm Water plan MANDATORY contact CDPP@neorsd.org
Please have these items in progress or completed by the next design review.

Next Steps: CPC Schematic Approval and internal Zoning Review

NW 2024-16 Jefferson Hill Townhomes: Seeking Final Approval

Project Address: West 5th & Jefferson Ave.

New 12 unit townhouse project

Project Representative: Jeff Foster & Garrett Allen

Sept 6, 2024



IMAGE C: JEFFERSON AVENUE FACING SOUTH AND EAST



IMAGE D: JEFFERSON AVENUE FACING SOUTH AND EAST



SITE CONTEXT PLAN WITH IMAGE LEGEND
(NOT TO SCALE)



IMAGE E: WEST 5TH STREET AT HOUSE BEING REMOVED



IMAGE B: JEFFERSON AVENUE FACING NORTH



IMAGE A: JEFFERSON AVENUE FACING SOUTH AND WEST

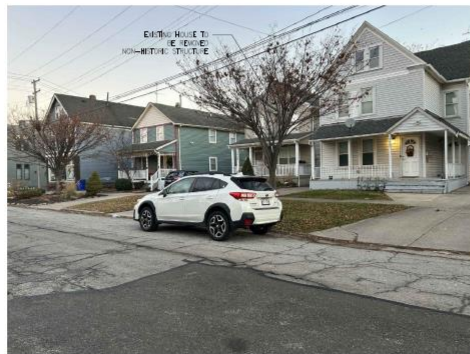
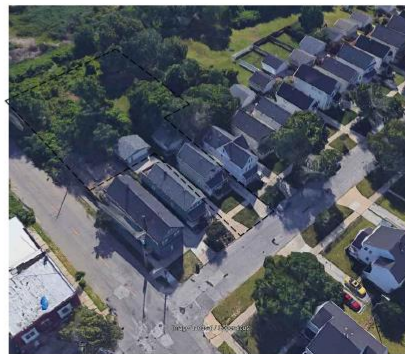


IMAGE F: WEST 5TH STREET AT HOUSE BEING REMOVED



BIRDS EYE VIEW FROM NORTH WEST



BIRDS EYE VIEW FROM NORTH EAST

DATE: 07.10.24

PRINTS FULL SCALE
ON 24"x36" SHEET

PRELIMINARY
NOT FOR CONSTRUCTION

JEFFERSON HILL TOWNHOMES
JEFFERSON AVE DEVELOPMENT, LLC
WEST 5TH STREET & JEFFERSON AVE
CLEVELAND, OH 44113

VINE DEVELOPMENT, INC.
YVES DEVELOPMENT, INC.

PAYTO Architects

SITE CONTEXT &
EXISTING PHOTOS

PROJECT NO. 2023-01
CLEVELAND, OH
07.10.24

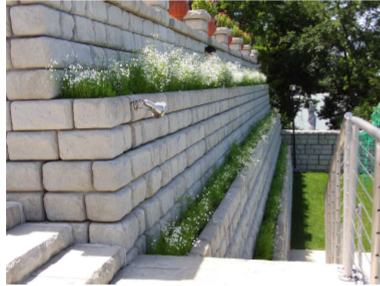
A001

DATE: 07.10.24
PROJECT NO. 2023-01
CLEVELAND, OH
07.10.24

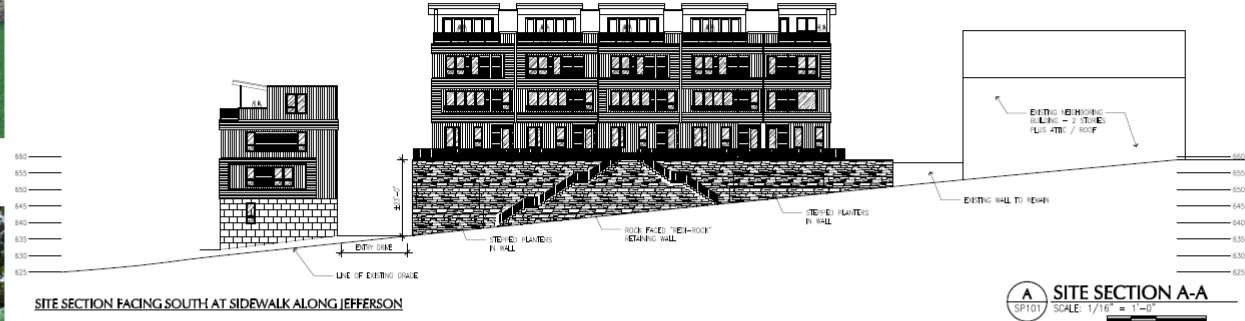
DATE: 07.10.24
PROJECT NO. 2023-01
CLEVELAND, OH
07.10.24



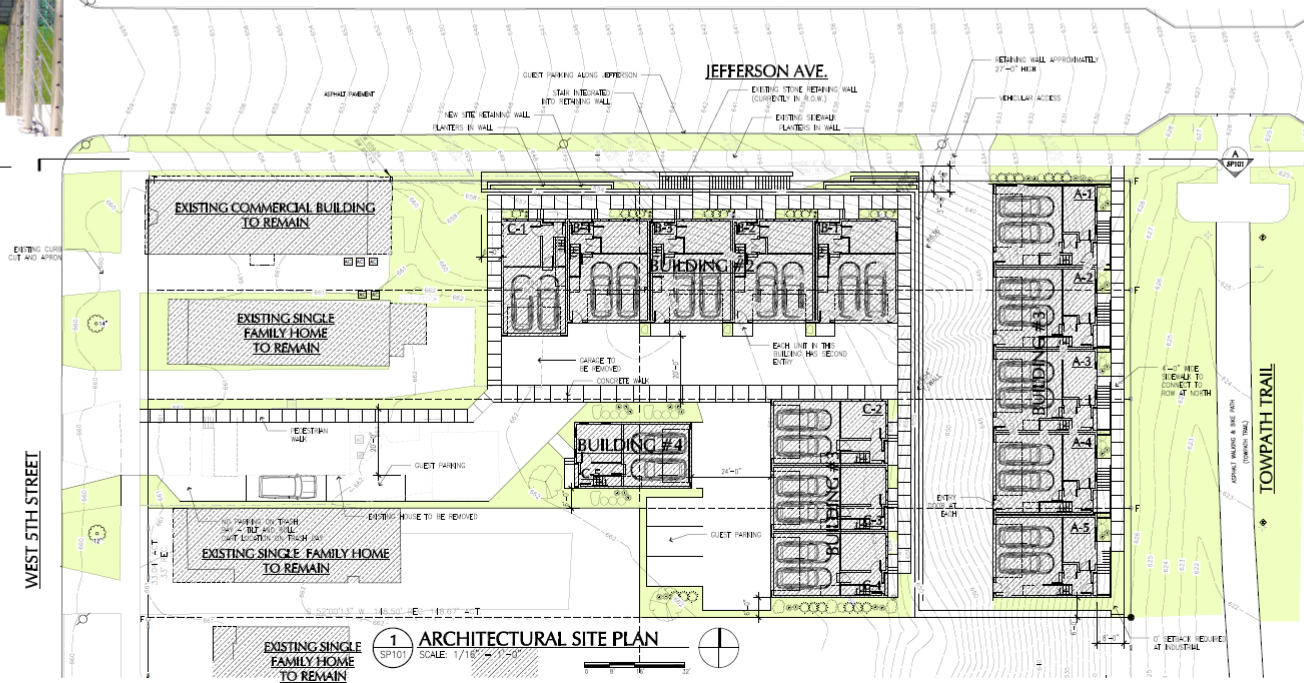
B SAMPLE IMAGE OF WALL / STAIR
SP101 NO SCALE



C SAMPLE IMAGE OF PLANTERS
SP101 NO SCALE



A SITE SECTION A-A
SCALE: 1/16" = 1'-0"



1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

DATE: 09/04/24

PRINTS FULL SCALE ON 24"X36" SHEET

PRELIMINARY NOT FOR CONSTRUCTION

JEFFERSON HILL TOWNHOMES
JEFFERSON AVE DEVELOPMENT, LLC
WEST 5TH STREET & JEFFERSON AVE
CLEVELAND, OH 44113

VINE DEVELOPMENT
YVES
PAVITO Architects

REPAIR AND BUILDING 1335 WEST 5TH STREET CLEVELAND, OH 44113 PHONE: 688.341.6888 WWW.PAVITOAARCHITECTS.COM

PL PROJECT NO.: 2024-44
CLIENT DATE: 09/04/24

SP101
PLANNING COMMISSION DOCUMENT

PLANT SPECIFICATIONS:



10'-NORTH POLE NORWAY SPRUCE (PROVEN WINNERS)

SEMI-DWARF DECIDUOUS
ZONE 3-8
15' TALL 3-4" WIDE
NON-INVASIVE ROOTS
FULL SUN-PART SHADE
GOOD FOR NEAR-FOUNDATION
PLANTING
LOW MAINTENANCE



EMERALD GREEN ARBOVITAE

DWARF MINIMAL PROFILE
DECIDUOUS
ZONE 3-8
6' TALL 1-2" WIDE
NON-INVASIVE ROOTS
FULL SUN-PART SHADE
GOOD FOR NEAR-FOUNDATION
PLANTING
LOW MAINTENANCE



OH-LITTLE OLIVE FINE HYDRANGEA (PROVEN WINNERS)

DWARF HYDRANGEA
DECIDUOUS
ZONE 3-8
3-5' TALL 3-5' WIDE
FULL SUN-PART SHADE
LOW MAINTENANCE
DROUGHT TOLERANT



OH-LITTLE WHITE FINE

DWARF SHRUB
DECIDUOUS
ZONE 3-8
2-3' TALL 2-3' WIDE
NON-INVASIVE ROOTS
FULL SUN-PART SHADE
PERSISTENT BLOSSOM
LOW MAINTENANCE
DROUGHT TOLERANT
EROSION CONTROL



PH-PINKO PEACHBERRY ICE HYDRANGEA

SEMI-DECIDUOUS
ZONE 4-9
10' TALL 20-24" WIDE
FULL SUN-FULL SHADE
LOW MAINTENANCE



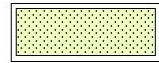
SALVEXIN JADE SEDUM (PROVEN WINNERS)

SEMI-DECIDUOUS
ZONE 3-9
10' TALL 24" WIDE
FULL SUN
LOW MAINTENANCE
DROUGHT TOLERANT
HEAT TOLERANT
WIND RESISTANT

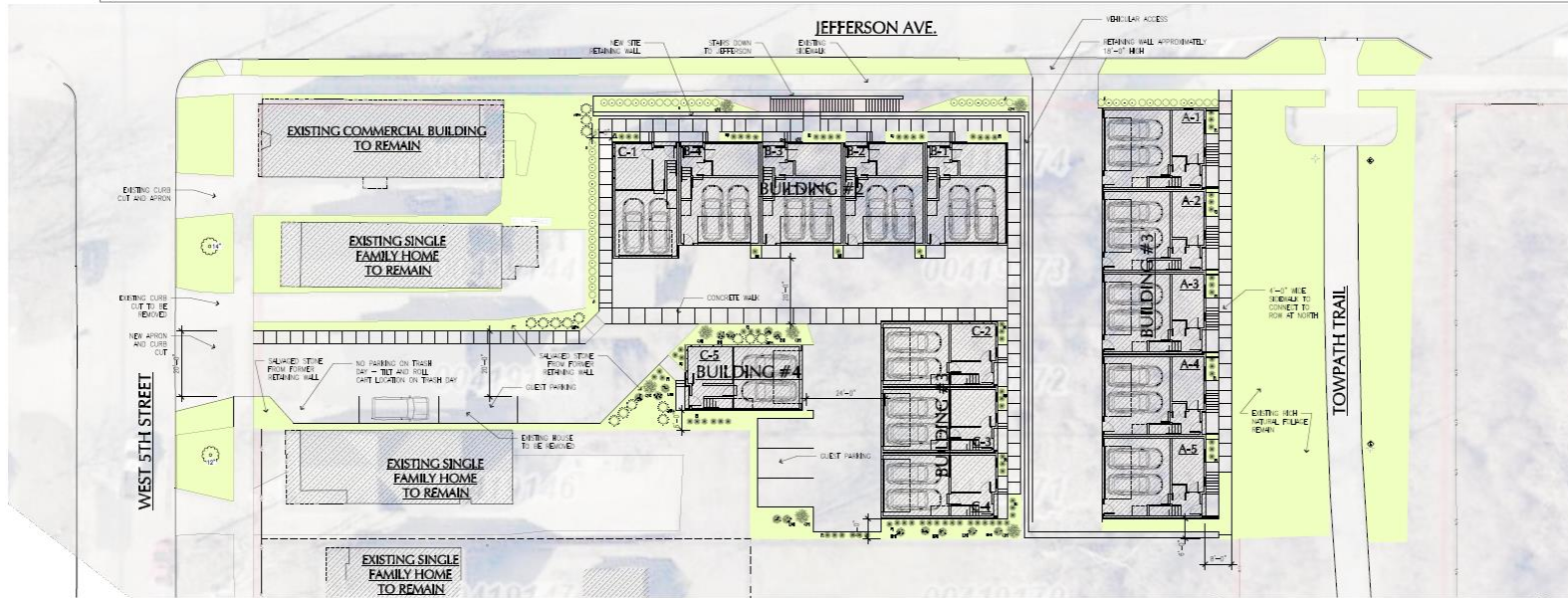


PACHYSANDRA GROUND COVER

DECIDUOUS
ZONE 4-9
6" TALL SPREADING GROUNDCOVER
PART SHADE
LOW MAINTENANCE
DROUGHT TOLERANT
EROSION CONTROL
HEAT AND WIND TOLERANT



LAWN AREA



1 LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

DATE: 07/18/24

PRINTS FULL SCALE ON 24"x36" SHEET

STATE OF OHIO
JEFFERY POSTER 13339
LANDSCAPE ARCHITECT

JEFFERY POSTER LICENSE 13339
EXPIRATION DATE: 12/31/25

JEFFERSON HILL TOWNHOMES
JEFFERSON AVE DEVELOPMENT, LLC
WEST 5TH STREET & JEFFERSON AVE
CLEVELAND, OH 44113

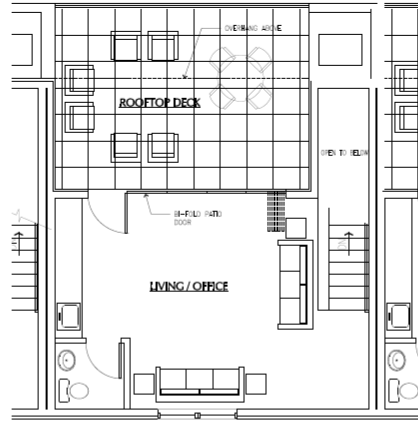
WWW.PAVITOARCHITECTS.COM
PHONE: 216.241.6660

LANDSCAPE PLAN

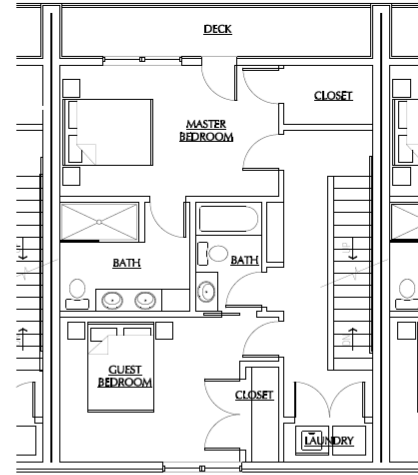
PA PROJECT NO. 2023-41
CURRENT DATE: 07/18/24

L100

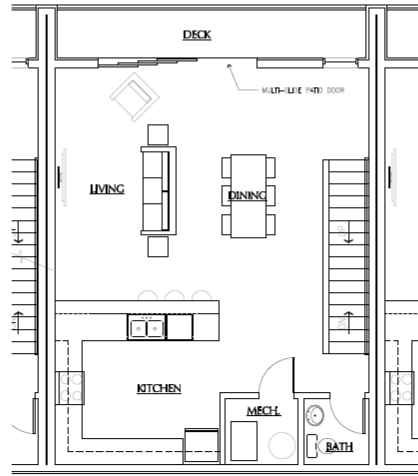
DESIGN REVIEW SUBMITTANCE DOCUMENTS



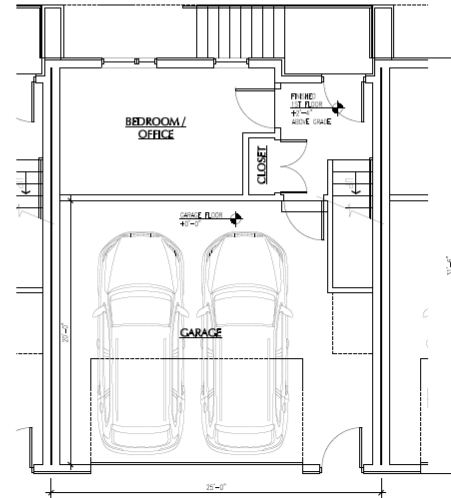
4 FOURTH FLOOR PLAN
A101A SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN
A101A SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
A101A SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
A101A SCALE: 1/4" = 1'-0"

SUMMARY OF UNIT AREAS:	
LEVEL 1 LIVING SPACE:	290 SF
LEVEL 2 LIVING SPACE:	787 SF
LEVEL 3 LIVING SPACE:	787 SF
LEVEL 4 LIVING SPACE:	478 SF
TOTAL LIVING SPACE:	2,342 SF

DATE: 07.26.24

PRINTS FULL SCALE ON 24"x36" SHEET

PRELIMINARY NOT FOR CONSTRUCTION

JEFFERSON HILL TOWNHOMES
JEFFERSON AVE DEVELOPMENT, LLC
WEST 5TH STREET & JEFFERSON AVE
CLEVELAND, OH 44113
WWW.JEFFERSONHILL.COM

1435 BRADLEY BLVD. SUITE 1000 CLEVELAND, OH 44115 PHONE: (216) 241-4400

VINE DEVELOPMENT
YVES DEVELOPMENT

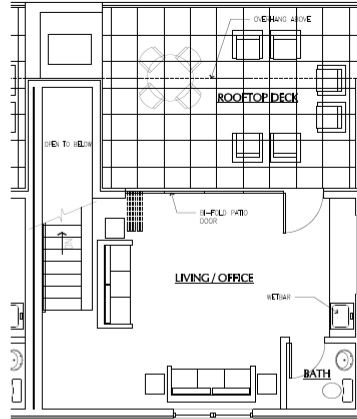
PAYTO Architects

TYPICAL UNIT FLOOR PLANS - UNIT TYPE A

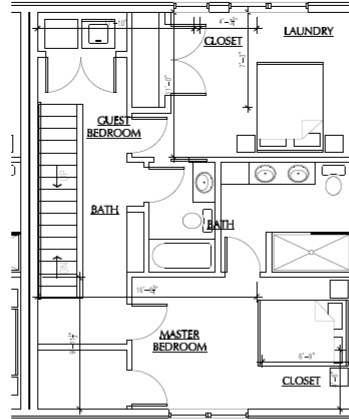
DATE: 07.26.24
DRAWN BY: [Name]
CHECKED BY: [Name]

A101A

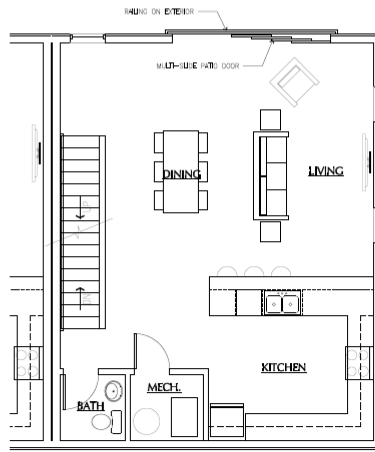
REVISIONS



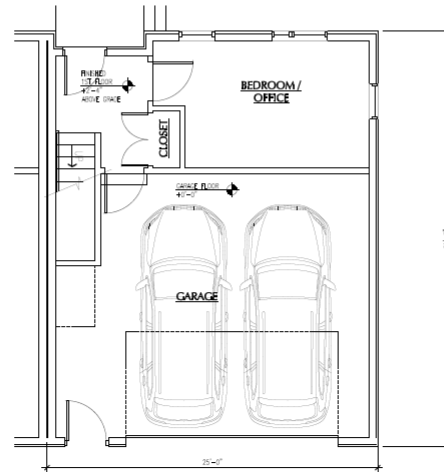
4 FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SUMMARY OF UNIT AREAS:	
LEVEL 1 LIVING SPACE:	290 SF
LEVEL 2 LIVING SPACE:	787 SF
LEVEL 3 LIVING SPACE:	787 SF
LEVEL 4 LIVING SPACE:	478 SF
TOTAL LIVING SPACE:	2,342 SF

DATE: 07/29/24

PRINTS FULL SCALE ON 24"x36" SHEET

PRELIMINARY NOT FOR CONSTRUCTION

JEFFERSON HILL TOWNHOMES
JEFFERSON AVE DEVELOPMENT, LLC
WEST 5TH STREET & JEFFERSON AVE
CLEVELAND, OH 44113

VINE DEVELOPMENT, INC.
Y V E S
DEVELOPMENT

PAYTO
Architects

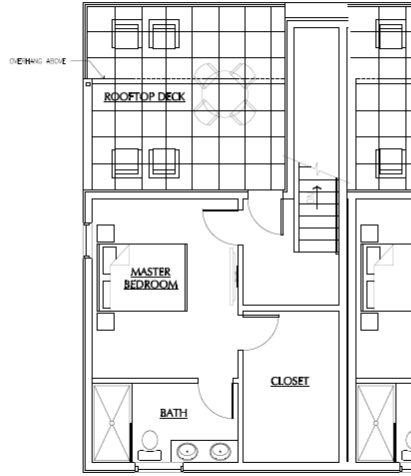
TYPICAL UNIT FLOOR PLANS - UNIT TYPE B

DWG NO: A101B
DATE: 07/29/24
DRAWN BY: [Name]
CHECKED BY: [Name]

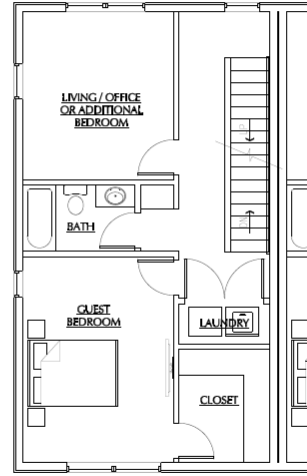
A101B

DESIGN INTENT SUBMISSION ROCKAWAY

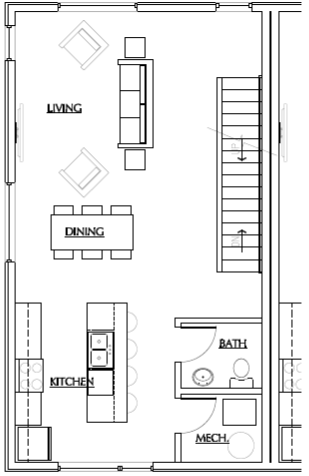
445 BRACKET BUILDING, 1220 WEST 87TH STREET, CLEVELAND, OH 44113 | PHONE: (216) 344-6800 | WWW.PAYTOARCHITECTS.COM



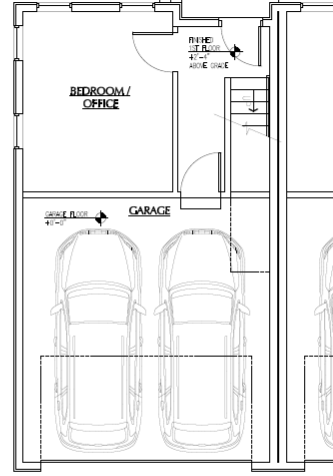
4 FOURTH FLOOR PLAN
 A101C SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN
 A101C SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
 A101C SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
 A101C SCALE: 1/4" = 1'-0"

SUMMARY OF UNIT AREAS:	
LEVEL 1 LIVING SPACE:	288 SF
LEVEL 2 LIVING SPACE:	710 SF
LEVEL 3 LIVING SPACE:	710 SF
LEVEL 4 LIVING SPACE:	488 SF
TOTAL LIVING SPACE:	2,196 SF

DATE: 07.19.24

PRINTS FULL SCALE ON 24"X36" SHEET

PRELIMINARY NOT FOR CONSTRUCTION

JEFFERSON HILL TOWNHOMES
 JEFFERSON AVE DEVELOPMENT, LLC
 WEST 5TH STREET & JEFFERSON AVE
 CLEVELAND, OH 44113

Y.V.E.S. DEVELOPMENT, L.P.
 440 BRADLEY BUILDING 1220 WEST 10TH STREET CLEVELAND, OH 44113 PHONE: (216) 241-8400 WWW.PATTOACT.COM

TYPICAL UNIT FLOOR PLANS - UNIT TYPE C

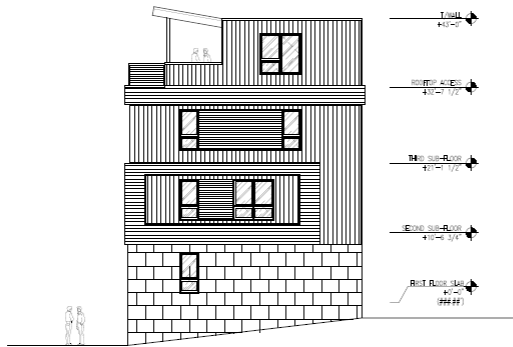
A101C

DATE: 07.19.24
 PROJECT NO: 2023-42
 SHEET NO: 07.19.24

DESIGN REVIEW & APPROVAL CHECKLIST

ELEVATION MATERIAL LEGEND:

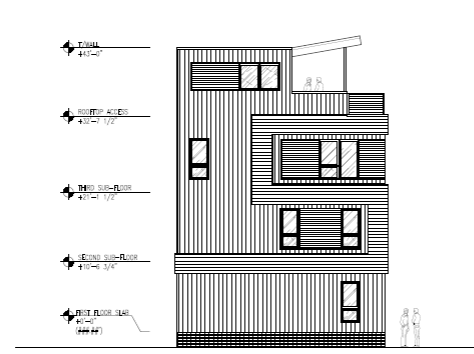
	FACE BRICK WITH STANDARD RUNNING BOND AND COLOR MATCHED TO HISTORIC WASHINGTON MANUFACTURING CENTRAL PARK KT CLEAR.
	SIDING #1: 2" RED OAK SHAWN SHED WOOD GRAIN LAP SIDING. COLOR TO BE SNOWSCAPE WHITE.
	SIDING #2: METAL COMPOSITE COMPOSITE SIDING LP SHAWN OAK GRAIN. GAP 2" WOOD GRAIN. COLOR TO BE CAVERN STEEL.
	SIDING #3: MID-RISE VENTAGE WOOD FIBER CEMENT SIDING. MID-COUNTRY SPRUCE PINE BLEND.
	MASONRY VENEER: CORONA STONE GROUND FACED MASONRY UNITS. LIMESTONE GROUND FACE FINISH BY SCHUBERT MASONRY.



4 BUILDING 1 - WEST ELEVATION
 SCALE: 1/8" = 1'-0"
 A200



3 BUILDING 1 - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"
 A200



2 BUILDING 1 - EAST ELEVATION
 SCALE: 1/8" = 1'-0"
 A200



1 BUILDING 1 - EAST ELEVATION
 SCALE: 1/8" = 1'-0"
 A200

DATE: 07/24/24

PRINTS FULL SCALE ON 24"X36" SHEET

PRELIMINARY NOT FOR CONSTRUCTION

JEFFERSON HILL TOWNHOMES
 JEFFERSON AVE DEVELOPMENT, LLC
 WEST 5TH STREET & JEFFERSON AVE
 CLEVELAND, OH 44113

WWW.PAYTOARCHITECTS.COM

90 BAKER BUILDING, 1220 WEST 12TH STREET, CLEVELAND, OH 44113
 PHONE: (216) 241-0000

EXTERIOR ELEVATIONS
 BUILDING 1

PAYTO Architects
 YVES DEVELOPMENT, INC.

PROJECT NO. 2024-04
 CLIENT DATE: 07/24/24

A200

DESIGN REVIEW OR REVISION DOCUMENT

Specifications: LP® SmartSide® Nickel Gap Siding

NEW NICKEL GAP SIDING

- A MODERN PROFILE WITH DESIGN FLEXIBILITY**
- Features both a vertical 1" thickness and 1" reveal
 - Can be installed vertically or horizontally
 - Low-moisture building codes allow for follow-up treatment to increase and improve the appearance of LP® SmartSide® (not available in certain US jurisdictions) alternative to support a complete system.
 - Rated by an independent 100-year tested warranty

CLAYD TAYLOR ARCHITECTS

Product	Color	Finish	Weight	Length	Width	Thickness	Reveal
SmartSide® Nickel Gap Siding	CAVERN STEEL	Vertical	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")
SmartSide® Nickel Gap Siding	SNOWSCAPE WHITE	Vertical	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")
SmartSide® Nickel Gap Siding	CAVERN STEEL	Horizontal	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")
SmartSide® Nickel Gap Siding	SNOWSCAPE WHITE	Horizontal	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")

Specifications: LP® SmartSide® Lap Siding

CEDAR TEXTURE LAP SIDING

- THE BEAUTY OF NATURE MEETS BEST OF THE BUSINESS**
- Features a natural cedar grain texture and a smooth finish
 - Available in a variety of colors to match your design vision
 - Can be installed vertically or horizontally
 - Low-moisture building codes allow for follow-up treatment to increase and improve the appearance of LP® SmartSide® (not available in certain US jurisdictions) alternative to support a complete system.
 - Rated by an independent 100-year tested warranty

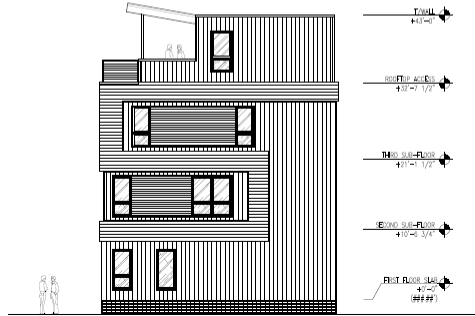
CLAYD TAYLOR ARCHITECTS

Product	Color	Finish	Weight	Length	Width	Thickness	Reveal
SmartSide® Lap Siding	CAVERN STEEL	Vertical	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")
SmartSide® Lap Siding	SNOWSCAPE WHITE	Vertical	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")
SmartSide® Lap Siding	CAVERN STEEL	Horizontal	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")
SmartSide® Lap Siding	SNOWSCAPE WHITE	Horizontal	1.0 lb/ft²	48" (4' 0")	1" (1")	1" (1")	1" (1")



ELEVATION MATERIAL LEGEND:

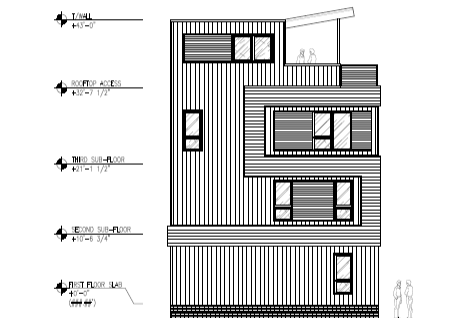
	FACE BRICK WITH STANDARD RUNNING BOND AND COLOR MATCHED ADJOURING WATERCOTTOWN MANSATTAN CENTRAL PARK BT CLEAR - OR SIMILAR
	SIDING #1: 1" REVEAL LP SMARTSIDE WOODGRAIN LAP SIDING, COLOR TO BE SNOWSCAPE WHITE - OR SIMILAR.
	SIDING #2: VERTICAL COMPOSITE SIDING, LP SMARTSIDE NICKEL GAP 1" REVEAL SIPHIAL, COLOR TO BE CAVERN STEEL - OR SIMILAR.
	SIDING #3: 1" REVEAL VINTAGE WOOD FIBER CEDAR SIDING, WOODGRAIN SPLIT FIBER - OR SIMILAR.
	MASONRY VENEER: CORNCOB STONE GROUND FACE MASONRY UNITS, LIMESTONE GROUND FACE FINISH BY ESCOLEON MASONRY - OR SIMILAR.



4 BUILDING 2 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

DATE: 07-18-24

PRINTS FULL SCALE ON 24"x36" SHEET

PRELIMINARY NOT FOR CONSTRUCTION

JEFFERSON HILL TOWNHOMES

JEFFERSON AVE DEVELOPMENT, LLC
WEST 5TH STREET & JEFFERSON AVE
CLEVELAND, OH 44113

YVES DEVELOPMENT
YVES ARCHITECTS

EXTERIOR ELEVATIONS
BUILDING 2

PROJECT NO: 2024-04
CURRENT DATE: 07-18-24

A201

DESIGN WITH SUBMISSION

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Cleveland City Planning Commission

Conditional Use – Townhouse in a Two-Family District



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Conditional Use – Townhouse in a Two-Family District

For: Jefferson Hill Townhomes, West 5th & Jefferson Ave.

Per §343.23 of the Cleveland Codified Ordinances

Presenters: Rod Reed, Property Owner

Xavier Bay, Staff Zoning Planner

Sept 6, 2024

Jefferson Hill Townhomes

City Planning Commission Hearing

September 06, 2024



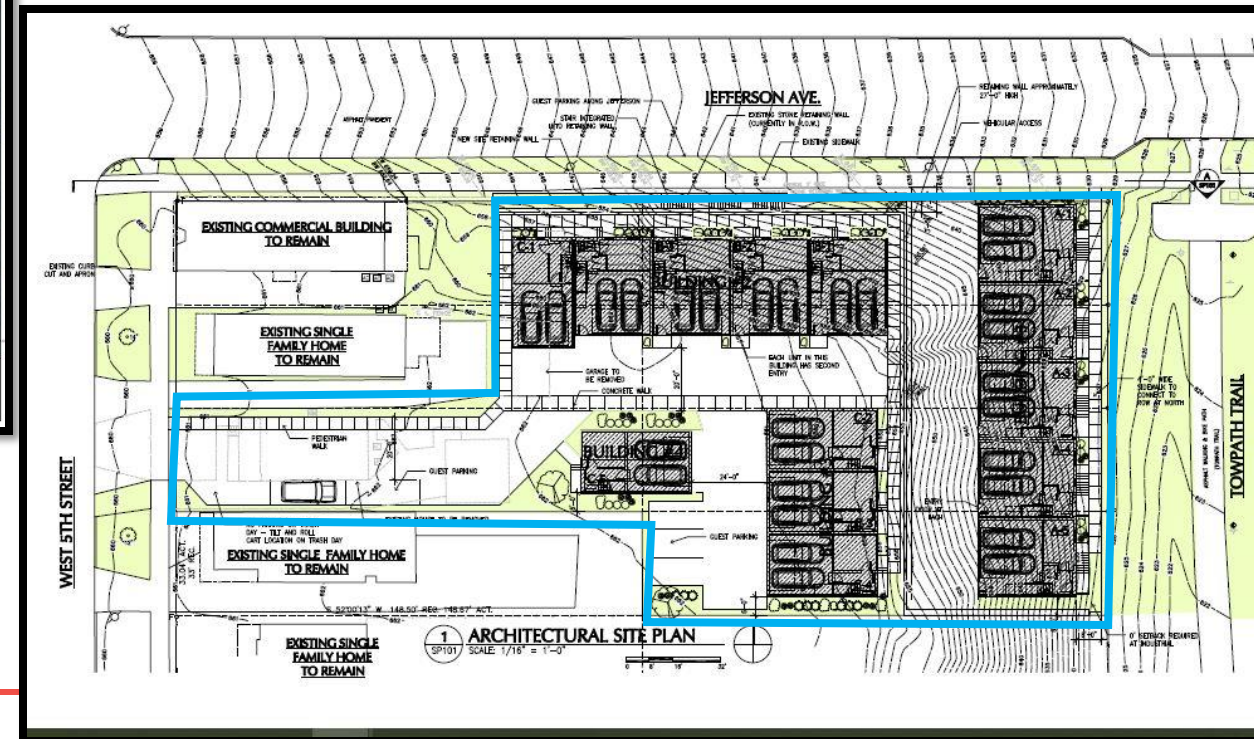
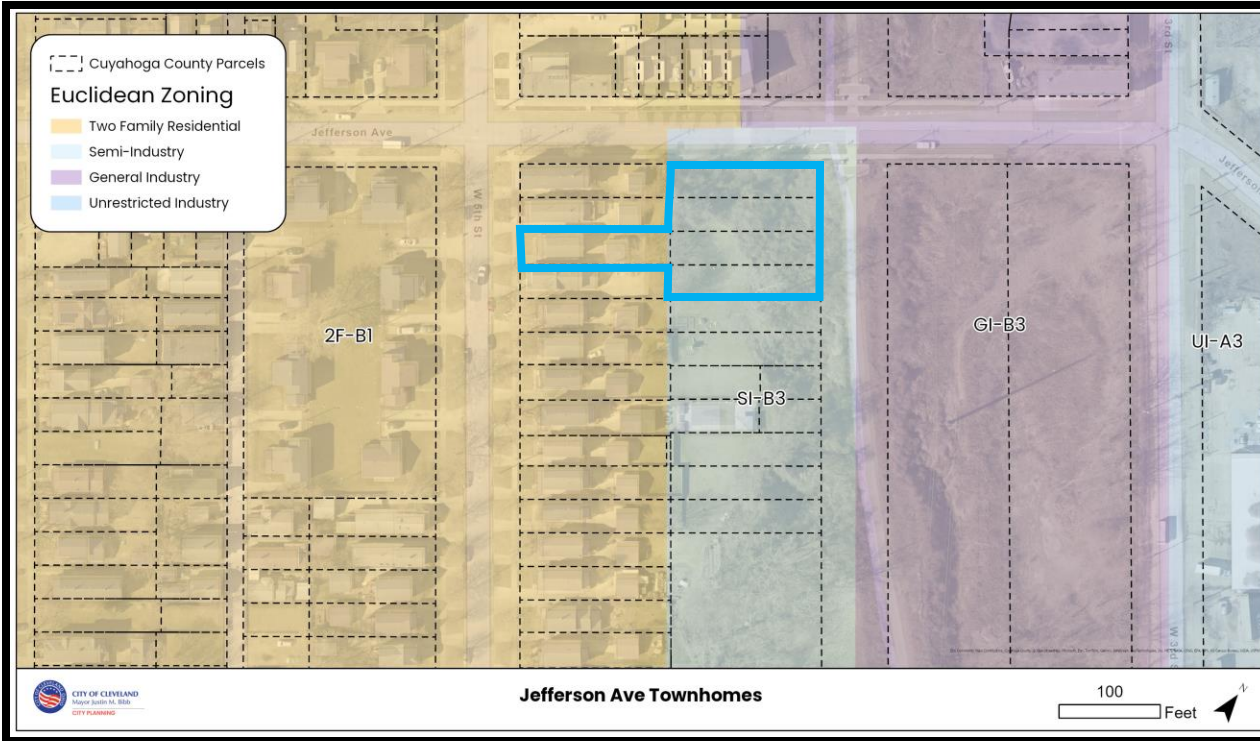
CITY OF CLEVELAND
Mayor Justin M. Bibb

CITY PLANNING COMMISSION

Conditional Use Townhouse in 2F

This project contains parcels located in a Two-Family Residential District fronting Jefferson Avenue.

Date



Conditional Use Townhouse in 2F

Per §337.031(h)(2): In any zoning district where a townhouse use is not permitted by right (ex. Single Family, Two (2) Family), the City Planning Commission shall determine, based on the application of division (e) of this section, if a townhouse use shall be permitted

Date



Conditional Use Townhouse in 2F

(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features

Date



Conditional Use Townhouse in 2F

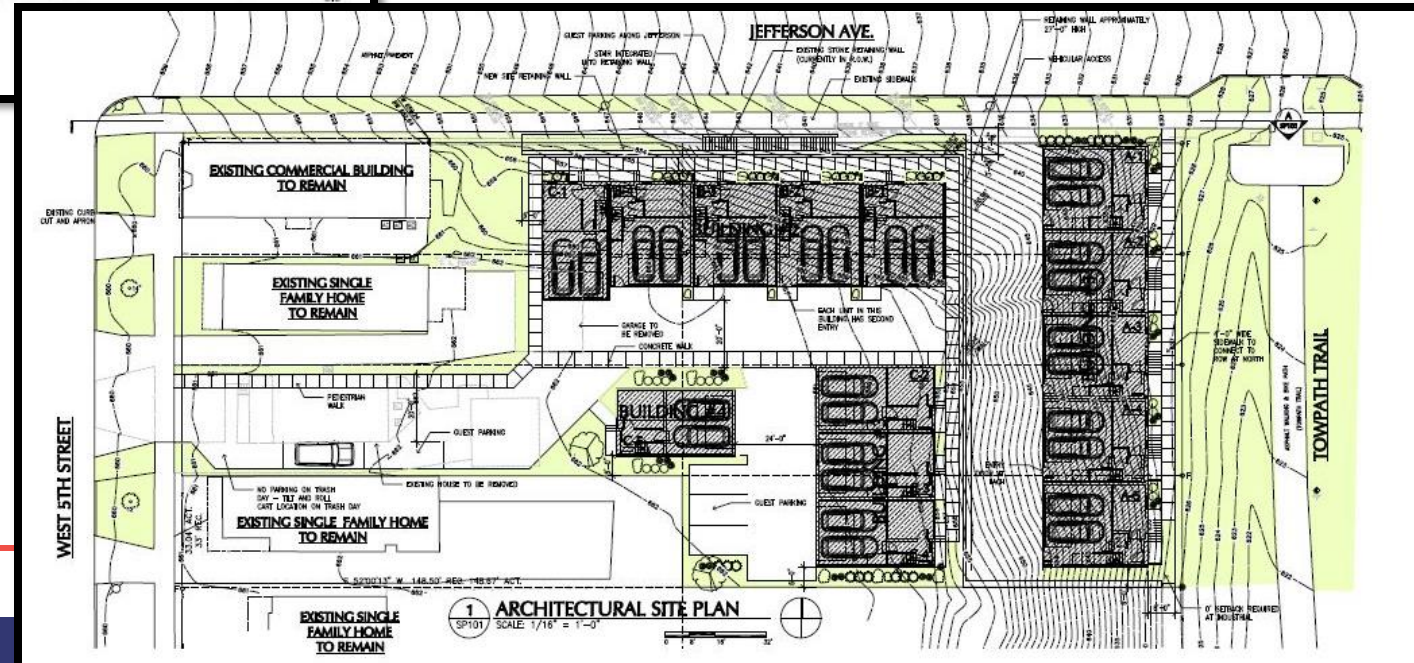
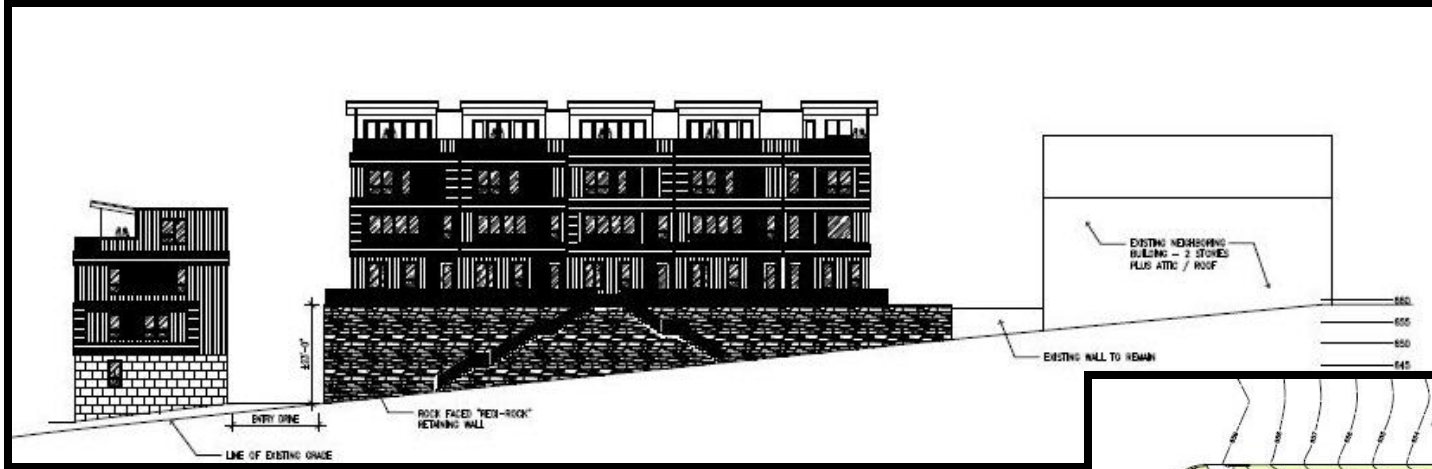
(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features

Date



Conditional Use Townhouse in 2F

(e)(2) Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space



Conditional Use Townhouse in 2F

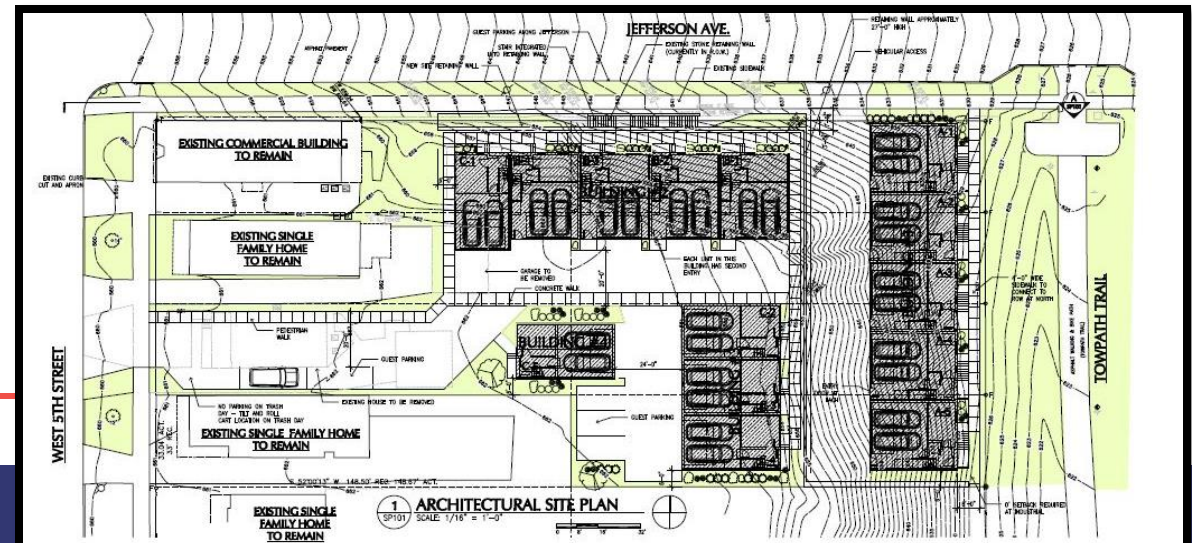
(e)(3) *Building Features.* Townhouse units shall contribute to the character of the public realm by drawing from the best examples of architecture and urbanism. Townhouse units shall be designed to create active, attractive, street frontages that promote safety and walkability using the essential elements of traditional urban architecture as regulated in division (g) of this section.



Conditional Use Townhouse in 2F

(e) (4) *Circulation and Parking.* Circulation and parking shall be designed to achieve the following:

- A.** Provide proper access for service and safety vehicles;
- B.** Minimize conflicts between pedestrians and vehicles;
- C.** Minimize the number of curb cuts;
- D.** Maximize opportunities for on-street parking, transit waiting environments, bike lanes, drop-off zones, street furniture, public amenities, and preserving and street trees by prohibiting front loaded garages and unenclosed parking in front yards; and
- E.** Prohibits placement of garage doors so close to sidewalks as to impair pedestrian safety.



Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

NW2023-36 Brevier Townhomes: Seeking Final Approval

Project Address: 1831 Brevier Avenue

Phase 1 of 2: Townhomes in the first half and additional apartments to be presented in the future

Project Representative: Casey Marks, Developer

Sept 6, 2024

BREVIER TOWNHOMES

1831 BREVIER AVENUE
CLEVELAND, OHIO

INDEX OF DRAWINGS

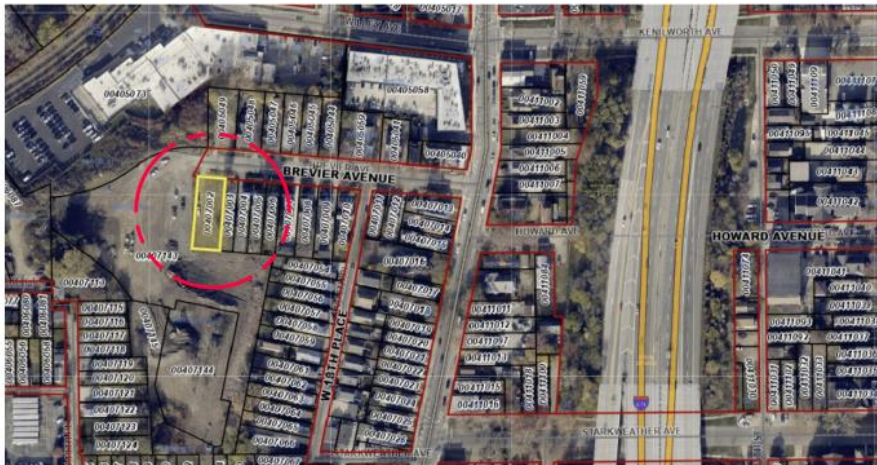
X-1	TITLE SHEET
X-11	ZONING LOCATION DETAILS
X-2	LANDSCAPE PLAN
C-001	CIVIL PROPOSED SITE PLAN
C-002	CIVIL CONSTRUCTION SITE PLAN
A-1	FOUNDATION PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	THIRD FLOOR PLAN
A-5	ROOF PLAN
A-6	ELEVATIONS
A-7	ELEVATIONS
A-8	SECTION DETAILS
A-9	FIRST FLOOR REFLECTED CEILING PLAN
A-10	SECOND FLOOR REFLECTED CEILING PLAN
A-11	THIRD FLOOR REFLECTED CEILING PLAN
B-1	SECOND FLOOR FRAMING PLAN
B-2	THIRD FLOOR FRAMING PLAN
B-3	ROOF FRAMING PLAN
M-1	LEGENDS, SCHEDULES AND DETAILS
M-2	HVAC PLANS
M-3	PLUMBING PLANS
M-4	MECHANICAL SPECIFICATIONS
E-1	ELECTRICAL DETAILS, DIAGRAMS AND SCHEDULES
E-2	ELECTRICAL PLANS

LOT COVERAGE

AREA OF LOT: 2,144 SF
FOOTPRINT OF HOUSE: 836 SF
TOTAL LOT COVERAGE: 37 %

SCOPE OF WORK

NEW 3 STORY FRAME HOUSE ON SLAB:
836 SF FIRST FLOOR
820 SF SECOND FLOOR
345 SF THIRD FLOOR

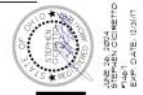


LOCATION PLAN
NO SCALE

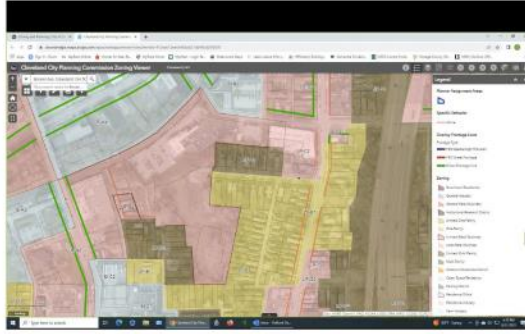


SPECIFICATIONS

- GENERAL CONDITIONS**
The latest edition AIA General Conditions shall apply to this project. A copy of this document is available for review at the office of the architect.
- The Contractor shall verify all grades, lines, levels, dimensions and field conditions as indicated on the drawings and report all discrepancies to the Architect immediately prior to commencing any work. In all instances where dimensions do not match the indicated drawings, the dimension shall prevail.
- The Contractor is responsible for protecting the existing property that is to remain, and must replace or repair same if damaged. This contractor shall retain all insurance and workers compensation as required by law.
- No deviations from the Construction Documents shall be made without approval of the Architect and Owner, authorized through written Change Order form as signed by the Architect.
- The Contractor shall guarantee his work and that of his sub-contractors for a period of one (1) year. All work shall be performed in accordance with governing codes, ordinances and applicable having jurisdiction.
- No substitutions shall be permitted for specified items unless specifically approved prior to the signing of the contract or agreement to perform services.
- The Contractor shall keep the site clear of debris and accumulation of waste material caused by the operations during the course of construction. He shall be responsible for the removal of all debris and waste material from the site. All construction vehicles shall be sufficiently clean upon leaving the site to keep the streets clear of debris.
- The use of these drawings and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method in whole or in part, is prohibited. Title to these drawings and specifications remain with the architect. Without prejudice, visual contact with these drawings and specifications shall constitute prima facie evidence of the acceptance of these restrictions.
- CONCRETE WORK**
1. The work required under this section consists of all concrete work and related items necessary to complete the work as indicated on the drawings and described herein. The following specific items are to be completed under this section. Footings and floor slabs as required. All materials shall conform to the requirements of the ASTM and the Portland Cement Association. Concrete floor slabs shall be 4000 psi and all other concrete shall be 3000 psi. Provide 3/8" round rebar in all floorings (under floor slabs provide 4" porous gravel fill). Slump of concrete shall be 3" max. Provide clearing tickets for each batch of concrete. Pour concrete in accordance with the recommendations of the Portland Cement Association.
2. In absence of soil borings, the architect has assumed 1,000 pcf soil bearing pressure on virgin soil. D.C. shall report all discrepancies to the architect.
3. Bottom of all footings shall be a minimum of 2'-0" below finish exterior grade for protection from frost.
- MASONRY**
1. This Contractor is to furnish and install all brick, stone and concrete block and related items to complete work as indicated on the drawings and as described herein. Facing brick shall be as selected by the architect and owner. All masonry shall be laid in a workmanlike manner to match that of the existing building.
- DAYDROOFING**
1. Foundation walls shall be waterproofed with epoxy applied bituminous (Koch HFI) waterproofing membrane and waterproof energy insulation board (TUFF ORIGIM) or equivalent system.
2. Foundation drains shall be 4" pipe perforated with a filter fabric laid in a bed of gravel, laid with a slope and lead into the existing storm sewer. Backfill with crushed stone from the foundation to a minimum of 12" of finished exterior grade.
- CAULKING**
1. Completely seal with caulking compound joints around frames and sills of doors, windows and other openings. Use Dap Caulking Compound. Apply caulk to obtain a neat bead.
- CARPENTRY**
1. All materials shall comply with the standards of the AWI, NAPA, NHA, DPMA and IAP. All exterior trim shall be rough saw cedar if not specifically noted. All interior woodwork shall be #1 pine or better. If not specifically noted on the drawings, in design to match the existing.
2. Structural framing under floors, joists and rafters shall be kiln dried 2000 psi Fir or species representative member. Use # construction grade. Stud and framing to drawings.
3. All exterior sheathing shall be CDX Plywood 1/2" for walls and 3/8" for roof sheathing if not specifically noted.
4. Flooring shall be 3/4" T&G Plywood with Fir/In floor, glued and nailed.
5. Wood framing to be sized as shown on drawings. All members to be in single lengths between supports. All members to be bolted or spiked and braced in substantial manner.
6. All partitions and walls shall have solid panels and double top cap. Exterior wall sole plates shall be pressure treated. Corners and angles to be formed blocked and all square and plumb. Studs to be spaced at all coverings. All sheathing shall be 1/2" o.c. except where noted differently on drawings.
7. Floor and ceiling joists shall be rigidly braced at intervals not exceeding 4'-0" with one 1/2" x 3" cross bracing double nailed at each joint.
8. Sills and sashes resting on masonry or concrete to be anchored with 1/2" bolts at 4'-0" o.c. set on compressible material.
- WINDOWS**
1. Tempered glass to be supplied where required by building codes.
- CERAMIC TILE**
1. Ceramic tile shall be installed with a thin set method. Grout to be non-styric hydromer. All joints shall be straight and true with clean, even cuts. Color and size as selected by Architect or Owner.
2. Underlayment shall be 1/2" Cement board on all walls and floors.
- MIRRORS AND GLAZING**
1. Mirrors shall be 1/4" polished glass free from silvering, defects, with finished exposed edges.
- PAINTING**
1. All painted interior surfaces to receive primer/sealer and two coats finish. Wall and ceilings shall be flat or satin glass.
2. All painted exterior surfaces to be properly prepared per satin glass enamel.
- CLEAN UP**
1. All debris to be removed from premises and site.
2. House interior to be professionally cleaned with windows washed both inside and out.
3. All tools, equipment and materials of trades to be removed from site.
4. All final grading shall be complete prior to acceptance by Owner.



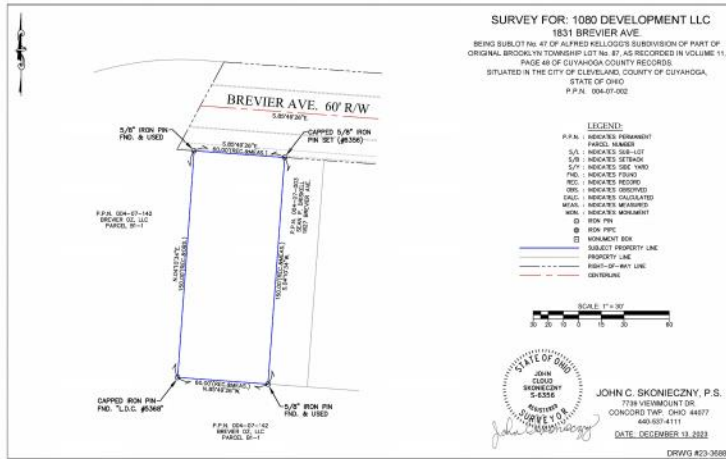
PROJECT TITLE: 1831 BREVIER AVENUE, CLEVELAND, OHIO
 SHEET TITLE: TITLE SHEET
 DATE: 12/24/24
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 ARCHITECT: STEPHEN CICIRETTO, A.I.A. • ARCHITECT
 270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000 • sc-ese@abglobal.net



ZONING MAP



PLAT MAP



PROFESSIONAL SURVEY



LOOKING SOUTHWEST



LOOKING SOUTHEAST



LOOKING NORTHEAST



LOOKING NORTH AT 1830 BREVIEW

PROJECT FILE: 2023-01-12
DATE: 12/13/23
DRAWN BY: JCS

TITLE SHEET

STEPHEN CIGIRETTO

STEPHEN CIGIRETTO, A.I.A. • ARCHITECT
270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000 • sc-cia@scglobe.net



(2) 1 1/2' CAL PINK MAGNOLIA



2' CAL FLOWERING WHITE DOGWOOD -TYPICAL AT TREE LAWN



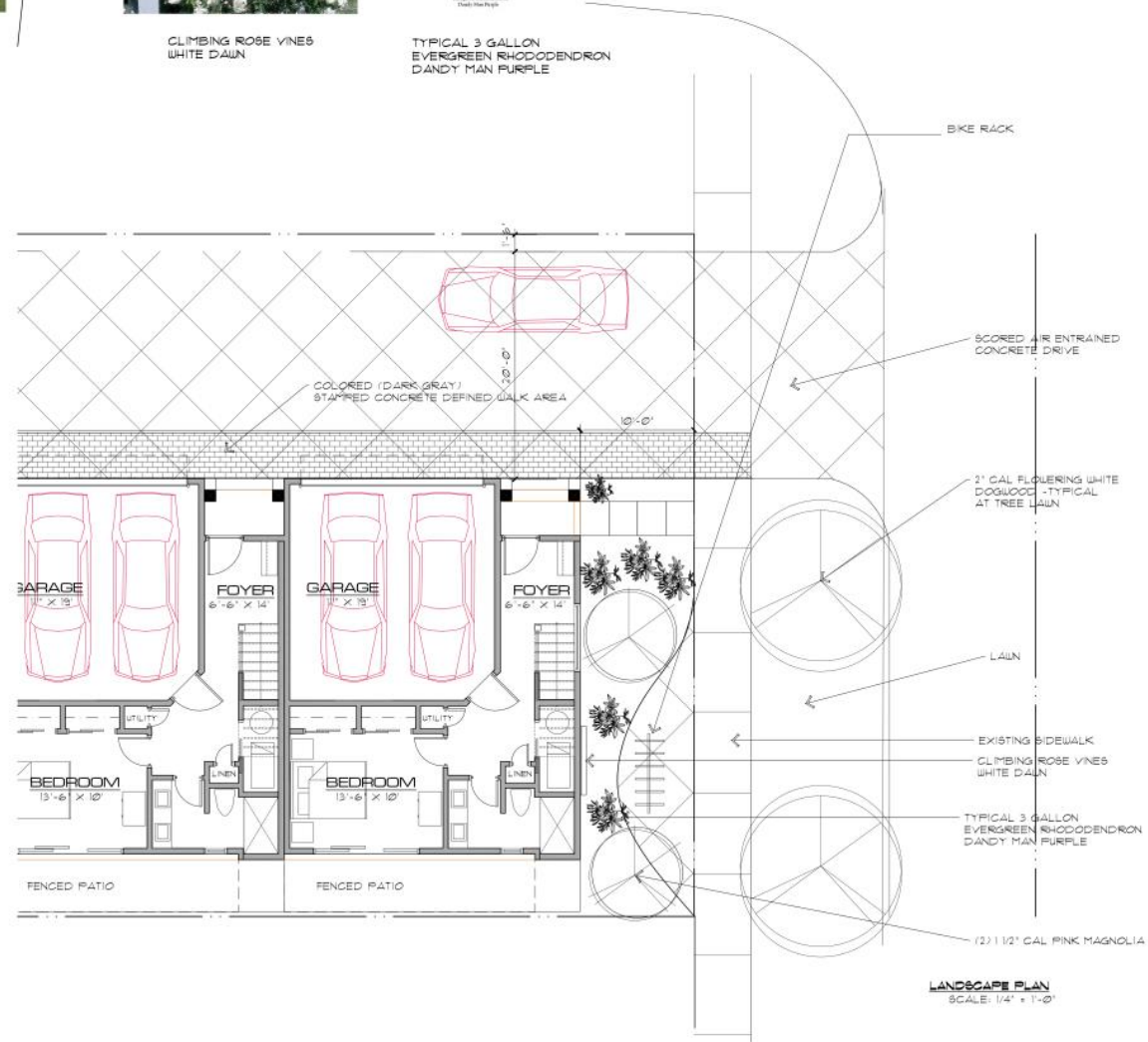
CLIMBING ROSE VINES WHITE DAWN



TYPICAL 3 GALLON EVERGREEN RHODODENDRON DANDY MAN PURPLE



BIKE RACK



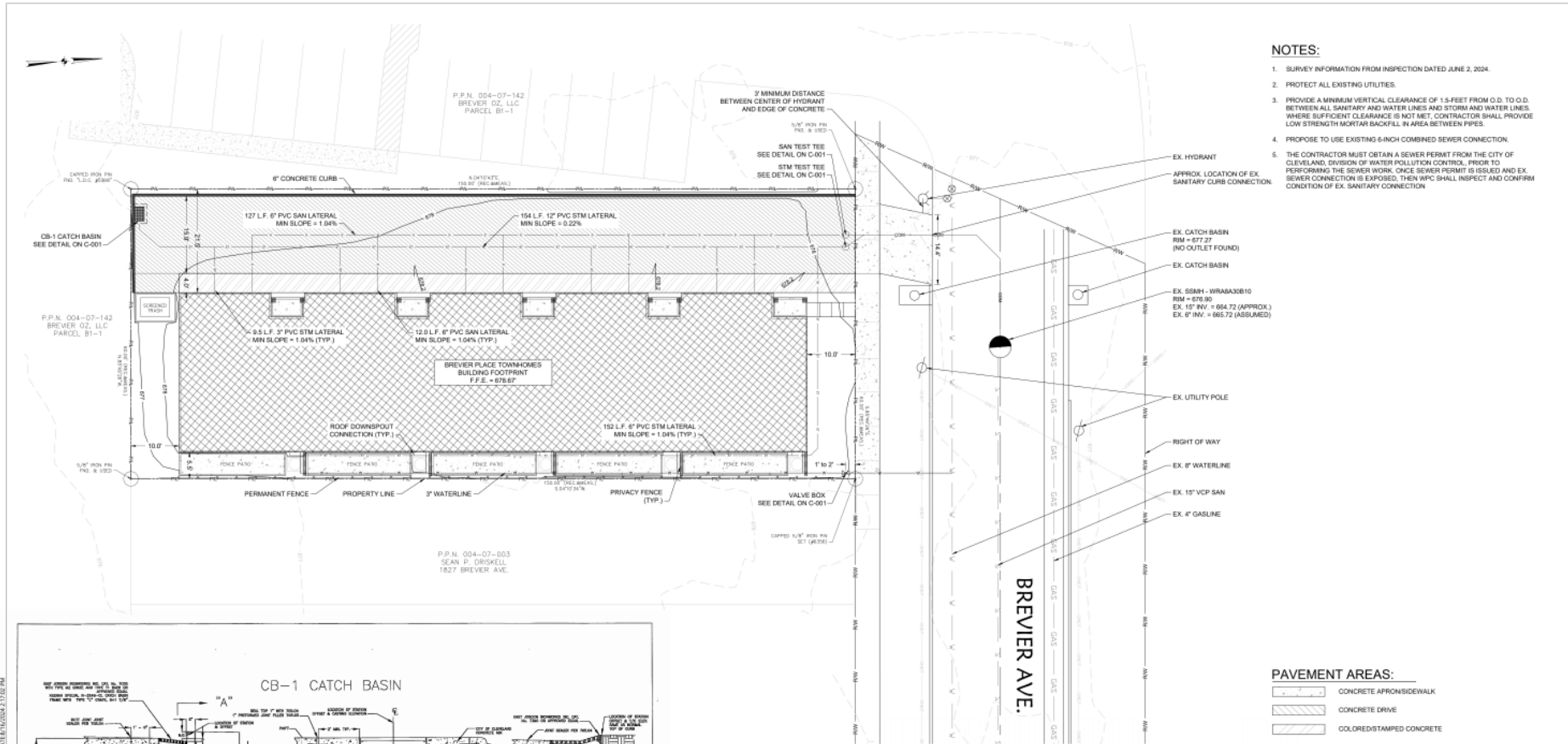
LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"



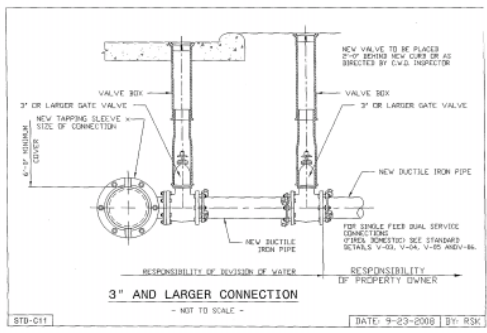
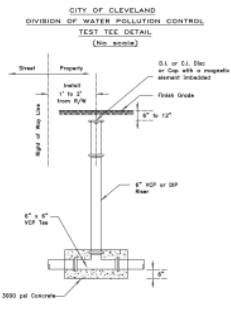
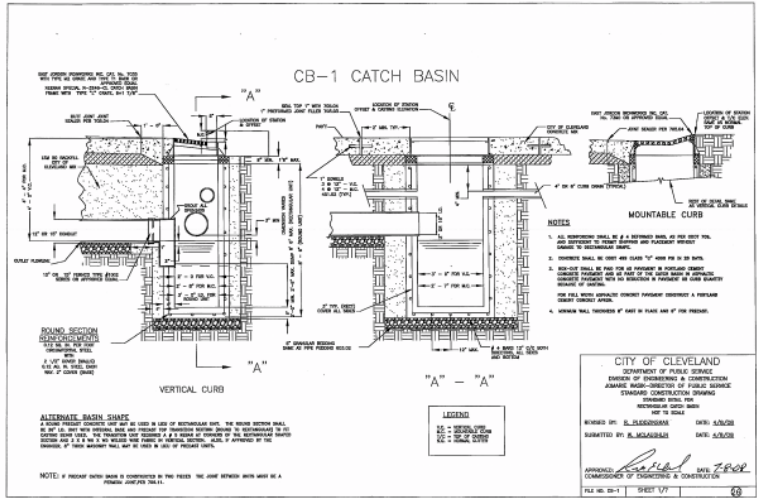
SHEET TITLE: LANDSCAPE PLAN
PROJECT TITLE: BARKER PLACE TOWNHOUSE @ CLIFTONWOOD
DATE: 7/1/24
DRAWN BY: [Signature]

STEPHEN CICIRETTO, A.I.A. ARCHITECT
270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000 · socals@abglobal.net

DATE: 06/26/2024
FILE: 2406010
DWG DATE: 0.001



- NOTES:**
1. SURVEY INFORMATION FROM INSPECTION DATED JUNE 2, 2024.
 2. PROTECT ALL EXISTING UTILITIES.
 3. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 1.5 FEET FROM O.D. TO O.D. BETWEEN ALL SANITARY AND WATER LINES AND STORAGE WATER LINES WHERE SUFFICIENT CLEARANCE IS NOT MET, CONTRACTOR SHALL PROVIDE LOW STRENGTH HORTICULTURAL AREA BETWEEN PIPES.
 4. PROPOSE TO USE EXISTING 6-INCH COMBINED SEWER CONNECTION.
 5. THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF WATER POLLUTION CONTROL, PRIOR TO PERFORMING THE SEWER WORK. ONCE SEWER PERMIT IS ISSUED AND EX. SEWER CONNECTION IS EXPOSED, THEN WPC SHALL INSPECT AND CONFIRM CONDITION OF EX. SANITARY CONNECTION.



FILE NAME: D:\CADD\Compiling\Projects - City of Cleveland\Projects - 24-17 - Brewer Ave.CAD LAST DATE BY: TOWNS, 2/1/24 PM PROJECT DATE BY: TOWNS, 2/1/24 PM



REV	DATE	ISSUED BY	REMARKS	REV	DATE	ISSUED BY	REMARKS

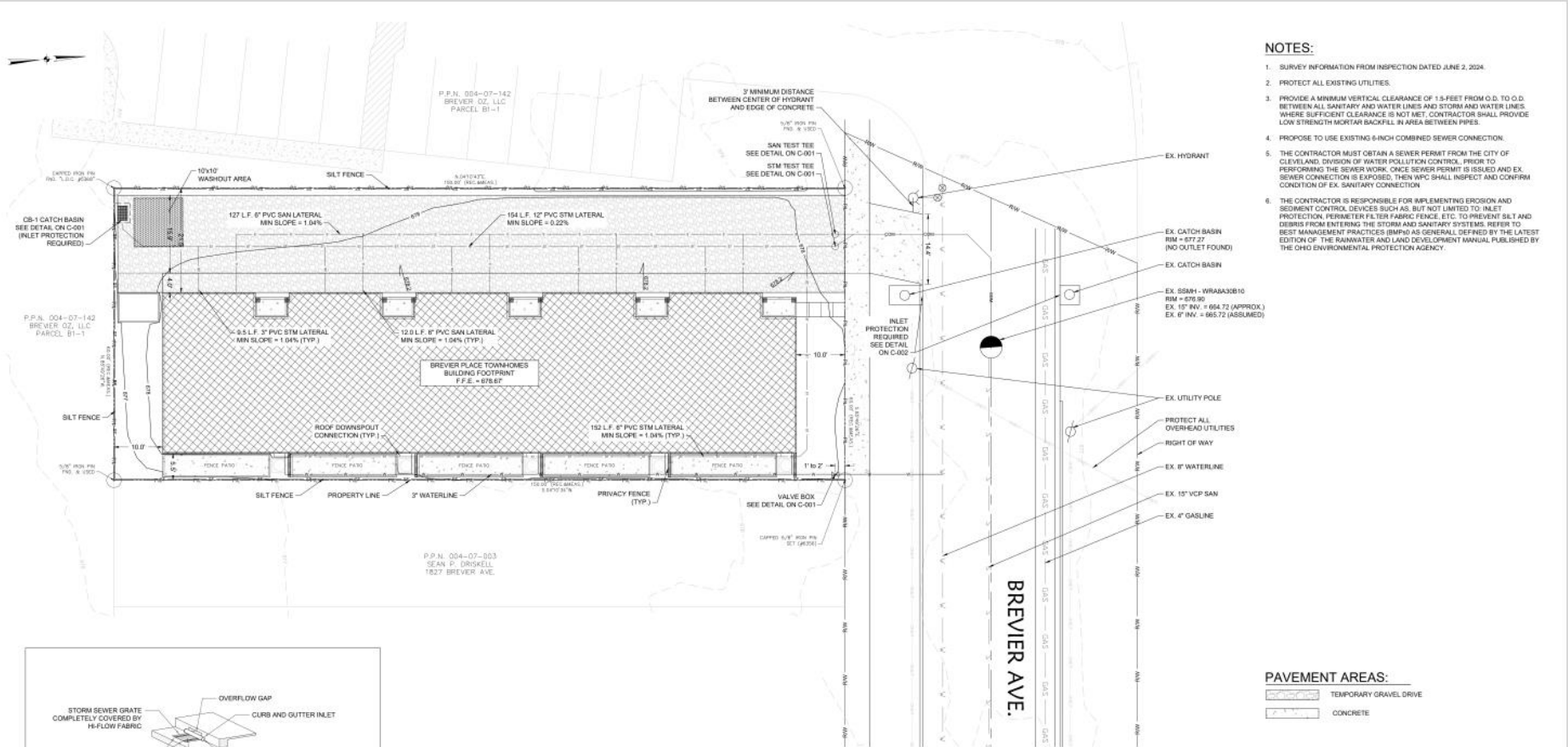
BREWER PLACE TOWNHOMES
 1831 BREWER AVE.
 CLEVELAND, OHIO

CIVIL
 PROPOSED SITE PLAN

WARNING
 0 1/2 1
 IF THIS BAR DOES NOT MEASURE 1\"/>

PROJECT SET: 24-17-17
 SHEET NO.: C-001

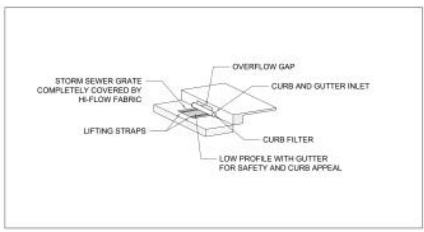
FILE NAME: C:\P2\Civil\Projects\Brewer\Brewer\Drawings\CA_CAD\Site - Breweries.dwg LAST DATE: 7/10/2024 11:16 AM



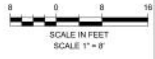
- NOTES:**
1. SURVEY INFORMATION FROM INSPECTION DATED JUNE 2, 2024.
 2. PROTECT ALL EXISTING UTILITIES.
 3. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 1.5 FEET FROM O.D. TO O.D. BETWEEN ALL SANITARY AND WATER LINES AND STORM AND WATER LINES. WHERE SUFFICIENT CLEARANCE IS NOT MET, CONTRACTOR SHALL PROVIDE LOW STRENGTH MORTAR BACKFILL IN AREA BETWEEN PIPES.
 4. PROPOSE TO USE EXISTING 6-INCH COMBINED SEWER CONNECTION.
 5. THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF WATER POLLUTION CONTROL, PRIOR TO PERFORMING THE SEWER WORK. ONCE SEWER PERMIT IS ISSUED AND EX. SEWER CONNECTION IS EXPOSED, THEN WPC SHALL INSPECT AND CONFIRM CONDITION OF EX. SANITARY CONNECTION.
 6. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL DEVICES SUCH AS, BUT NOT LIMITED TO, INLET PROTECTION, PERIMETER FILTER FABRIC FENCE, ETC. TO PREVENT SILT AND DEBRIS FROM ENTERING THE STORM AND SANITARY SYSTEMS. REFER TO BEST MANAGEMENT PRACTICES (BMP) AS GENERALLY DEFINED BY THE LATEST EDITION OF THE RAINWATER AND LAND DEVELOPMENT MANUAL PUBLISHED BY THE OHIO ENVIRONMENTAL PROTECTION AGENCY.

PAVEMENT AREAS:

- TEMPORARY GRAVEL DRIVE
- CONCRETE



DANDY CURB BAG
SCALE: NTS



REV	NO	DATE	ISSUED BY	REMARKS	REV	NO	DATE	ISSUED BY	REMARKS

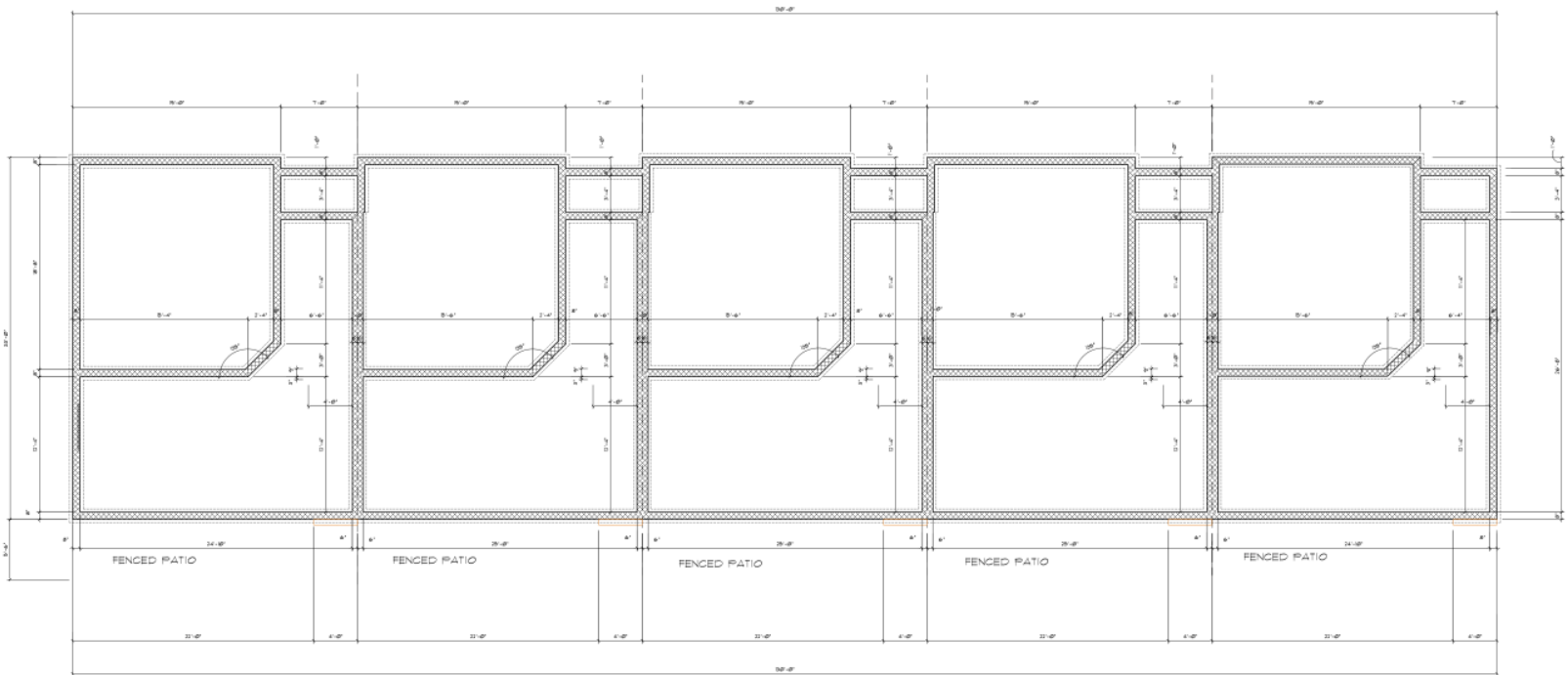
DESIGNED BY: JMB
 DRAWN BY: JMB
 CHECKED BY: JMB
 APPROVED BY: JMB
 ISSUE DATE: 06/20/2024

BREWER PLACE TOWNHOMES
 1831 BREWER AVE.
 CLEVELAND, OHIO

CIVIL
 CONSTRUCTION SITE PLAN

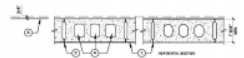
WARNING
 IF THIS BAG DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

PROJECT NO: 223 OF 23
 SHEET NO: C-002



6. FIRE RATING
Design No. US94

Rearing Wall Rating - 3 HR.
Nonbearing Wall Rating - 3 HR.



- 1. Concrete Block - various design, Class II (C-12)
- 2. Mortar - Blocks laid in full bed of mortar, min. 1/2" thick of top surface in alignment with face of block. Mortar joints to be per manufacturer's recommendations. Mortar joints to be finished with a smooth trowel.
- 3. Reinforced Concrete Exterior or Interior Finish - as indicated on the foundation attachment drawings (see drawings)
- 4. Exterior Masonry - 1/2" of concrete block finish on exterior side of exterior wall. 1/2" of concrete block finish on interior side of interior wall. 1/2" of concrete block finish on exterior side of exterior wall. 1/2" of concrete block finish on interior side of interior wall.
- 5. Exterior Finish - (optional - not shown) - as indicated on the foundation attachment drawings (see drawings)
- 6. Exterior Finish - (optional - not shown) - as indicated on the foundation attachment drawings (see drawings)

Rearing the 1/2" Class II Masonry

TYPICAL 1 HOUR RATED FIRE WALL CONSTRUCTION



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

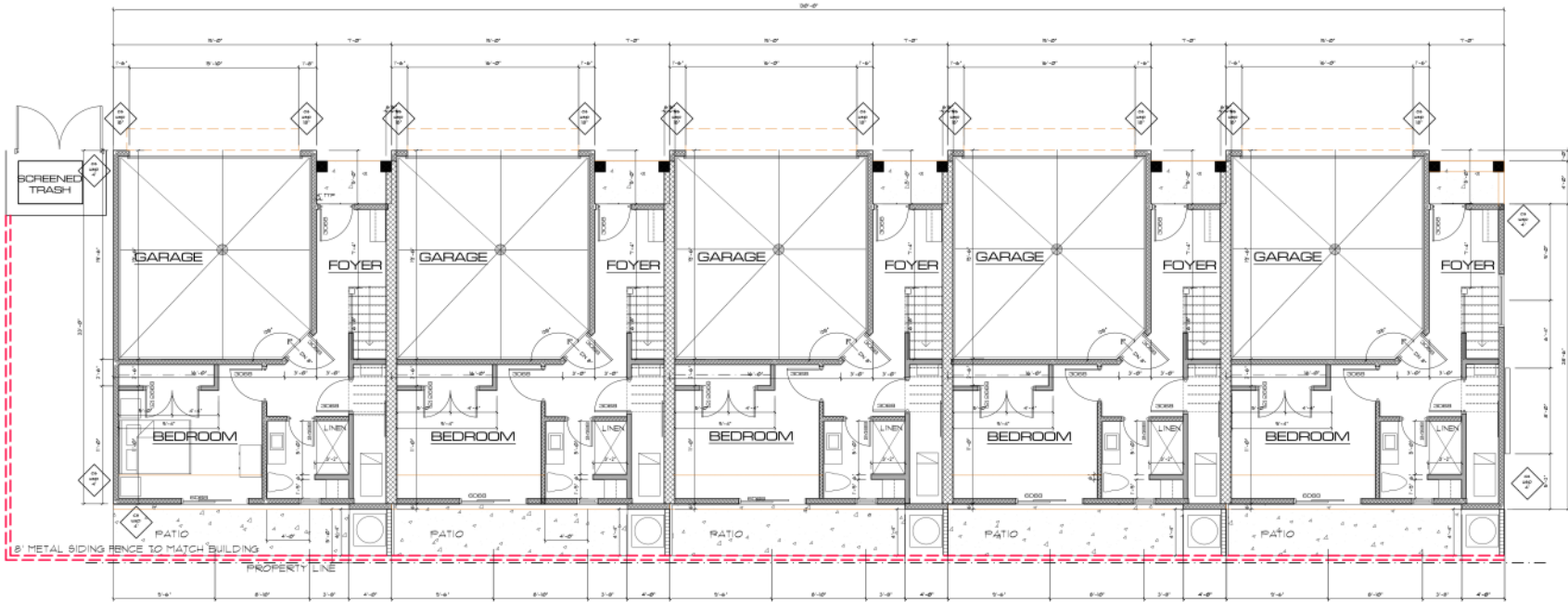
DATE: 10/24
DRAWN BY:

PROJECT: 151
SHEWEN PLACE, TONAWANDA
1818 BREWER AVE
CLEVELAND, OHIO

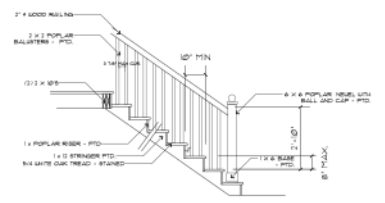
SHEET TITLE:
BASEMENT PLAN

STEPHEN CICIRETTO, A.I.A. ARCHITECT
270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000





FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

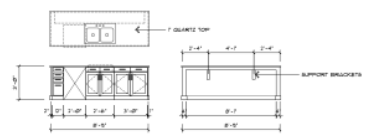
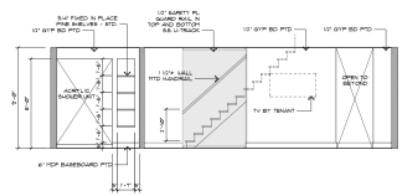
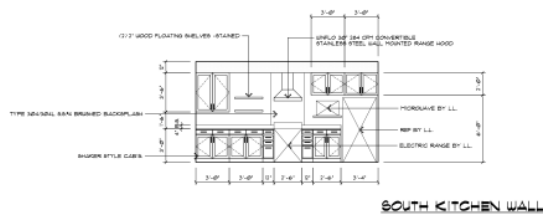
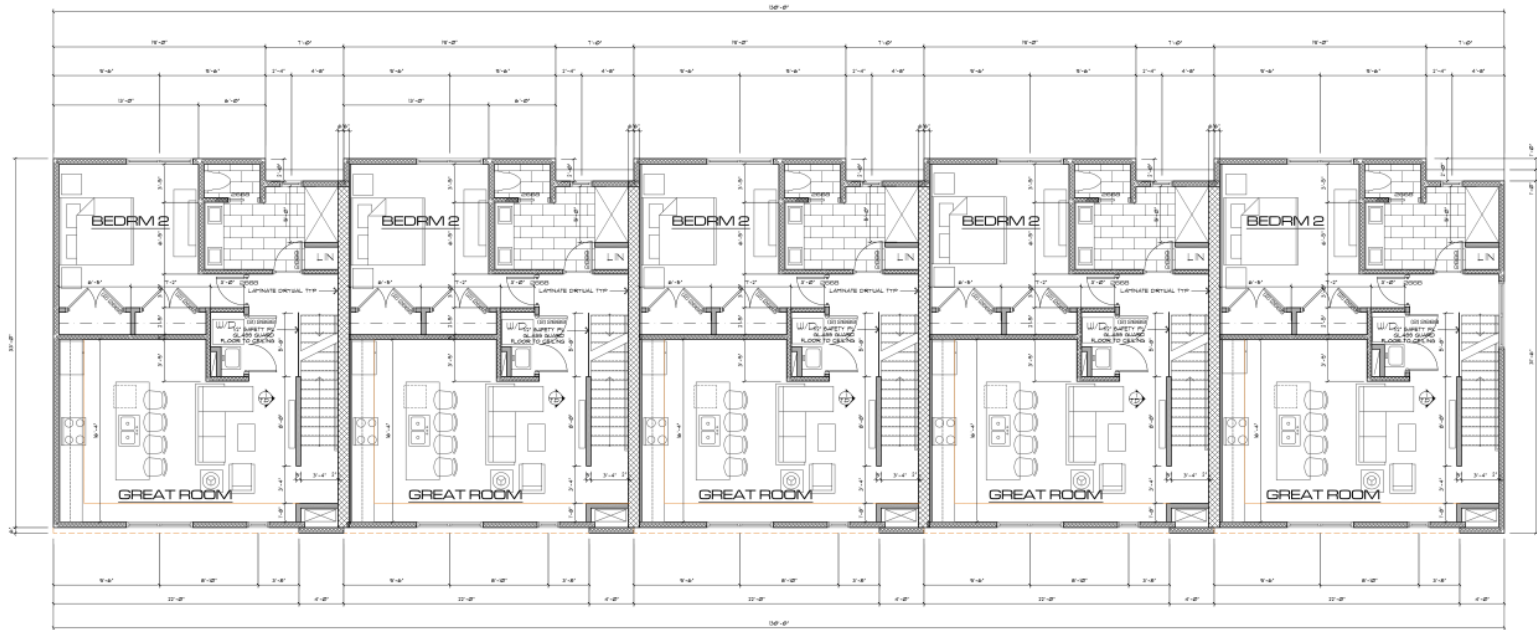


INTERIOR STAIR/BALUSTRADE DETAIL
NO SCALE

- WALL LEGEND**
- NEW 2 x 4 STUD WALL (8' OC) - INSULATED WITH R-5 KRAFT PAPER FACED FIB. INSULATION EXTERIOR WITH R-5 CONT. STYROFOAM B1 INSULATION
 - NEW 2 x 4 STUD WALL (8' OC)
 - BRACED WALL - CONTINUOUS 1/2" CDX FLUID SHEATHING WOOD STRUCTURAL PANEL, LENGTH BRACED WALL ALSO OCCURS AT INTERIOR HALL AT GARAGE DOORS AS INDICATED. BRACED WALL NAILING PATTERN AS COMMON NAILS 8" OC AT FRAMER AND 3" OC IN FIELD. SEE DETAIL A-10 FOR OPENINGS LARGER THAN 6"

SHEET TITLE: **FIRST FLOOR PLAN**
 PROJECT TITLE: **AGE TOWNHOUSES**
 1831 PARKVIEW AVE
 CLEVELAND, OHIO
 DATE: 10/24
 DRAWN BY:

STEPHEN CICIRETTO, A.I.A. · ARCHITECT
 270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000



ISLAND ELEVATIONS

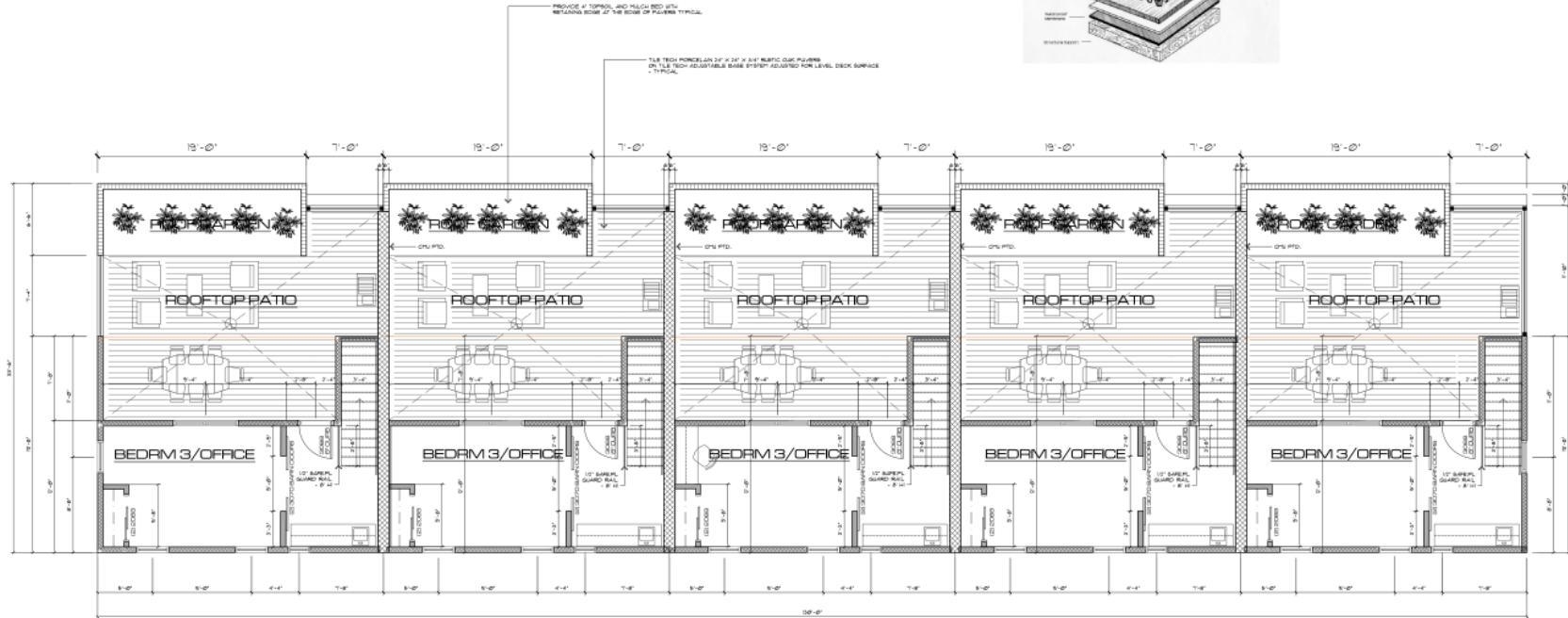
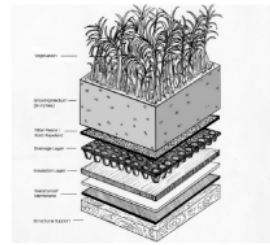
TYPICAL KITCHEN CABINET ELEVATIONS
SCALE: 1/4" = 1'-0"



PROJECT TITLE: **SENIOR LIVING COMMUNITIES**
 SHEET TITLE: **SECOND FLOOR PLAN**
 DATE: 1/11/24
 DRAWN BY: [Signature]

STEPHEN CICIRETTO, A.I.A. · ARCHITECT
 270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000



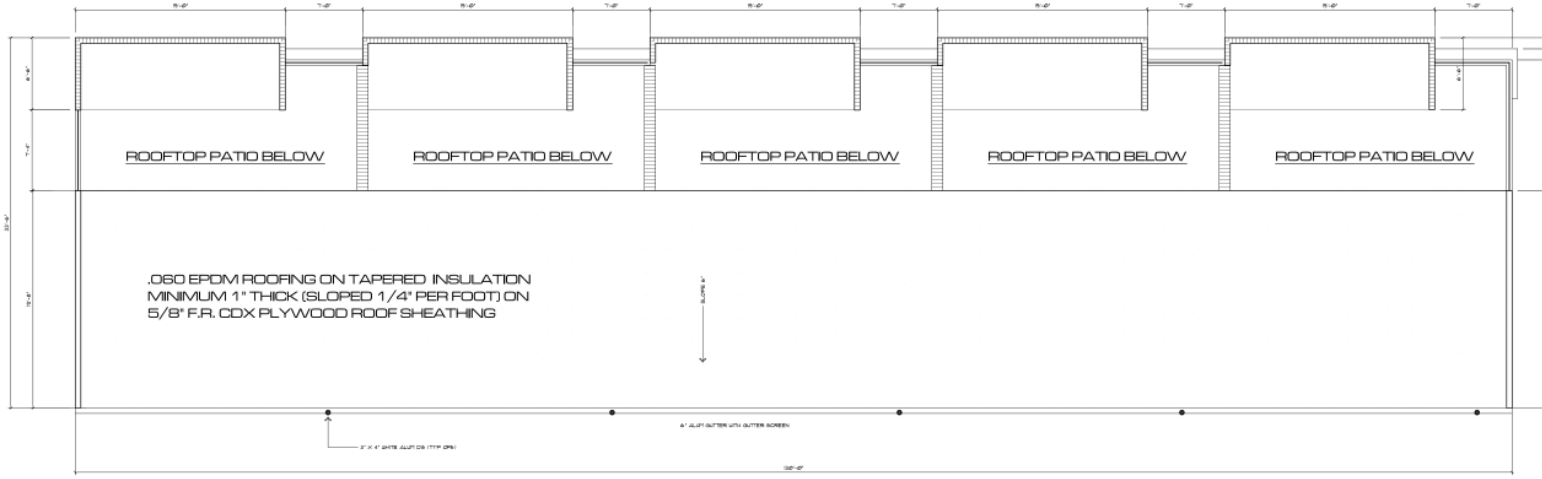


THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET TITLE: **THIRD FLOOR PLAN**
PROJECT NAME: **270 PARK PLACE TOWNHOUSES**
DATE: **11/10/24**
DRAWN BY: **EM**

STEPHEN CICIRETTO, A.I.A. ARCHITECT
270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000





ROOF PLAN
SCALE: 1/4" = 1'-0"



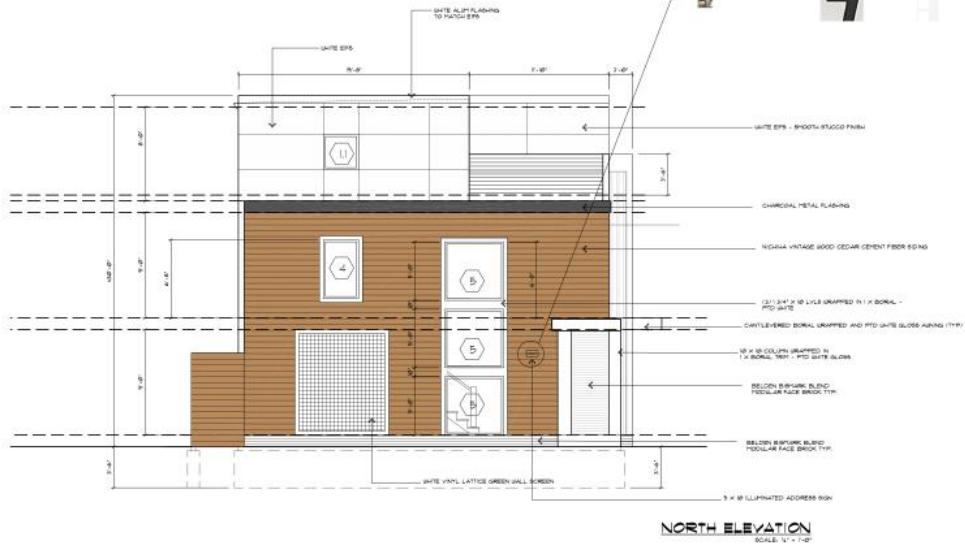
DATE: 1/1/24	BY: [Signature]
PROJECT TITLE: 270 PARK PLACE - TOWNHOMES - CLEVELAND, OHIO	SCALE: 1/4" = 1'-0"
PROJECT NO: 44022	DATE: 1/1/24
ARCHITECT: STEPHEN CICIRETTO, A.I.A.	STATE: OHIO

STEPHEN CICIRETTO, A.I.A. · ARCHITECT
 270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000



WINDOW NOTES
 All window #s refer to FELLA WINDOW manufacturer, vinyl series 250 windows with low-e glass, white finish screens in sizes indicated.

- W-1 30" X 30" AWNING STYLE
- W-1 30" X 30" FIXED
- W-2 32" X 12" CASEMENT MULLED TO (3) 32" X 24" FIXED PICTURE WINDOWS
- W-3 (2) MULLED 36" X 60" CASEMENT (EGRESS)
- W-4 36" X 60" FIXED
- W-5 60" X 60" FIXED
- W-6 24" X 24" FIXED



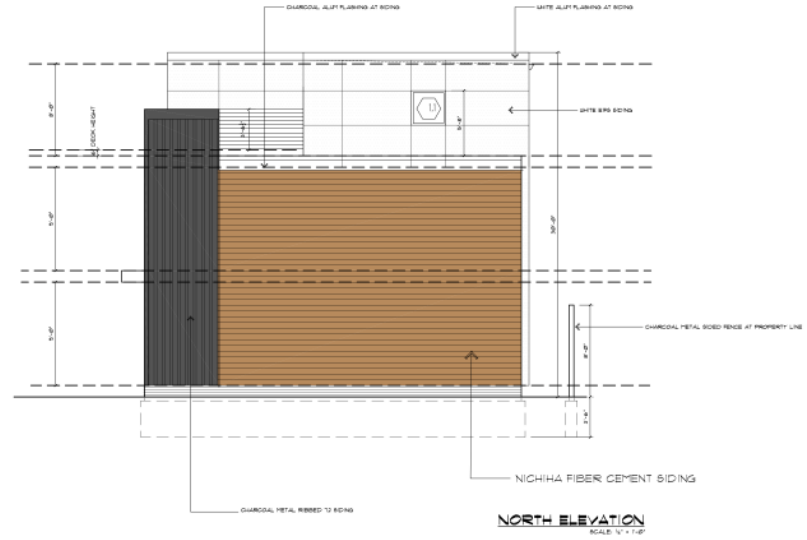
SHEET TITLE: FRONT ELEVATION
 PROJECT TITLE: 16537 W. PARK PLACE, TOLEDO, OHIO
 DATE: 10/24
 DRAWN BY: [Name]
 REVISION:

STEPHEN CICIRETTO, A.I.A. ARCHITECT
 270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000





EAST ELEVATION
SCALE: 1/4" = 1'-0"

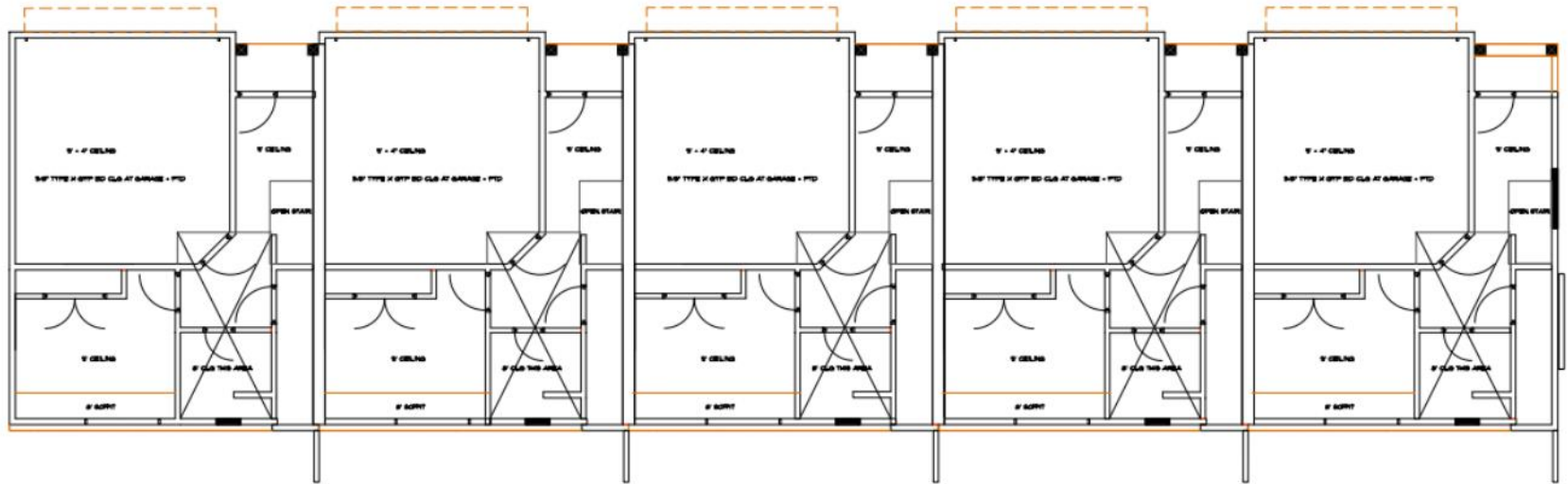


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SEAR ELEVATION
PROJECT TITLE: SEAR ELEVATION
PROJECT ADDRESS: 270 PARK PLACE, LOANACHES, CLEVELAND, OHIO
DATE: 7/11/24
DRAWN BY: [Redacted]

STEPHEN CICIRETTO, A.I.A. ARCHITECT
270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000



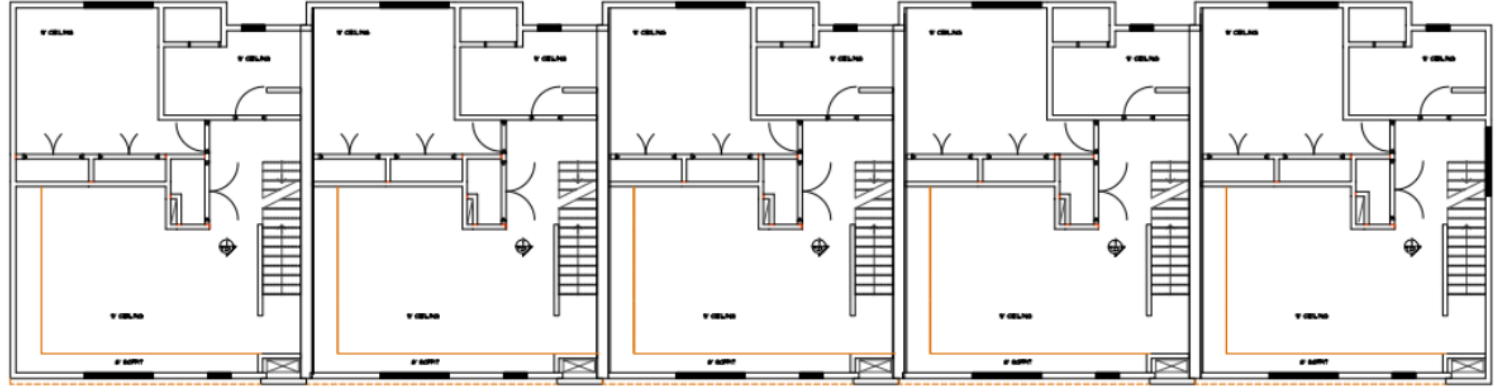


FIRST FLOOR REFLECTED CEILING PLAN
SCALE 1/8" = 1'-0"

SHEET NO. 101
 FIRST FLOOR REFLECTED CEILING PLAN
 DATE: 1/15/24
 DRAWN BY: [Redacted]

STEPHEN CICIRETTO, A.I.A. ARCHITECT
 270 PARK PLACE • CHAGIN FALLS, OHIO 44022 • (440) 247-1000



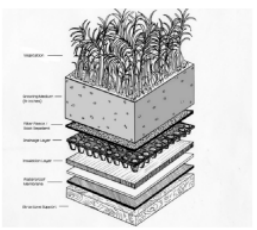
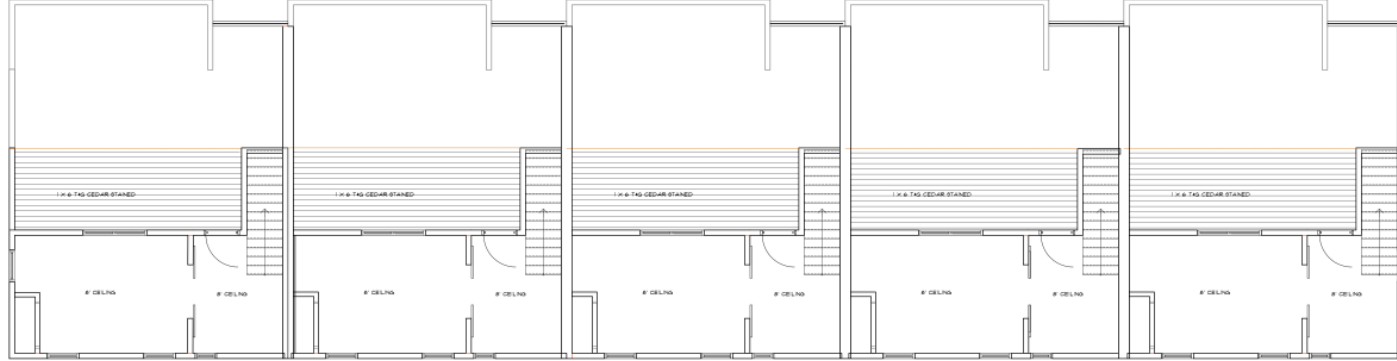


SECOND FLOOR REFLECTED CEILING PLAN
SCALE 1/4" = 1'-0"




SECOND FLOOR REFLECTED CEILING PLAN
 SHEET NO. 1104
 DATE: 11/14/14

STEPHEN CICIRETTO, A.I.A. ARCHITECT
 270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000



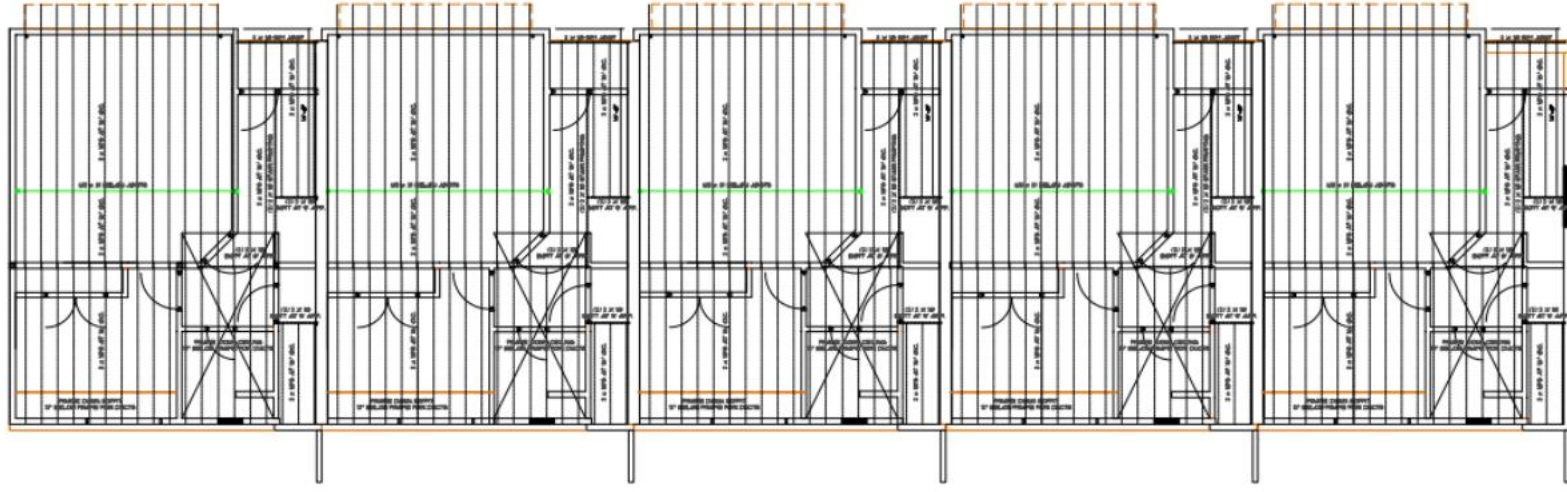
THIRD FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



PROJECT TITLE: **THIRD FLOOR REFLECTED CEILING PLAN**
 DATE: 11/17/24
 DRAWN BY: [Name]
 CHECKED BY: [Name]

STEPHEN CICIRETTO, A.I.A. · ARCHITECT
 270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000





SECOND FL. FRAMING PLAN
SCALE: 1/4" = 1'-0"



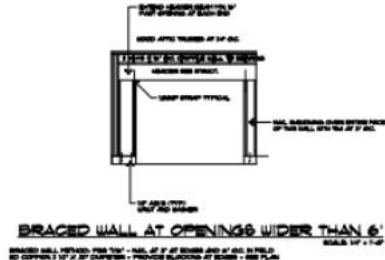
City of Cleveland

Climate and Geographic Design Criteria

See Title and Chapter 170, Building Code (BC), for the required design...
WIND DESIGN: ASCE 7-10, Chapter 27
SEISMIC DESIGN: ASCE 7-10, Chapter 16
...
DESIGN WIND SPEED: 110 mph
...
DESIGN SEISMIC COEFFICIENT: 0.10
...
DESIGN TEMPERATURE: 32°F

STRUCTURAL NOTES

- 1. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 2. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 3. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 4. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 5. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 6. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 7. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 8. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 9. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 10. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 11. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 12. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 13. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 14. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 15. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 16. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 17. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 18. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 19. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
- 20. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.

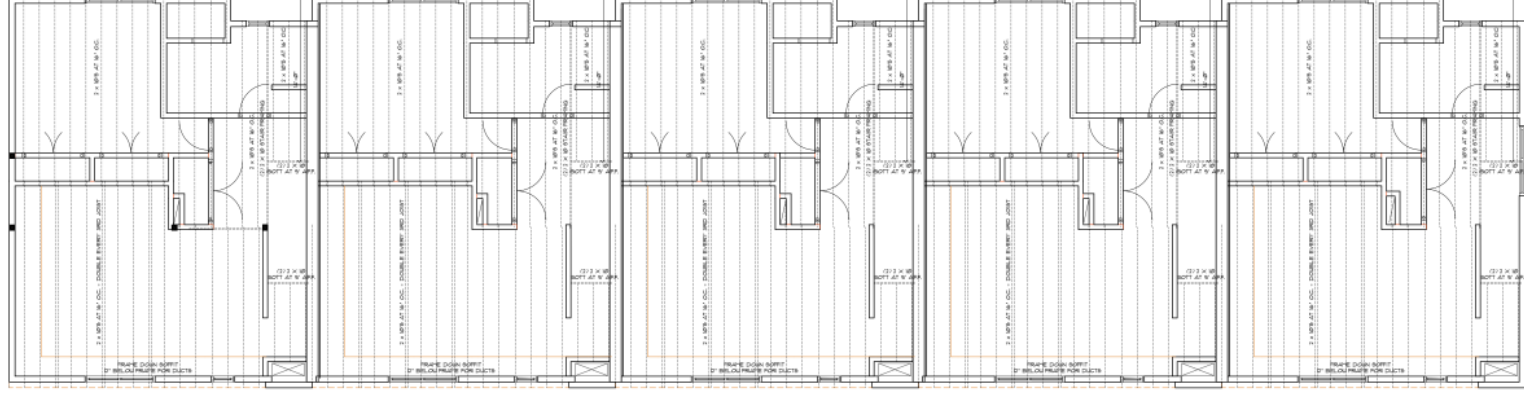


BRACED WALL AT OPENINGS WIDER THAN 6'
SCALE: 1/4" = 1'-0"

PROJECT: SECOND FLOOR FRAMING PLAN
DATE: 7/1/24
DRAWN BY: [Name]
CHECKED BY: [Name]

STEPHEN CICIRETTO, A.I.A. ARCHITECT
270 PARK PLACE • CHAGIN FALLS, OHIO 44022 • (440) 247-1000





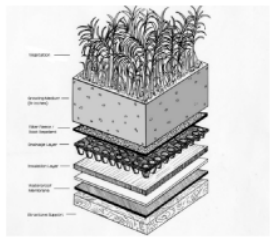
THIRD FL FRAMING PLAN
SCALE: 1/4" = 1'-0"




 SHEET TITLE: THIRD FLOOR FRAMING PLAN
 PROJECT TITLE: 270 PARK PLAZA TORRHOUSES
 837 PARKVIEW AVE
 CLEVELAND, OHIO
 DATE: 7/1/24
 DRAWN BY:


STEPHEN CICIRETTO, A.I.A.
 270 PARK PLAZA • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000

ARCHITECT



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



SHEET TITLE: **ROOF FRAMING PLAN**
 PROJECT TITLE: **BLAZE LOUNCHES**
 307 BURNER AVE
 CLEVELAND, OHIO

STEPHEN CICIRETTO, A.I.A. · ARCHITECT
 270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (416) 247-1000





ABBREVIATION	SYMBOL	DESCRIPTION
ad		access door
af		air filter
al		access door
am		air meter
an		air nozzle
ap		air pressure
ar		air register
as		air supply
at		air terminal
av		air valve
aw		air wye
ax		air exchanger
ay		air yoke
az		air zone
ba		backflow preventer
bb		backflow valve
bc		backflow check valve
bd		backflow damper
be		backflow detector
bf		backflow device
bg		backflow preventer assembly
bh		backflow preventer valve
bi		backflow preventer wye
bj		backflow preventer tee
bk		backflow preventer elbow
bl		backflow preventer cross
bm		backflow preventer union
bn		backflow preventer nipple
bo		backflow preventer flange
bp		backflow preventer gasket
bq		backflow preventer seal
br		backflow preventer cap
bs		backflow preventer plug
bt		backflow preventer nut
bu		backflow preventer washer
bv		backflow preventer bolt
bw		backflow preventer screw
bx		backflow preventer rivet
by		backflow preventer pin
bz		backflow preventer clip
ca		ceiling air diffuser
cb		ceiling air diffuser grille
cc		ceiling air diffuser frame
cd		ceiling air diffuser cover
ce		ceiling air diffuser gasket
cf		ceiling air diffuser seal
cg		ceiling air diffuser cap
ch		ceiling air diffuser plug
ci		ceiling air diffuser nut
cj		ceiling air diffuser washer
ck		ceiling air diffuser bolt
cl		ceiling air diffuser screw
cm		ceiling air diffuser rivet
cn		ceiling air diffuser pin
co		ceiling air diffuser clip
cp		ceiling air diffuser fastener
cq		ceiling air diffuser hardware
cr		ceiling air diffuser component
cs		ceiling air diffuser part
ct		ceiling air diffuser assembly
cu		ceiling air diffuser sub-assembly
cv		ceiling air diffuser section
cw		ceiling air diffuser detail
cx		ceiling air diffuser note
cy		ceiling air diffuser callout
cz		ceiling air diffuser reference
da		damper
db		damper actuator
dc		damper control
dd		damper drive
de		damper motor
df		damper switch
dg		damper sensor
dh		damper actuator assembly
di		damper control assembly
dj		damper drive assembly
dk		damper motor assembly
dl		damper switch assembly
dm		damper sensor assembly
dn		damper actuator sub-assembly
do		damper control sub-assembly
dp		damper drive sub-assembly
dq		damper motor sub-assembly
dr		damper switch sub-assembly
ds		damper sensor sub-assembly
dt		damper actuator section
du		damper control section
dv		damper drive section
dw		damper motor section
dx		damper switch section
dy		damper sensor section
dz		damper actuator detail
ea		exhaust air diffuser
eb		exhaust air diffuser grille
ec		exhaust air diffuser frame
ed		exhaust air diffuser cover
ee		exhaust air diffuser gasket
ef		exhaust air diffuser seal
eg		exhaust air diffuser cap
eh		exhaust air diffuser plug
ei		exhaust air diffuser nut
ej		exhaust air diffuser washer
ek		exhaust air diffuser bolt
el		exhaust air diffuser screw
em		exhaust air diffuser rivet
en		exhaust air diffuser pin
eo		exhaust air diffuser clip
ep		exhaust air diffuser fastener
eq		exhaust air diffuser hardware
er		exhaust air diffuser component
es		exhaust air diffuser part
et		exhaust air diffuser assembly
eu		exhaust air diffuser sub-assembly
ev		exhaust air diffuser section
ew		exhaust air diffuser detail
ex		exhaust air diffuser note
ey		exhaust air diffuser callout
ez		exhaust air diffuser reference
fa		fan
fb		fan motor
fc		fan drive
fd		fan control
fe		fan sensor
ff		fan actuator
fg		fan control assembly
fh		fan drive assembly
fi		fan motor assembly
fj		fan switch assembly
fk		fan sensor assembly
fl		fan actuator sub-assembly
fm		fan control sub-assembly
fn		fan drive sub-assembly
fo		fan motor sub-assembly
fp		fan switch sub-assembly
fq		fan sensor sub-assembly
fr		fan actuator section
fs		fan control section
ft		fan drive section
fu		fan motor section
fv		fan switch section
fw		fan sensor section
fx		fan actuator detail
fy		fan control detail
fx		fan drive detail
fy		fan motor detail
fx		fan switch detail
fy		fan sensor detail
gz		gas zone
ga		gas detector
gb		gas alarm
gc		gas control
gd		gas sensor
ge		gas actuator
gf		gas control assembly
gg		gas drive assembly
gh		gas motor assembly
gi		gas switch assembly
gj		gas sensor assembly
gk		gas actuator sub-assembly
gl		gas control sub-assembly
gm		gas drive sub-assembly
gn		gas motor sub-assembly
go		gas switch sub-assembly
gp		gas sensor sub-assembly
gq		gas actuator section
gr		gas control section
gs		gas drive section
gt		gas motor section
gu		gas switch section
gv		gas sensor section
gz		gas zone detail
ga		gas detector detail
gb		gas alarm detail
gc		gas control detail
gd		gas sensor detail
ge		gas actuator detail
gf		gas control detail
gg		gas drive detail
gh		gas motor detail
gi		gas switch detail
gj		gas sensor detail
gk		gas actuator detail
gl		gas control detail
gm		gas drive detail
gn		gas motor detail
go		gas switch detail
gp		gas sensor detail
gq		gas actuator detail
gr		gas control detail
gs		gas drive detail
gt		gas motor detail
gu		gas switch detail
gv		gas sensor detail

ABBREVIATION	SYMBOL	DESCRIPTION
ba		backflow preventer
bb		backflow valve
bc		backflow check valve
bd		backflow damper
be		backflow detector
bf		backflow device
bg		backflow preventer assembly
bh		backflow preventer valve
bi		backflow preventer wye
bj		backflow preventer tee
bk		backflow preventer elbow
bl		backflow preventer cross
bm		backflow preventer union
bn		backflow preventer nipple
bo		backflow preventer flange
bp		backflow preventer gasket
bq		backflow preventer seal
br		backflow preventer cap
bs		backflow preventer plug
bt		backflow preventer nut
bu		backflow preventer washer
bv		backflow preventer bolt
bw		backflow preventer screw
bx		backflow preventer rivet
by		backflow preventer pin
bz		backflow preventer clip
ca		ceiling air diffuser
cb		ceiling air diffuser grille
cc		ceiling air diffuser frame
cd		ceiling air diffuser cover
ce		ceiling air diffuser gasket
cf		ceiling air diffuser seal
cg		ceiling air diffuser cap
ch		ceiling air diffuser plug
ci		ceiling air diffuser nut
cj		ceiling air diffuser washer
ck		ceiling air diffuser bolt
cl		ceiling air diffuser screw
cm		ceiling air diffuser rivet
cn		ceiling air diffuser pin
co		ceiling air diffuser clip
cp		ceiling air diffuser fastener
cq		ceiling air diffuser hardware
cr		ceiling air diffuser component
cs		ceiling air diffuser part
ct		ceiling air diffuser assembly
cu		ceiling air diffuser sub-assembly
cv		ceiling air diffuser section
cw		ceiling air diffuser detail
cx		ceiling air diffuser note
cy		ceiling air diffuser callout
cz		ceiling air diffuser reference
da		damper
db		damper actuator
dc		damper control
dd		damper drive
de		damper motor
df		damper switch
dg		damper sensor
dh		damper actuator assembly
di		damper control assembly
dj		damper drive assembly
dk		damper motor assembly
dl		damper switch assembly
dm		damper sensor assembly
dn		damper actuator sub-assembly
do		damper control sub-assembly
dp		damper drive sub-assembly
dq		damper motor sub-assembly
dr		damper switch sub-assembly
ds		damper sensor sub-assembly
dt		damper actuator section
du		damper control section
dv		damper drive section
dw		damper motor section
dx		damper switch section
dy		damper sensor section
dz		damper actuator detail
ea		exhaust air diffuser
eb		exhaust air diffuser grille
ec		exhaust air diffuser frame
ed		exhaust air diffuser cover
ee		exhaust air diffuser gasket
ef		exhaust air diffuser seal
eg		exhaust air diffuser cap
eh		exhaust air diffuser plug
ei		exhaust air diffuser nut
ej		exhaust air diffuser washer
ek		exhaust air diffuser bolt
el		exhaust air diffuser screw
em		exhaust air diffuser rivet
en		exhaust air diffuser pin
eo		exhaust air diffuser clip
ep		exhaust air diffuser fastener
eq		exhaust air diffuser hardware
er		exhaust air diffuser component
es		exhaust air diffuser part
et		exhaust air diffuser assembly
eu		exhaust air diffuser sub-assembly
ev		exhaust air diffuser section
ew		exhaust air diffuser detail
ex		exhaust air diffuser note
ey		exhaust air diffuser callout
ez		exhaust air diffuser reference
fa		fan
fb		fan motor
fc		fan drive
fd		fan control
fe		fan sensor
ff		fan actuator
fg		fan control assembly
fh		

- SECTION 23.0500 - DRAINAGE**
- 23.0500 - Storm Drainage and Roof Drains**
- a. All drainage piping 2 1/2 inch or less shall be spaced at a maximum pitch of 1/4 inch per foot where piping 2 inch or larger shall be spaced at a maximum pitch of 1/8 inch per foot or per plumbing code table 701. All horizontal vent piping shall be spaced back toward plumbing fixtures being served.
 - b. Run of drainage and vent piping as direct as possible. actual in case of drains, soil, waste, and storm piping shall meet the actual building conditions. In any case necessary to correct piping or clear piping and ductwork of other trades.
 - c. provide mechanical trap seal conforming to size (TS) for all floor drains, trench drains, floor sinks, mop buckets, showers, hot drains and sleep sinks.
 - d. all indirect drains shall terminate with an air gap to the sanitary drainage system.
 - e. terminate vent pipes a minimum of twelve inches above the roof deck. flush piping to roof utilizing trade proper standards. joint exposed pipe to match roof color or as directed by architect.
 - f. provide cleanouts at base of stacks and downcasts, or change in direction, as indicated on plans and as required by code. provide cleanouts every 10th foot of developed length of drainage piping, extend cleanout to finished floor or grade.
 - g. plumbing contractor shall trace lines from schedule 40 steel to all (TS) thirty inches outside foundation utilizing a permanent lining.

SECTION SUBS - AIR DISTRIBUTION

Part 1 Materials

- 23.0500 - General**
- a. the contractor shall construct ductwork/ductwork such that they meet or exceed the most stringent requirements between the mechanical code and the latest edition of industry standards.
- 23.0500 - Flexible Ductwork**
- a. type 20 - 4' installed for supply and return air ducts from low to high pressure applications.
 - b. type 25 - use installed for exhaust ducts from low to high pressure applications.
 - c. check for duct mechanical test, non-adhesive of BS flame spread rating of 25 or less, smoke developed rating of 25 or less - BS.
 - d. as recommended by manufacturer or report as recommended by lab.
- 23.0500 - Duct Lining**
- a. where indicated, line ductwork with 1/4 inch thick non-combustible "non-lead" type 200, 1/4 inch lead for flame spread less than 25 and smoke developed less than 25.
 - b. ductwork exposed to the outside elements shall be fast with 7/8 inch type 305 insulation on specified sites.

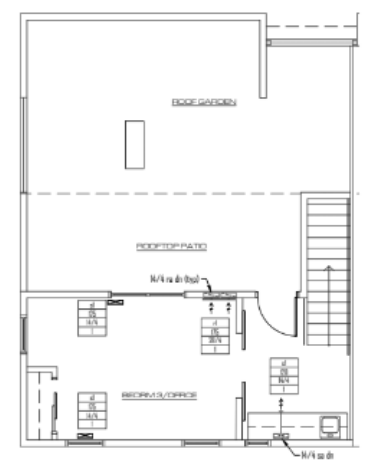
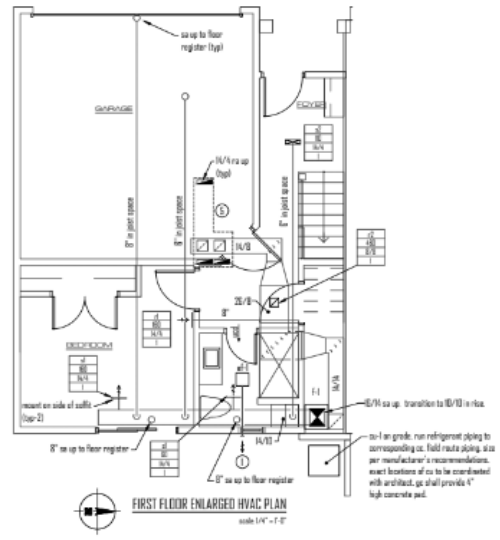
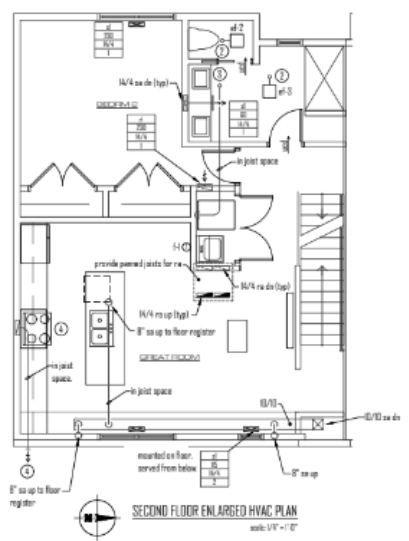
Part 2 Equipment

- 23.0500 - Grilles and Diffusers**
- a. provide with factory applied white powder coated finish unless noted otherwise.
 - b. as recommended by prior indications or files are acceptable.
- 23.0500 - Dampers**
- a. provide manual volume dampers where indicated on drawings or where necessary to properly balance air flow. provide damper or table of from main serving individual zones, off zones or return and where main duct splits to serve multiple zones from each type of split.
 - b. provide means control of dampers for all volume dampers installed in accessible locations and all required accessories, as manufactured by many registers, with suitable motorization or technologies or report system.
- 23.0500 - Miscellaneous**
- a. any equipment not included within specifications, minimum design characteristics shall be based on unit or model scheduled or indicated on drawing. it remains at the engineers discretion as to what is considered as such.

Part 3 Execution

- 23.0500 - General**
- a. locate and install all materials, piping, transportation, installation, etc., to provide a complete and operable heating, ventilating and air conditioning system.
 - b. all equipment shall be installed in a neat and workable manner according to manufacturer's recommendations and good practice. all work to be coordinated with other trades prior to the start of work.
 - c. install all equipment requiring electrical connection in such a manner so that proper clearances is provided for servicing per national electrical code.
 - d. contractor shall be responsible for revalidating all existing equipment to connected air quality provide service to existing equipment to ensure proper operation, include new coils and filters, clean coils and heat exchangers, or replace all coil fans and check operation.
 - e. materials shall be in new and in perfect condition when installed, and be protected from injury until final completion of the system. removal of all ducts to be smooth, air tight, and free from destruction with continuous sealed joints.
- 23.0500 - Ductwork**
- a. construct all joints and seams in ducts with tight overlap joints, miter joints, and miter joints at corners, etc., or install new pieces of ductwork, where necessary painting of ductwork or plastic taping is used, add additional coatings.
 - b. branch connections shall be 45 degree entry for rectangular and round ducts, straight legs are not permitted unless otherwise acceptable in round branch take off from round duct system.
 - c. all seams shall be sealed with an RSE cement or similar.
 - d. construct high pressure ductwork systems of non-ferrous for 2 inch duct pressure, seal all seams, joints, fasteners, penetrations and connections per section and show "4".

- e. duct run-out size shall be the same as the air filter holder connection size unless noted otherwise.
- f. all ductwork dimensions shown on plans are the face of the duct network, a reference to the ductwork thickness dimensions is required for all joints and connections.
- g. access doors shall be provided in ductwork for access to all fire dampers, fire/smoke dampers, smoke dampers, and motor operated dampers. provide access door top view and dimensions of site, coordinate with architectural drawings if ceiling or wall will require an access door.
- h. rigid sheet metal ductwork is required of all wall penetrations. flexible ductwork shall not be used in exposed locations.
- i. ducts shall not be hung from other ducts, pipes, or conduit.
- j. equipment duct systems shall be installed per manufacturer's recommendations.
- k. Duct Lining
 - a. install with stick clips and adhesive per manufacturer's instructions.
- l. Flexible Ductwork
 - a. install per vendor, manufacturer requirements and without kinks or bends greater than 20 degrees or in lengths greater than 20 inches.
- m. Grilles and Diffusers
 - a. refer to architectural reflected ceiling plan for ceiling construction and exact location of air distribution ducts.
- n. Miscellaneous
 - a. all equipment or materials not specified, contractor shall install per manufacturer's recommendations and provide all required components to make a complete working system.



- PLAN NOTES**
1. 6" up from of, provide wall cap w/6 by greenstock, maintain 6"-0" from any mechanical air intake and 20" from any operable building opening.
 2. 6" up from of up floor roof, provide weather cap and insect screens, maintain 6"-0" from any mechanical air intake and 20" from any operable building opening.
 3. 4" dryer exhaust, terminate with weather cap and backdraft damper, maintain 6"-0" from any mechanical air intake and 20" from any operable building opening.
 4. hood exhaust and vent by power/combustion, size and install per selected manufacturer's recommendations, maintain 6"-0" from any mechanical air intake and 20" from any operable building opening.
 5. provide sealed joints for r/a, provide 6" x 6" opening in top of return air duct for each sealed joint.



PROJECT TITLE: BREWER PLACE TOWNHOMES
883 BREWER AVE
CLEVELAND, OHIO

DATE: 7/1/2014

DRAWING NO.: 912

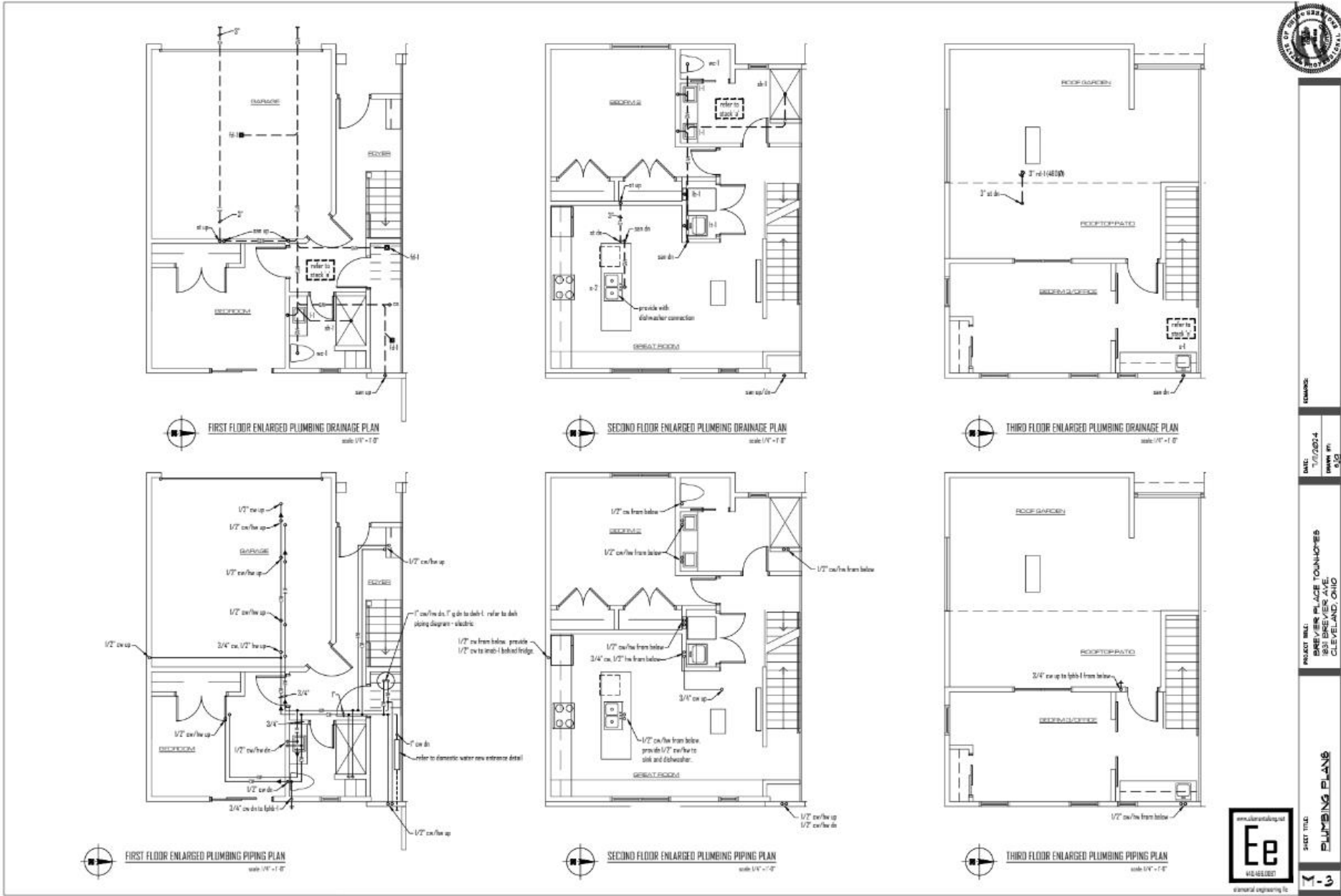
SHEET TITLE: HVAC PLANS

SHEET NO.: 1-2

STEPHEN CICIRETTO, A.I.A.
270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000

ARCHITECT

www.stcinc.com
161610001
elemental engineering llc



SECTION 0611 - GENERAL PROVISIONS

Part I - General

1. Description
a. The provisions of the instructions to bidders, general conditions, supplementary conditions, alternates, addendum and drawings form a part of the specification. Electrical, architectural, mechanical and other drawings will as well as the specifications for all the divisions are a part of the contract documents. All drawings and specifications are intended to be supplementary to each other.

2. The contractor shall coordinate with the building owner as to individual building standards and requirements. Individual contractors shall include any additional terms or conditions of trade or special building standards and requirements.
3. The contractor shall be responsible for coordinating all equipment locations, component and connection prior to starting equipment or construction. Changes arising due to lack of coordination or knowledge of field conditions shall be corrected at the contractor's expense and costs may vary as a result of deviations from contract drawings to avoid interference shall be considered a field condition. An additional compensation shall be allowed. Interference shall be immediately brought to the architect/engineer's attention.

4. The contractor shall be responsible for coordinating all equipment locations, component and connection prior to starting equipment or construction. Changes arising due to lack of coordination or knowledge of field conditions shall be corrected at the contractor's expense and costs may vary as a result of deviations from contract drawings to avoid interference shall be considered a field condition. An additional compensation shall be allowed. Interference shall be immediately brought to the architect/engineer's attention.
5. The work is being done during the building period and because familiar with the conditions affecting the installation, sub-contractor of a project shall possess knowledge of such conditions and no additional compensation shall be allowed when extra labor or materials are required.
6. Items and work labeled as "by others" shall become the responsibility of the general contractor. The general contractor shall be responsible to coordinate the work such that it is accounted for in the bid or contract. In the general contractor's contract, it shall be the responsibility of the trade work requirements/condition is affected only by it.

7. In the presence of the drawings indicate the approximate location of all equipment. Trade work determine exact locations of equipment and arrange work accordingly. The right is reserved without reimbursement to the location of equipment, piping, etc., up to the time of installation, without additional cost to the owner. In addition, the contractor shall coordinate his work with other trades and utilities before commencing work.
12. Permits and Code
a. secure and pay for permits and expenses required for the work. make payments to all public utilities for such required by the utility, including tap fees. It is the contractor's responsibility to obtain all permits with the proper utilities and provide all application requirements to the same owner.
b. It is the contractor's responsibility to coordinate the system to all local codes and regulations, or with compliance will be allowed for any changes to the local codes and regulations.
c. install work in accordance with all applicable provisions of local and state codes, as well as the rules interpreted by the local authority having jurisdiction. comply with the latest edition of codes and standards amendments.

Part 2 - Execution

1. Material and Workmanship
a. use approved equipment and work is installed in accordance with approved engineering practices and that all equipment meets the manufacturer's published performance data unless indicated in work drawings. materials, provide labor and repair or replace any defective work. material or equipment used any year from date of formal written acceptance by the owner. refrigeration compressors shall have a five year warranty.
b. base bids upon the specified products or listed alternatives. The drawings and specifications are based on the products specified by type, model and size and their installation minimum qualities which shall meet or equalify for service. critical repairs or equipment shall be in keeping on the architect, engineer or owner. should materials and equipment other than those specified be proposed, submit a written request for substitution to the architect in accordance with Division requirements. include any additional information in the contract price. the contractor is to bear the cost of any approved change for substitution and shall coordinate this change with all other trades.

13. Utilization
a. identify all piping in exposed locations, above accessible ceilings and in accessible shafts with labels and color bands as manufactured by the same manufacturer or equal.
b. identify each piece of equipment with either a name or number with the description indicated on the drawings.
c. provide an approved name tag on each piece of equipment, including identification of equipment and manufacturer.
d. do not support work from another division or owner work.
e. longer piping shall be per code or manufacturer's requirements, which are in more stringent requirement where applicable.
f. provide added structural steel angles channels or plates where support is required between building structural steel spans, which shall be welded, bolted or anchored.

Part 2 - Execution

2. Equipment and Material
a. use approved equipment and work is installed in accordance with approved engineering practices and that all equipment meets the manufacturer's published performance data unless indicated in work drawings. materials, provide labor and repair or replace any defective work. material or equipment used any year from date of formal written acceptance by the owner. refrigeration compressors shall have a five year warranty.
b. base bids upon the specified products or listed alternatives. The drawings and specifications are based on the products specified by type, model and size and their installation minimum qualities which shall meet or equalify for service. critical repairs or equipment shall be in keeping on the architect, engineer or owner. should materials and equipment other than those specified be proposed, submit a written request for substitution to the architect in accordance with Division requirements. include any additional information in the contract price. the contractor is to bear the cost of any approved change for substitution and shall coordinate this change with all other trades.

14. Testing and Balancing
a. test piping for leaks, repair leaks in copper tubing by reworking at joints, thoroughly cleaning both tube and fitting, and reworking; correct leaks in copper joints by reworking thread or fitting or blank pipe element cleaning for all piping systems with approved drawings.
b. provide services of a certified A.S.H.R.A. test agency, conduct all tests in accordance with accepted test methods and standards. Test and seal all ductwork under shop conditions for air-tightness. change requirements, provide three copies of the test report when finished. one for the owner and two shall be submitted to the architect.
15. Record Drawings
a. keep one complete set of the contract working drawings on the project site at which the contractor shall report any deletions or changes from each contract drawing made during construction, after the project is completed, record sets of drawings shall be delivered to the architect in good condition, in a permanent record of the installation as constructed.
b. record drawings shall be utilized only for such and shall be kept clean and undamaged.

SECTION 0620 - BASIC MATERIALS AND METHODS

Part I - General

1. Pipe and fittings
a. domestic water - type 1 hard copper or similar annealed tube or steel that meets ASTM A818 and A817, and is certified to be compatible with type 316L stainless steel tubing.
b. water supply pipe shall be in accordance with type 316L stainless steel tubing.
c. refrigerant - type 1 hard copper.
d. fire protection pipe and fittings shall be per pipe schedule.
e. fitting for copper pipe, steel pipe and steel pipe joint with 95.5 solder, except for refrigerant piping where silver brazing shall be used.

16. Installation
a. where pipes pass thru foundation below grade, provide waterproofing and drains.
b. where pipes pass thru high masonry or concrete walls, provide masonry or steel pipe sleeve that is larger than outside diameter of pipe, where floors or walls are cast in place, cast sleeves are not required where pipes are embedded in concrete, but sleeve large enough for installation in pipe hole.
c. pipe support shall be in accordance with approved drawings.
d. where pipes pass thru foundation below grade, provide waterproofing and drains.
17. Flue Vent Control
a. where an attic created in any part of the building by the operation of any equipment furnished and/or installed under this contract will be prohibited, site of penetration by existing the various forms of equipment from the building structures.
b. feasible duct connections shall be used between ductwork and air handling equipment, material like rigid duct connections shall be used between ductwork and air handling equipment, material like rigid duct connections shall be used between ductwork and air handling equipment, material like rigid duct connections shall be used between ductwork and air handling equipment.

Part 2 - Execution

1. Allow work to proceed the carrying on of normal business functions unless specified otherwise in drawings. any service shutdown that may be required shall be scheduled through the owner and shall be done at a time as directed by the owner. no additional compensation shall be allowed for these shutdown periods even though provision does work may be required. provide temporary service to equipment or systems that cannot be shutdown as determined by owner. provide a maximum of three work days to the owner before any service shutdown is scheduled.
2. any requests for field observations not originally part of the scope of work provided will be limited to additional services. all items associated with the request shall be limited to the individual trade work request. no additional payments to personnel shall be allowed for personnel and staff at the request of the field observations.

18. Pipe and fittings
a. domestic water - type 1 hard copper or similar annealed tube or steel that meets ASTM A818 and A817, and is certified to be compatible with type 316L stainless steel tubing.
b. water supply pipe shall be in accordance with type 316L stainless steel tubing.
c. refrigerant - type 1 hard copper.
d. fire protection pipe and fittings shall be per pipe schedule.
e. fitting for copper pipe, steel pipe and steel pipe joint with 95.5 solder, except for refrigerant piping where silver brazing shall be used.
f. fitting for black steel pipe usage for fire protection and gas. 25 pipe, cast iron screwed through 2 inch size and welded for 2 inch over 2 inch.
g. cast iron vent and drain piping (except ground return) - no-hub cast iron pipe and fittings, provide gasketed (not 250) and stainless steel clamp assembly (not 250). 3 inch valve for pipe 1/2 to 4 inches, 4 inches valve for pipe 3/4 to 4 inches and 2 1/2 to 4 inches for pipe 1/2 to 4 inches.
h. cast iron vent and drain piping (except ground return) - no-hub cast iron pipe and fittings, provide gasketed (not 250) and stainless steel clamp assembly (not 250). 3 inch valve for pipe 1/2 to 4 inches, 4 inches valve for pipe 3/4 to 4 inches and 2 1/2 to 4 inches for pipe 1/2 to 4 inches.

1. plastic piping shall not be installed in areas being used as return air plenums or paths. in areas being returned where plastic piping already exists in return air plenums or paths, it shall be replaced or sealed by cable approved material.
2. general or mechanically sealed "improved" piping systems shall be permissible at the engineer's discretion, written approval shall be obtained prior to start of work with the retaining contractor providing a written statement indicating type, make and manufacturer's name, pressure and decrease in project cost and any effect on the project timeline.
12. Piping
a. the following pipe systems shall be installed with woven corrugated (Type 35, 30) or 4 heavy density polyethylene (HDPE) systems of design with steel cores.

1. insulation material (lead wire), adhesives, cements, mastics, mastics sealers and finishes) shall have compatible fire and smoke ratings as listed under procedures ASTM E 84 and E 133, not exceeding a flame spread rating of 25 and smoke developed rating of 100.
2. provide insulation products as manufactured by Owens Corning, Armstrong or Inland. adhesives shall be Isoform Luster or equal.
12. Piping
a. the following pipe systems shall be installed with woven corrugated (Type 35, 30) or 4 heavy density polyethylene (HDPE) systems of design with steel cores.

Table with 3 columns: Material, Size, Insulation/Thickness. Includes entries for Domestic water, Fire protection water, and Insulation/Protective system.

6. adjust all flush valves and before water supply to provide proper water flow.
7. adjust faucet handles to be perpendicular to faucet neck.
SECTION 0640 - PUMPS, PIPING AND EQUIPMENT
Part 1 - Products
1. New Pumpers
a. water shaft assemblies to be furnished or installed on all domestic waterworks where required per the planning codes or where indicated on drawings, floors and shaft assemblies at locations recommended by manufacturer. all approved and listed units (ISO) required, water service 5 or approved equal.

11. General
a. the pipe runs, valves and appurtenances and diagrams to return. exact location to be determined by the contractor to suit field conditions. connect all piping with pipe, pipe, clean, above ceiling, below grade, etc. unless indicated otherwise.
b. all piping to be color coded with the uniform name and direction of flow every three feet, use water "owner's" pipe markers.
c. the piping contractor to verify the location and elevation of all existing utilities at the site in accordance with the general contractor. should fire alarm systems or equipment need to be reworked in order to tie into the existing conditions, the plumber shall do so at his expense in order to make a functional system.
d. the plumbing contractor shall take all precautions to protect water piping from freezing including providing proper insulation and air free heat lines.

11. General
a. the pipe runs, valves and appurtenances and diagrams to return. exact location to be determined by the contractor to suit field conditions. connect all piping with pipe, pipe, clean, above ceiling, below grade, etc. unless indicated otherwise.
b. all piping to be color coded with the uniform name and direction of flow every three feet, use water "owner's" pipe markers.
c. the piping contractor to verify the location and elevation of all existing utilities at the site in accordance with the general contractor. should fire alarm systems or equipment need to be reworked in order to tie into the existing conditions, the plumber shall do so at his expense in order to make a functional system.
d. the plumbing contractor shall take all precautions to protect water piping from freezing including providing proper insulation and air free heat lines.

Part 2 - Execution

1. Insulation
a. install all products in accordance with manufacturer's written instructions, recommendations, and this specification. the workmanship shall be first class and all joints shall be made tight, smooth and even.
b. all insulation shall be installed over clean dry surfaces. insulation must be dry and in good condition and all damaged insulation will be replaced. no insulation shall be applied prior to installation of final base line, painting or previous heat treatment of the respective piping systems.
c. install all insulation conforming to all code, ceiling and ceiling/piping systems, doors, pipes, hangers, etc. extend through fire rated wall and floors, where insulation is required to maintain or improve fire rating shall be adequately protected.
22. Ductwork
a. install ductwork to meet design and fire code and provide fire protection where required.
b. rigid insulation shall be secured to ductwork by installing insulation tapes welded pins located at a maximum of 16 inches apart.
c. provide pressure reducing valves per jurisdiction of the health authority or water purveyor having jurisdiction. In the absence of a prescribed method and a laboratory minimum water supply the pressure shall be as prescribed.
d. conduct water shall provide back flow prevention devices for dishwashers for waters ending machines, coffee makers, and other appliances for code. assembly shall be in approved by code and manufactured by the water regulator company, models with 2, 3, 4, 7 or approved equal.
e. use or recommend outside water systems shall be purged of biological material and disinfected prior to use per plumbing code requirements.

SECTION 0640 - PUMPS, PIPING AND EQUIPMENT

1. Insulation
a. install all products in accordance with manufacturer's written instructions, recommendations, and this specification. the workmanship shall be first class and all joints shall be made tight, smooth and even.
b. all insulation shall be installed over clean dry surfaces. insulation must be dry and in good condition and all damaged insulation will be replaced. no insulation shall be applied prior to installation of final base line, painting or previous heat treatment of the respective piping systems.
c. install all insulation conforming to all code, ceiling and ceiling/piping systems, doors, pipes, hangers, etc. extend through fire rated wall and floors, where insulation is required to maintain or improve fire rating shall be adequately protected.
22. Ductwork
a. install ductwork to meet design and fire code and provide fire protection where required.
b. rigid insulation shall be secured to ductwork by installing insulation tapes welded pins located at a maximum of 16 inches apart.
c. provide pressure reducing valves per jurisdiction of the health authority or water purveyor having jurisdiction. In the absence of a prescribed method and a laboratory minimum water supply the pressure shall be as prescribed.
d. conduct water shall provide back flow prevention devices for dishwashers for waters ending machines, coffee makers, and other appliances for code. assembly shall be in approved by code and manufactured by the water regulator company, models with 2, 3, 4, 7 or approved equal.
e. use or recommend outside water systems shall be purged of biological material and disinfected prior to use per plumbing code requirements.

1. Insulation
a. install all products in accordance with manufacturer's written instructions, recommendations, and this specification. the workmanship shall be first class and all joints shall be made tight, smooth and even.
b. all insulation shall be installed over clean dry surfaces. insulation must be dry and in good condition and all damaged insulation will be replaced. no insulation shall be applied prior to installation of final base line, painting or previous heat treatment of the respective piping systems.
c. install all insulation conforming to all code, ceiling and ceiling/piping systems, doors, pipes, hangers, etc. extend through fire rated wall and floors, where insulation is required to maintain or improve fire rating shall be adequately protected.
22. Ductwork
a. install ductwork to meet design and fire code and provide fire protection where required.
b. rigid insulation shall be secured to ductwork by installing insulation tapes welded pins located at a maximum of 16 inches apart.
c. provide pressure reducing valves per jurisdiction of the health authority or water purveyor having jurisdiction. In the absence of a prescribed method and a laboratory minimum water supply the pressure shall be as prescribed.
d. conduct water shall provide back flow prevention devices for dishwashers for waters ending machines, coffee makers, and other appliances for code. assembly shall be in approved by code and manufactured by the water regulator company, models with 2, 3, 4, 7 or approved equal.
e. use or recommend outside water systems shall be purged of biological material and disinfected prior to use per plumbing code requirements.

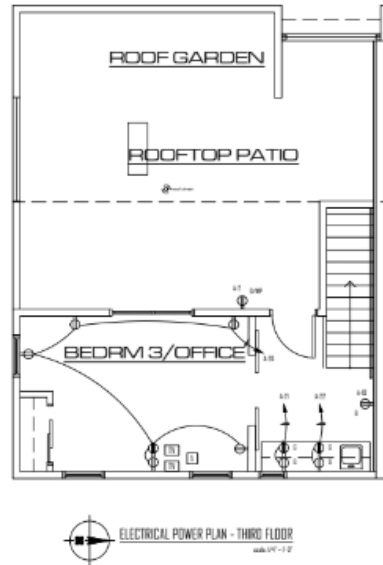
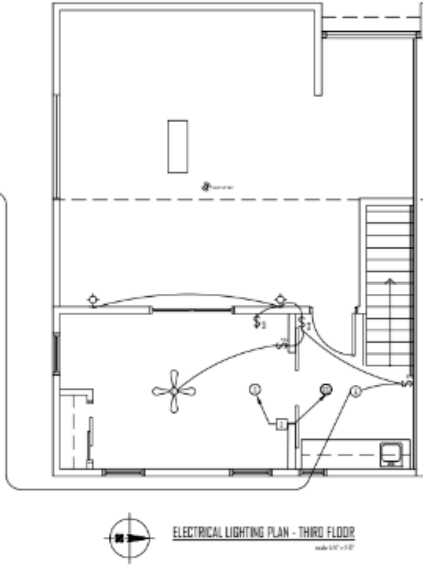
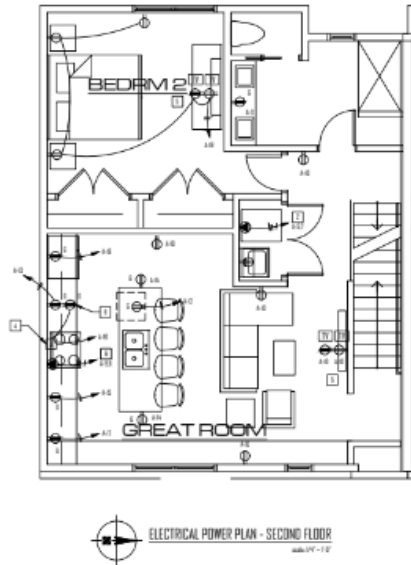
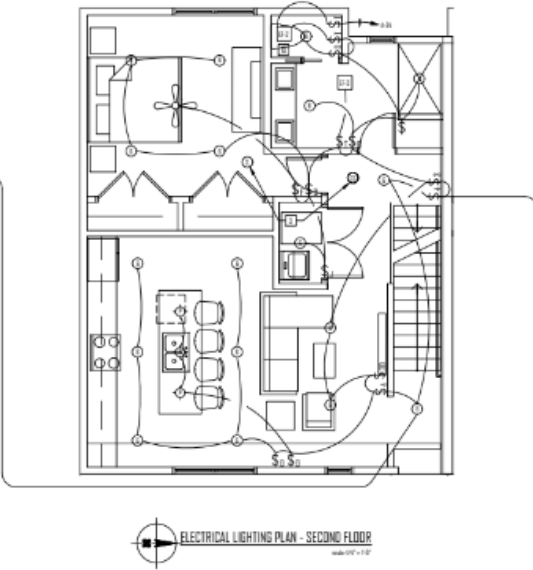
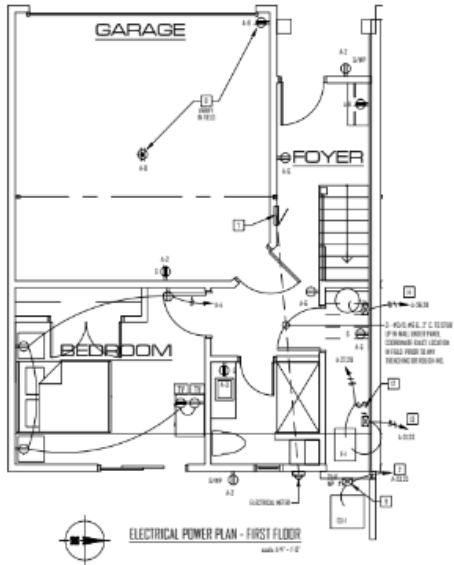
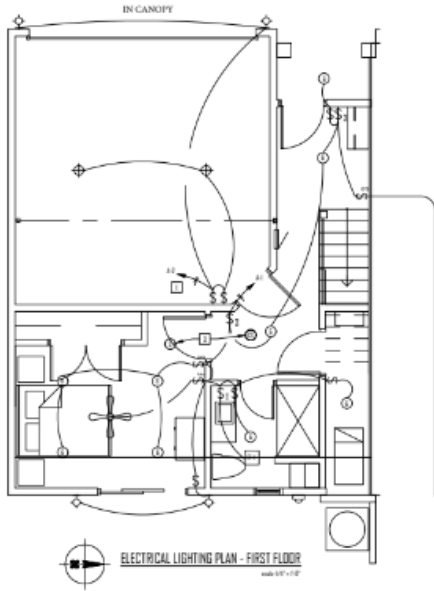


DATE: 7/1/2021
DRAWN BY: J.C.
CHECKED BY: J.C.

Project Bill: BREYER PLACE TOWNHOUSES
851 BREYER AVE
CLEVELAND, OHIO 44122
STEPHEN CICIRETTO, A.I.A.
270 PARK PLACE
CHAGRIN FALLS, OHIO 44022
(440) 247-1000
SPECIFICATIONS
www.ciciretto.net

STEPHEN CICIRETTO, A.I.A. ARCHITECT
•
(440) 247-1000





ELECTRICAL PLAN KEYED NOTES

1. NEW AND EXISTING PANELS TO BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE.
2. ALL NEW AND EXISTING PANELS SHALL BE APPROVED CONTRACTORS AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. ALL WORK AND COMPONENTS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

GENERAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
5. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
6. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
7. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
8. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
9. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.



EXAMINEE

DATE: 7/1/2014
DRAWN BY:

PROJECT TITLE:
BRYANTER PLACE TOWNHOMES
CLEVELAND, OHIO

DATE: 7/1/2014
PROJECT NO.: 14-0001
ELECTRICAL PLANS



electrical engineering llc

STEPHEN CICIRETTO, A.I.A. ARCHITECT
270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Cleveland City Planning Commission

Special Presentations – Public Art



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

CSE 2024-027 CPL Woodland Dialogue Sculpture: Seeking Final Approval

Location: 5806 Woodland

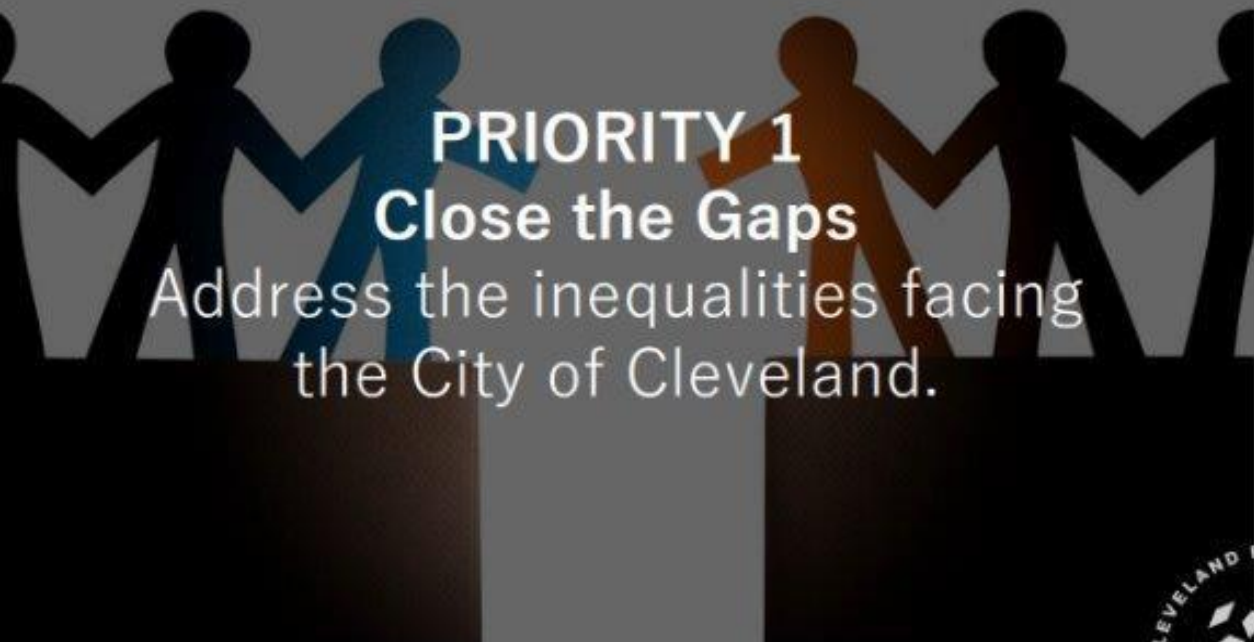
Presenter: Tiffany Graham Charkosky

Design Review: Approved at Central SE Design Review on 8/27

Sept 6, 2024

**PRESENTATION FOR PUBLIC ART
DESIGN REVIEW BOARD
August 27, 2024
CLEVELAND PUBLIC LIBRARY**

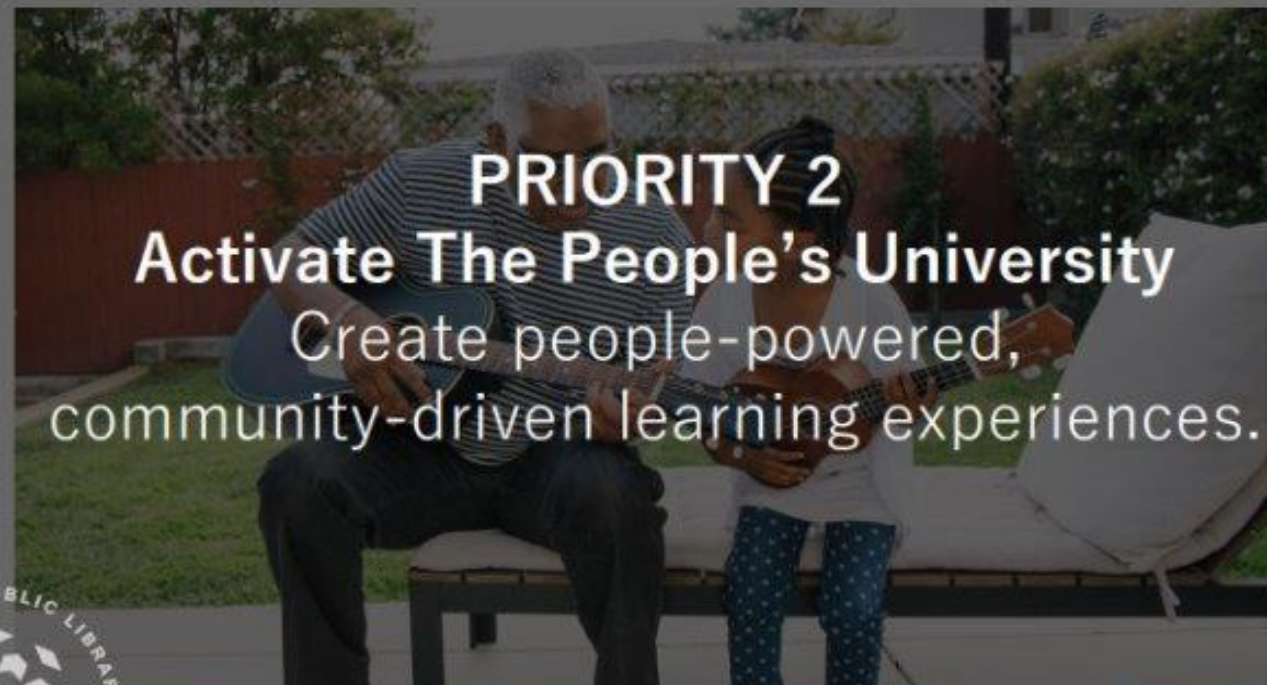




PRIORITY 1

Close the Gaps

Address the inequalities facing the City of Cleveland.



PRIORITY 2

Activate The People's University

Create people-powered, community-driven learning experiences.



PRIORITY 4

Operating with Excellence

Assess & create organizational capacity to meet mission related goals.



PRIORITY 3

Create Campuses

Build & maintain distinctive environments to meet changing service & community needs.





OUR FUTURE
IS BUILDING



You are invited to the
GRAND OPENING
of the reimagined
WOODLAND CAMPUS

August 5, 2023 | 12:00 p.m.
5806 Woodland Ave, Cleveland

Woodland Campus Improvements

- Brand new library building
- Relocated Central Distribution Facility, servicing all 47 ClevNET member library systems across 12 counties
- Stormwater retention basin
- Over 30 new trees
- New crosswalk
- Large public space
- New street furniture



Neighborhood Context



Woodland Campus Improvements

- Woodland Campus completed as part of CPL's FMP in Phase 1
- Supports City of Cleveland's goals for increased park/open space and expanding the City's tree canopy





DIALOGUE

CORYN KEMPSTER & JULIA JAMROZIK

Eastman Reading Garden, Main Library, Cleveland, Ohio 2017

commissioned by LAND studio as part of annual See:Also program

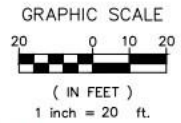
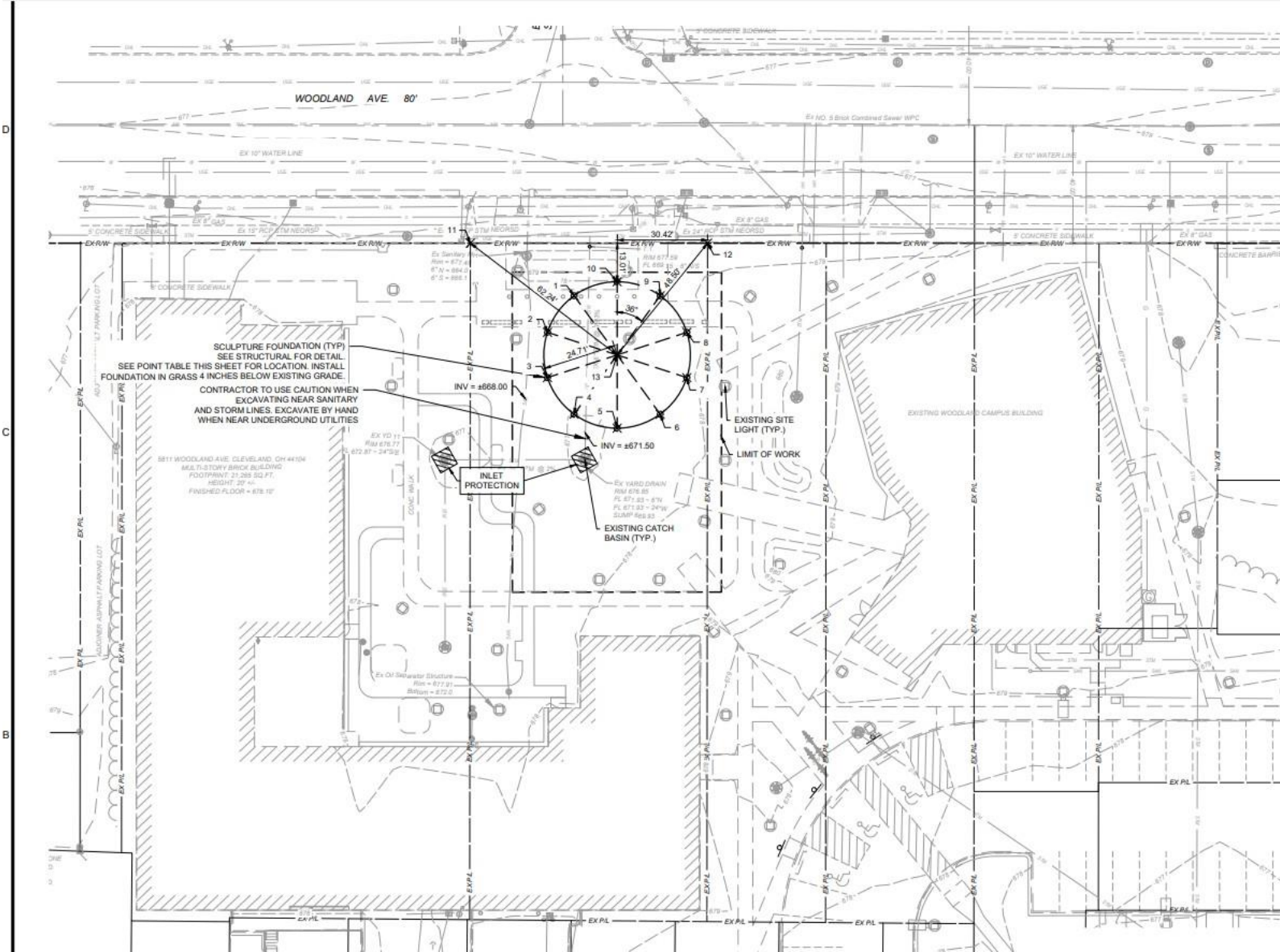
Public space has always offered opportunities to encounter strangers, yet while we may occupy a common space our experiences often remain solitary, lost in the echo-chambers of our world-views created by social media. In the political climate following the 2016 election, the need for shared physical experiences in public space was paramount and 'Dialogue' was created in response. The circle of interlaced soundtubes sought to generate conversations between strangers ranging in length and seriousness. Through simple, small dialogues and moments of spontaneous interaction prompted by the artwork, we hoped to help people relate to one another and speak with other members of the community who may hold opposing views.







SITE PLAN



LEGEND:

EX P/L	EXISTING PROPERTY LINE
EX R/W	EXISTING RIGHT OF WAY
---	EXISTING CENTERLINE
S/S	EXISTING SANITARY SEWER
STM	EXISTING STORM SEWER
G	EXISTING GAS LINE
W	EXISTING WATER LINE
UGE	EXISTING UNDERGROUND ELECTRIC
OHL	EXISTING OVERHEAD ELECTRIC/TELEPHONE
600	EXISTING MAJOR CONTOUR
601	EXISTING MINOR CONTOUR

POINT	NORTHING	EASTING
1*	664652.33	2201607.95
2	664639.78	2201599.25
3	664624.52	2201599.59
4	664612.36	2201608.85
5	664607.97	2201623.48
6	664613.02	2201637.89
7	664625.57	2201646.58
8	664640.84	2201646.24
9*	664652.99	2201636.99
10	664657.37	2201622.36
11	664669.25	2201572.56
12	664671.07	2201652.54
13	664632.67	2201622.92

* FOUNDATION NOTES:
 POINTS 1 AND 9 TO BE INSTALLED WITH SURFACE MOUNT ANCHORS INTO EXISTING SIDEWALK.

LAYOUT NOTES:
 HORIZONTAL COORDINATE SYSTEM: OHIO STATE PLANE, NORTH ZONE NAD 83.(2011).
 VERTICAL DATUM: NAVD 88
 NO VERTICAL BENCHMARKS ARE IDENTIFIED ON THE PROJECT SURVEY. USE THE STORM AND SANITARY SEWER RIM ELEVATIONS LABELED ON THIS SHEET TO ESTABLISH VERTICAL CONTROL UNITS. U.S. SURVEY FEET

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK.

2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.

3. THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO LANDSCAPE, WALK, PARKING, AND OTHER SITE FEATURES AND RESTORE THESE FEATURES TO PRE CONSTRUCTION CONDITION.

4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING PARKING AND SITE ACCESS WITH CLEVELAND PUBLIC LIBRARY.



WOODLAND CAMPUS DIALOGUE SCULPTURE INSTALL

CLEVELAND PUBLIC LIBRARY

5900 WOODLAND AVENUE
 CLEVELAND, OH 44114
 (216) 623-2800

TAG	ISSUED FOR PERMIT	DATE
A		6/14/24

Unless otherwise stated in Contract, The Osborn Engineering Company retains copyright ownership. Instruments of Service may only be used for the purpose described in the Contract. The Osborn Engineering

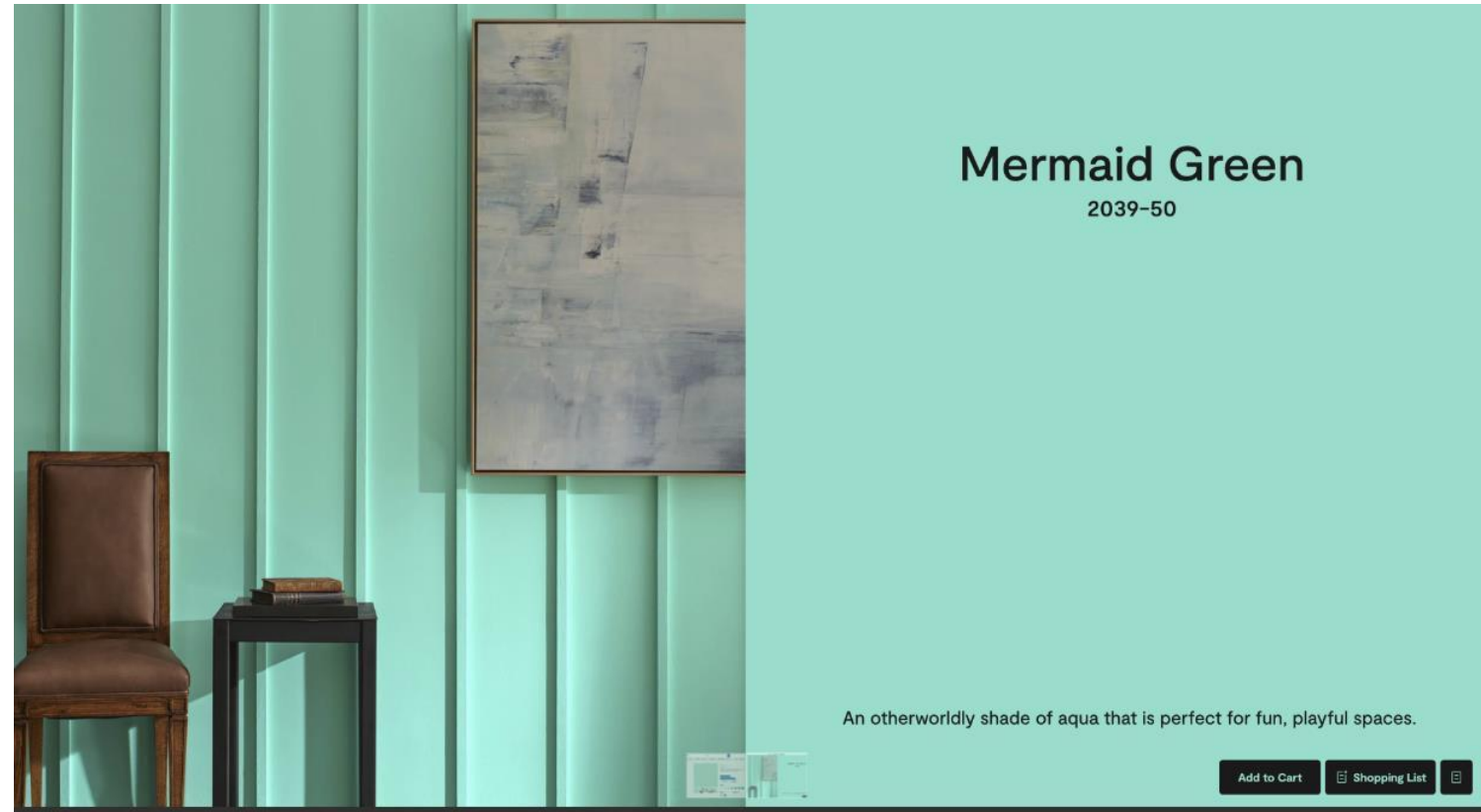
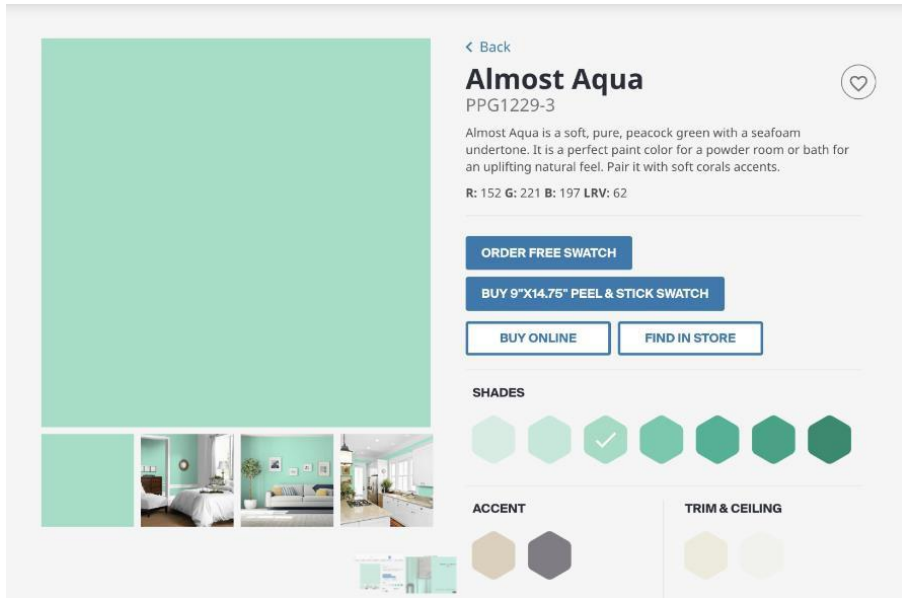


Dialogue Sculpture Restoration

- Performed by Republic Anode Fabricators
- 50' diameter, 9' tall at lowest point, 10' tall at high point
- Hot Dip + Galvanized ID & OD Steel
- PPG Epoxy Primer
- PPG Acrylic Polyurethane Coating
- Covered with Anti-Graffiti Top-Coat
- These materials are proving to be stronger in freeze/thaw climates than powder coating and allow for onsite touchups
- Structural engineering, including foundations, footings, and fixtures detailed by Osborn Engineering

Dialogue Sculpture Location

- Sculpture will be sited at the northern edge of the greenspace between the Woodland Library and the Central Distribution Facility
- Sculpture is able to be accessed via existing sidewalk and walkways, allowing wheelchair and stroller access
- Some site amenities fall within the footprint of the sculpture (light pole and benches)
- It will be visible from traffic on Woodland and announce a sense of arrival at the campus, while adding beauty and visual interest to the streetscape



COLOR

- Selected to complement building color palette & surrounding environs
- Base color will be PPG Almost Aqua + will be custom colored to achieve Mermaid Green



CPCPB418

2.1 VOC Corrosion Resistant Epoxy Primers

CRE-X21 Series Primers

CRE-121	White Epoxy Primer
CRE-321	Gray Epoxy Primer
CRE-921	Black Epoxy Primer
CRE-2xx	Tintable*

The CRE-X21 Series Primers provide a range of performance features that include excellent adhesion and chemical resistance and outstanding corrosion protection when applied over properly prepared steel and aluminum.

At 2.1 lbs/gal VOC as blended or when further reduced with exempt solvents, this series is lead and chrome-free and offers high build properties. Its excellent sag resistance and fill properties make this primer well suited for application over a sandblasted profile.

Note: For acceptable compatibility between this primer and CPC topcoats please see the CPC Primer/Topcoat compatibility chart (CPCTB01).

Features and Benefits:

- Capable of high film build
- Provide excellent adhesion
- Provide strong corrosion and chemical resistance
- Are plural component capable
- CRE standard primers can be intermixed
- *Tintable version is tinted with 7 ounces of H series tints to create custom colors.
- May be used over ZNP Series zinc rich primers

Associated Products:

- CRE-121 2.1 VOC White Epoxy Primer
- CRE-321 2.1 VOC Gray Epoxy Primer
- CRE-921 2.1 VOC Black Epoxy Primer
- CRE-2xx 2.1 VOC Tintable Epoxy Primer
- CRE-211H Catalyst for CRE-X21 Primers
- Exempt Solvent: Q30 - Acetone
- Non-Exempt Solvents*: Q50 - Aromatic 100, Q60 - MEK, Q70 - MAK, Q80 - Xylene, Q160 - Aromatic 150
- * Addition results in VOC greater than 2.1 lbs/gal

Physical Constants: *All values are theoretical, depend on color and are Ready-to-Spray. Actual values could vary slightly due to manufacturing variability.*



CPCPB216

Acrylic Polyurethane Enamel

AUE-300

AUE-300 Low VOC Polyurethane Enamel is recommended for interior and exterior use on properly prepared and or primed metal surfaces. Example applications include metal fabrication, castings, cabinets, machinery, and heavy equipment.

AUE-300 Low VOC Polyurethane Enamel is an easy-to-spray topcoat providing a range of performance properties including excellent chemical and corrosion resistance as well as superb impact, mar, and abrasion resistance.

Features and benefits:

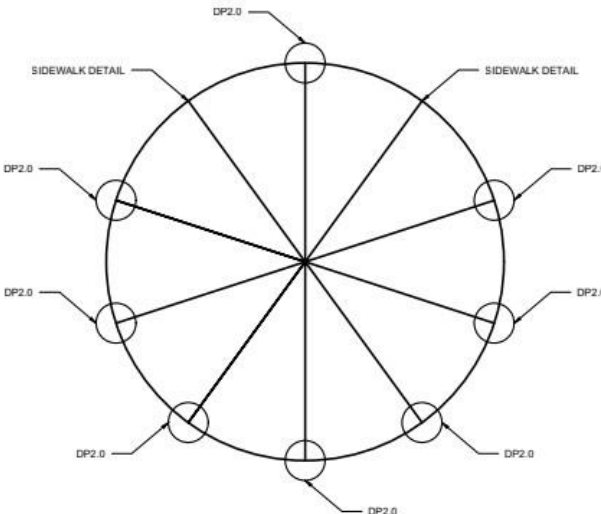
- 3.5 VOC Polyurethane (ready to spray)
 - Smooth film with minimal orange peel and excellent gloss/DOI
 - Excellent corrosion and chemical protection
 - Shares catalyst with other urethane products
-

Associated Products:

- AUE-300 Low VOC Polyurethane Enamel
 - AUE-301 Catalyst For AUE-300
 - AUE-3501 Urethane Hardener
 - GXH1086 Urethane Hardener
 - GXH1080 Urethane Hardener
 - UA-11 Urethane Accelerator
 - UH-511 Polyurethane Primer / Topcoat Hardener
-

Physical Constants: *All values are theoretical, depend on color and are Ready-to-Spray. Actual values could vary slightly due to manufacturing variability.*

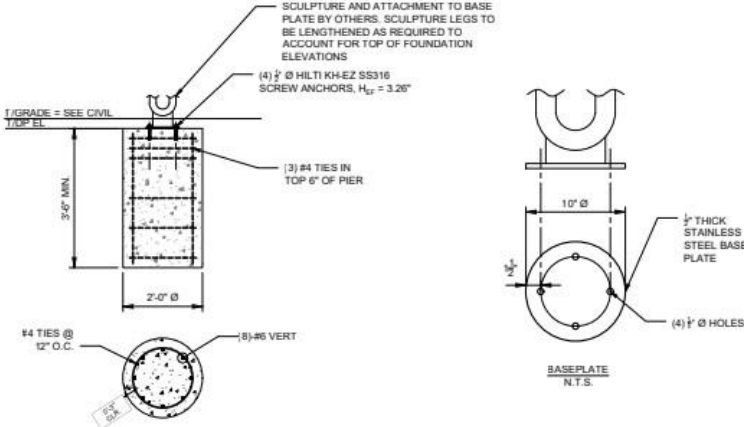
FOUNDATION & INSTALLATION DETAILS



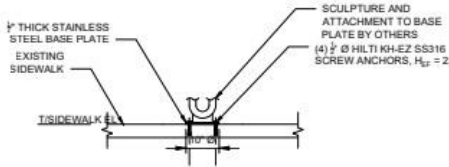
1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

- NOTES:
- 1. SEE S-001 FOR STRUCTURAL GENERAL NOTES.
 - 2. SEE S-101 FOR TYPICAL DETAILS.
 - 3. REFER TO CIVIL SITE LAYOUT PLAN FOR LOCATIONS AND ELEVATIONS.

FOOTING SCHEDULE				
TYPE	SIZE (W x D)	REINFORCING		REMARKS
		BOTTOM	TOP	
DP2.0	2'-0" Ø	-	-	(8) #6 VERTICAL BARS W/ #4 TIES @ 12" O.C.



2 DRILLED PIER FOUNDATION
SCALE: 1/2" = 1'-0"

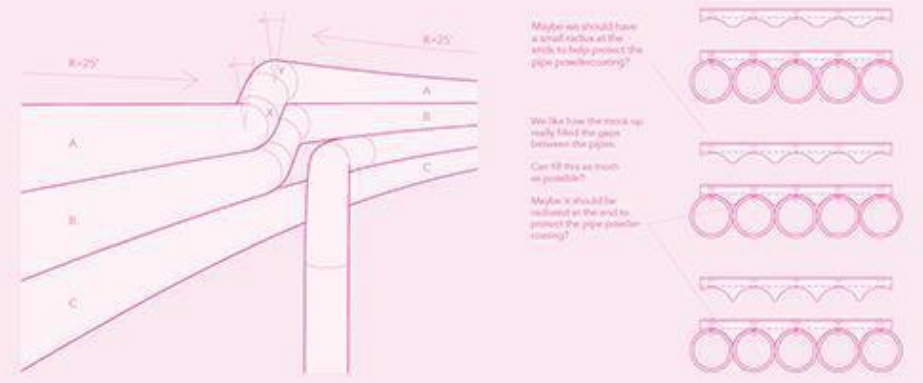
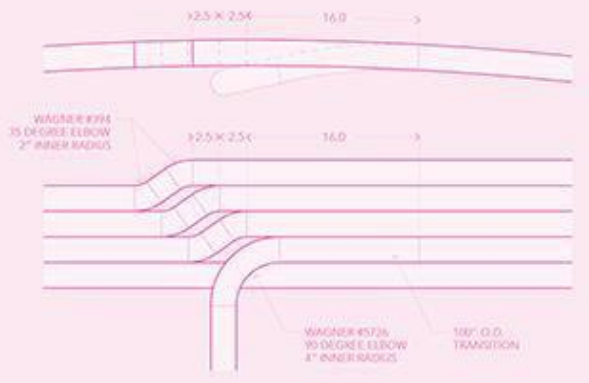
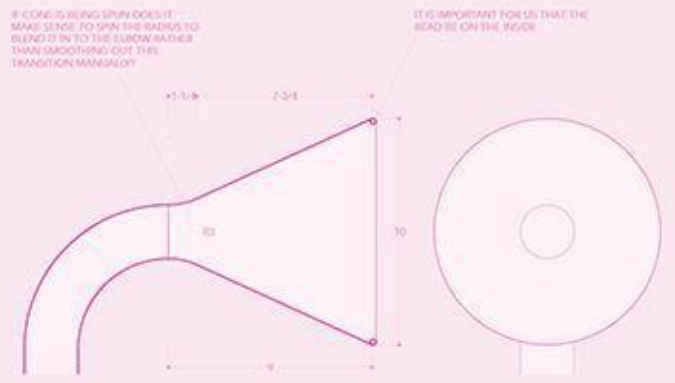
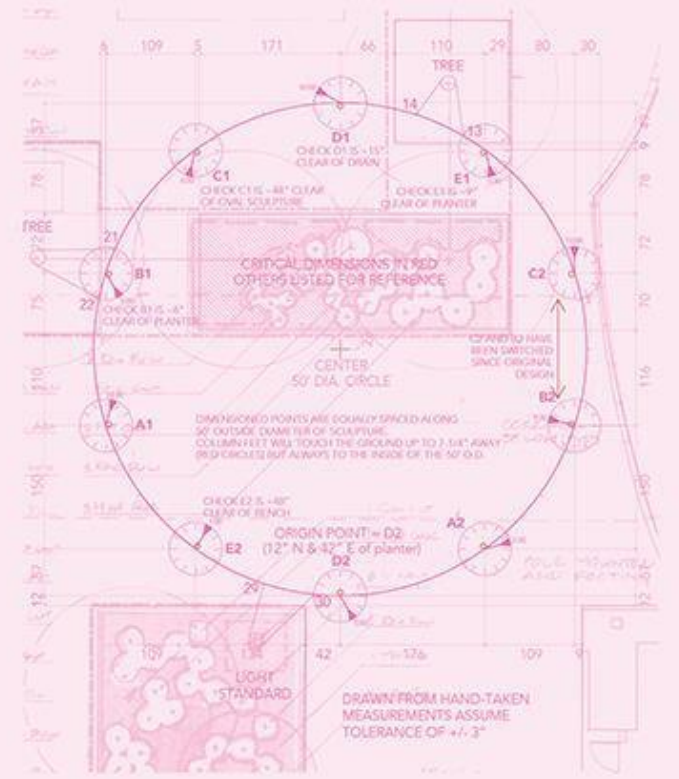
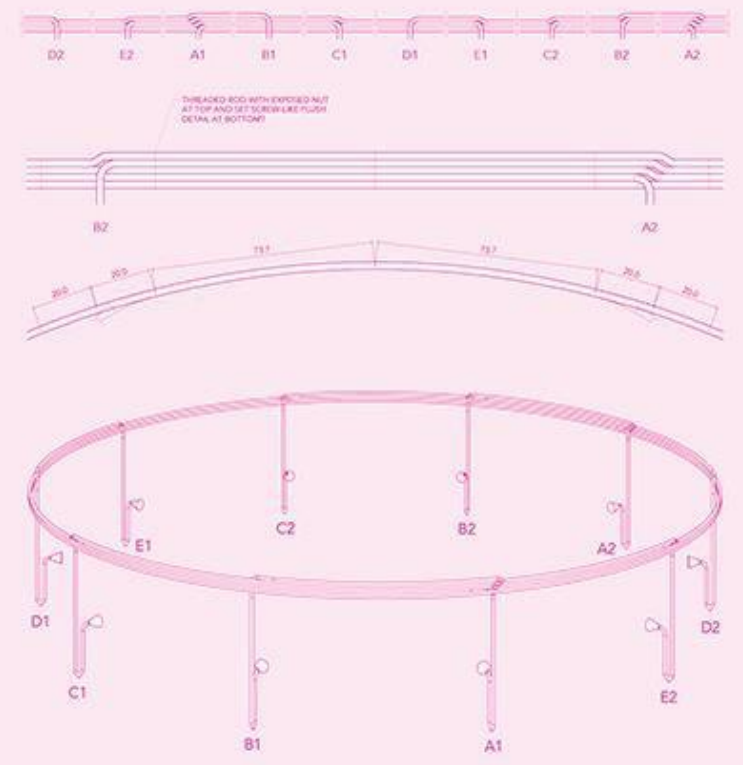
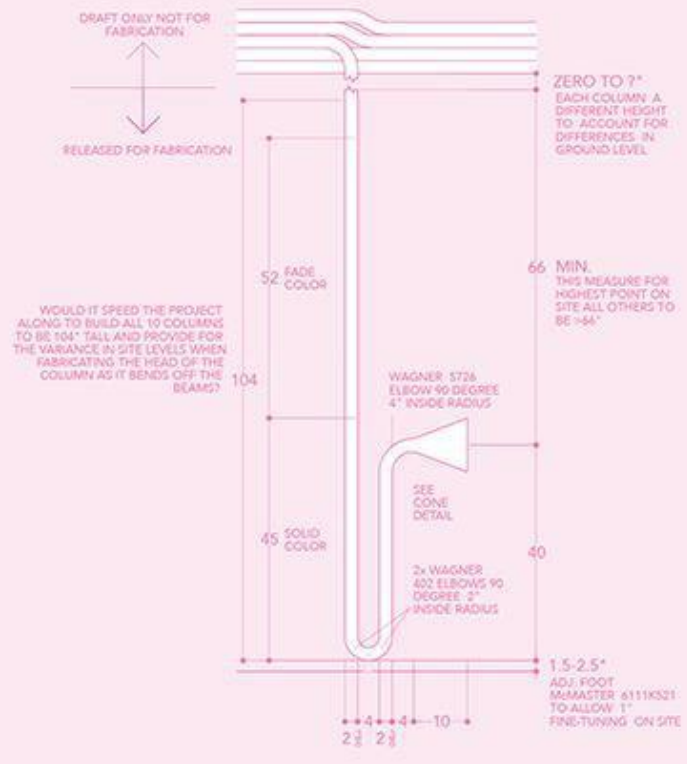


3 SIDEWALK DETAIL
SCALE: 1/2" = 1'-0"

WOODLAND CAMPUS DIALOGUE SCULPTURE INSTALL
CLEVELAND PUBLIC LIBRARY
5906 WOODLAND AVENUE
CLEVELAND, OH 44114
(216) 623-2895

TAG	ISSUED	DATE
A	FOR PERMIT	6/14/24

Unless otherwise stated in Contract, The Osborn Engineering Company retains copyright ownership. Instruments of Service may only be used for the purpose described in the Contract. The Osborn Engineering Company may grant specific usage rights under license, and / or may



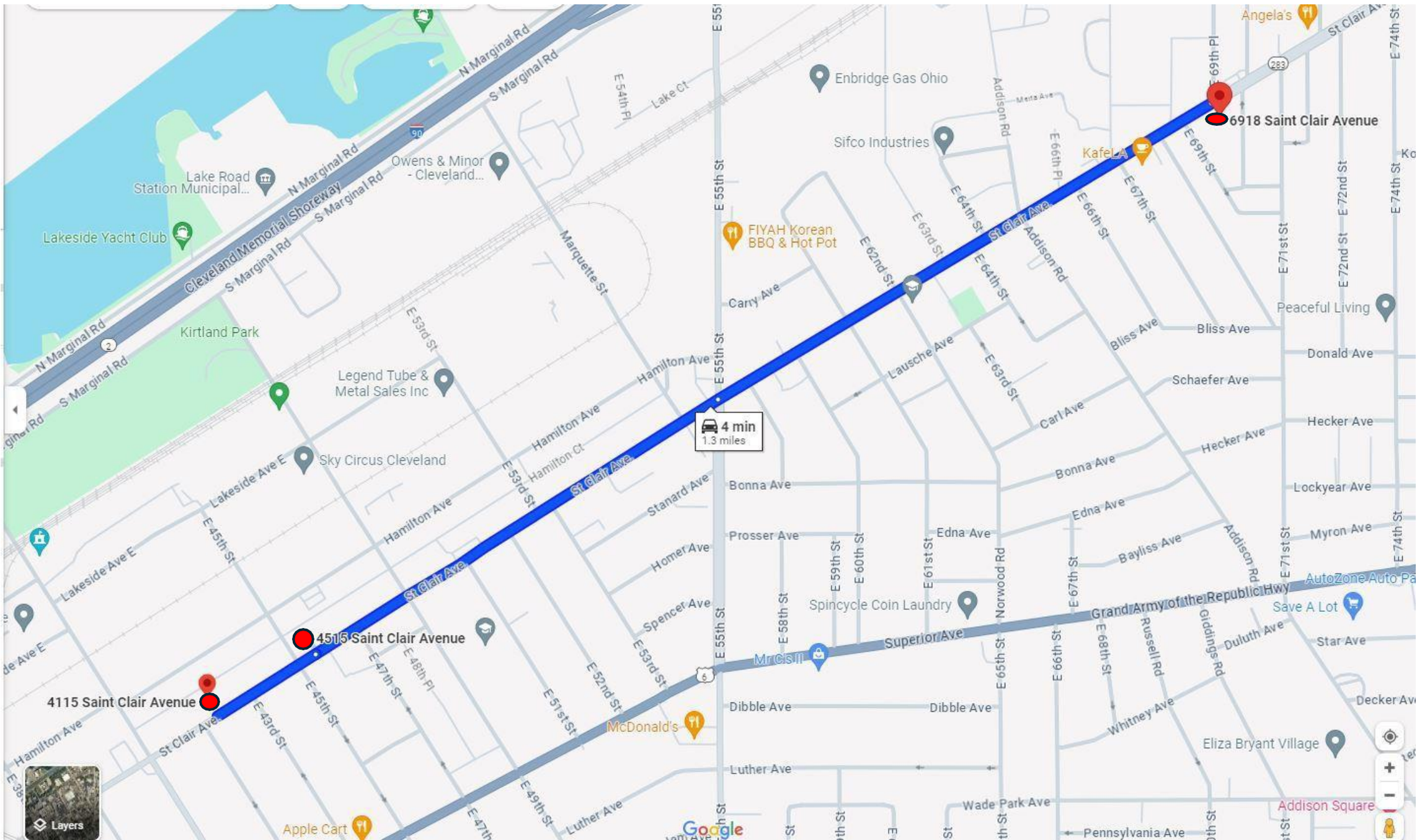
NE 2024-xx SCSDC Mural Sites: Seeking Conceptual Approval for Locations Only

Locations: 4115 St. Clair, 4515 St. Clair, 6918 St. Clair

Presenter: Joe Lanzilotta, LAND Studio

Sept 6, 2024

St. Clair
Superior
Proposed Mural
Locations



4115 St.
Clair
Avenue
(East
facing)



4115 St. Clair Avenue (East facing)



Ward: 10

Owner: Lillian Horvat, B&H Inv

Artist: Amber N. Ford

4515 St.
Clair
Avenue
(South
facing)



4515 St. Clair Avenue (South facing)



Ward: 10

Owner: Will Wooten

Artist: Lisa Quine

6918 St.
Clair
Avenue
(East
facing)



6918 St. Clair Avenue (East facing)



Ward: 10

Co-Owner: Barb Rodgers

Artist: [Derek Brennan](#)

E. 140th St. Streetscape Mural: Seeking Final Approval

Location: E. 140th St. Retaining Wall (Between St. Clair & Lakeshore)

Presenter: Tarra Petras

Design Review: Approved at Public Art Committee on 8/29

Sept 6, 2024



CONTACT

Nate Frizzell

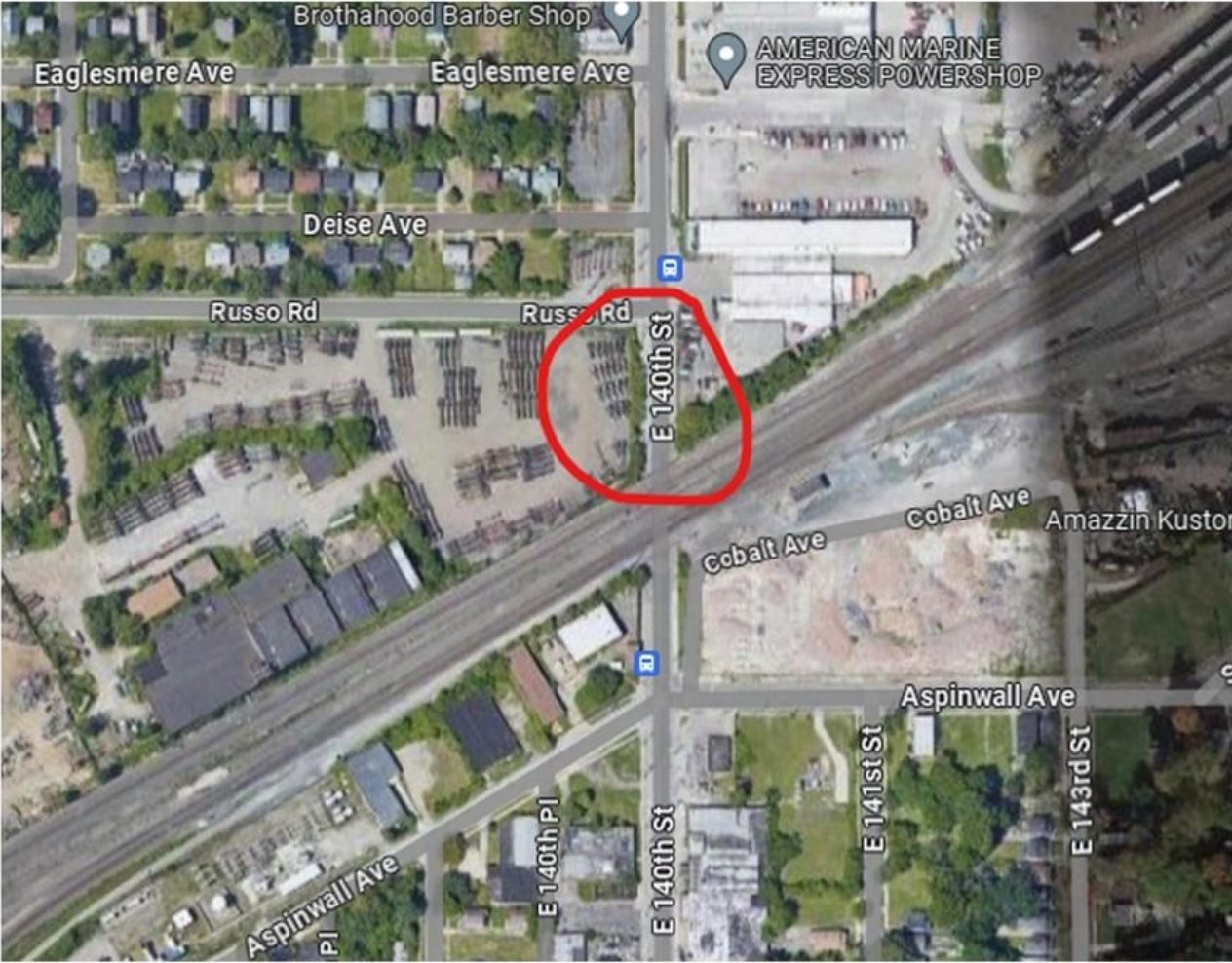
natefrizzell@gmail.com

714.277.0246

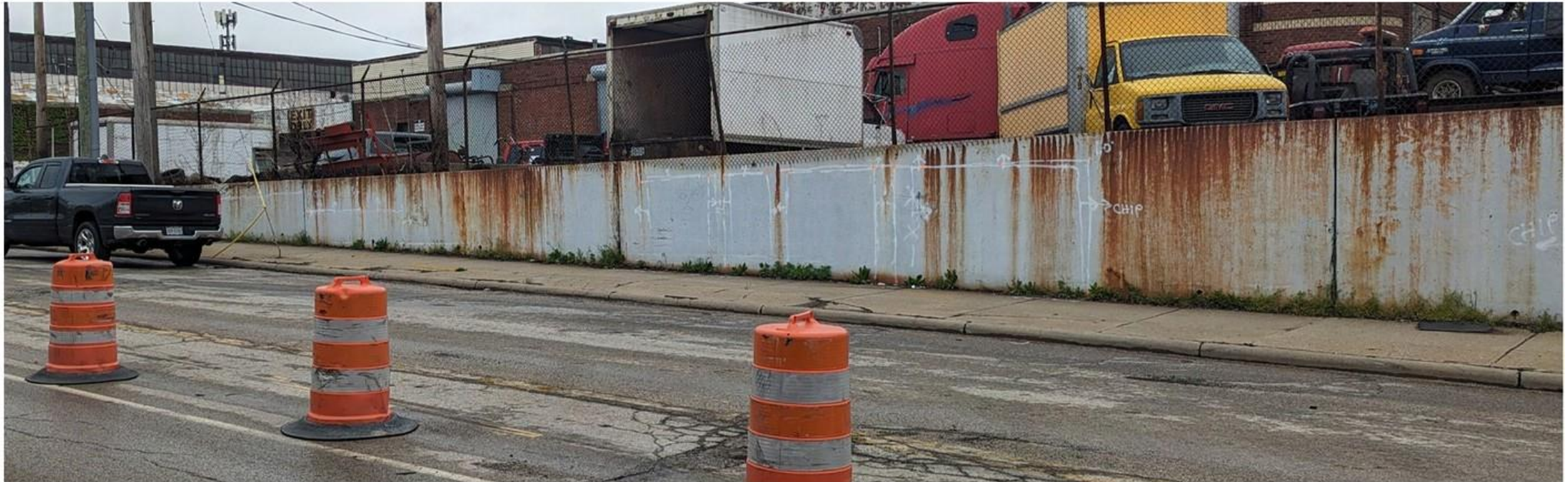
natefrizzell.com

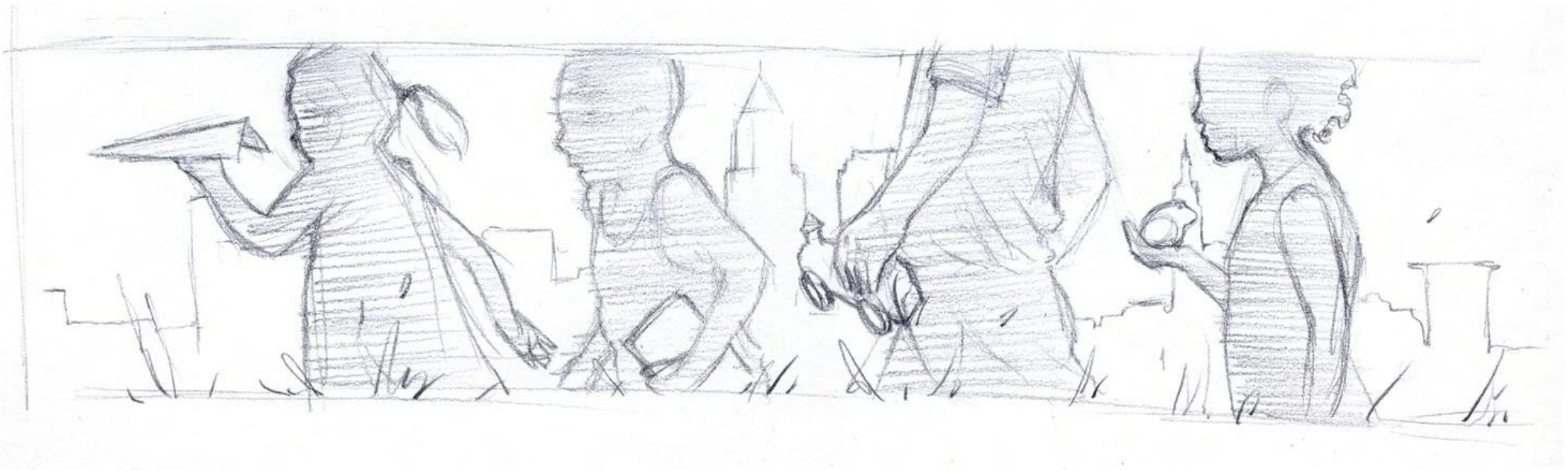


Google aerial view of the area near the wall:



Wall as it currently exists:







I like this concept because I think it encapsulates most of the ideas I heard from the people of the community into one painting, without it being too literal or obvious.

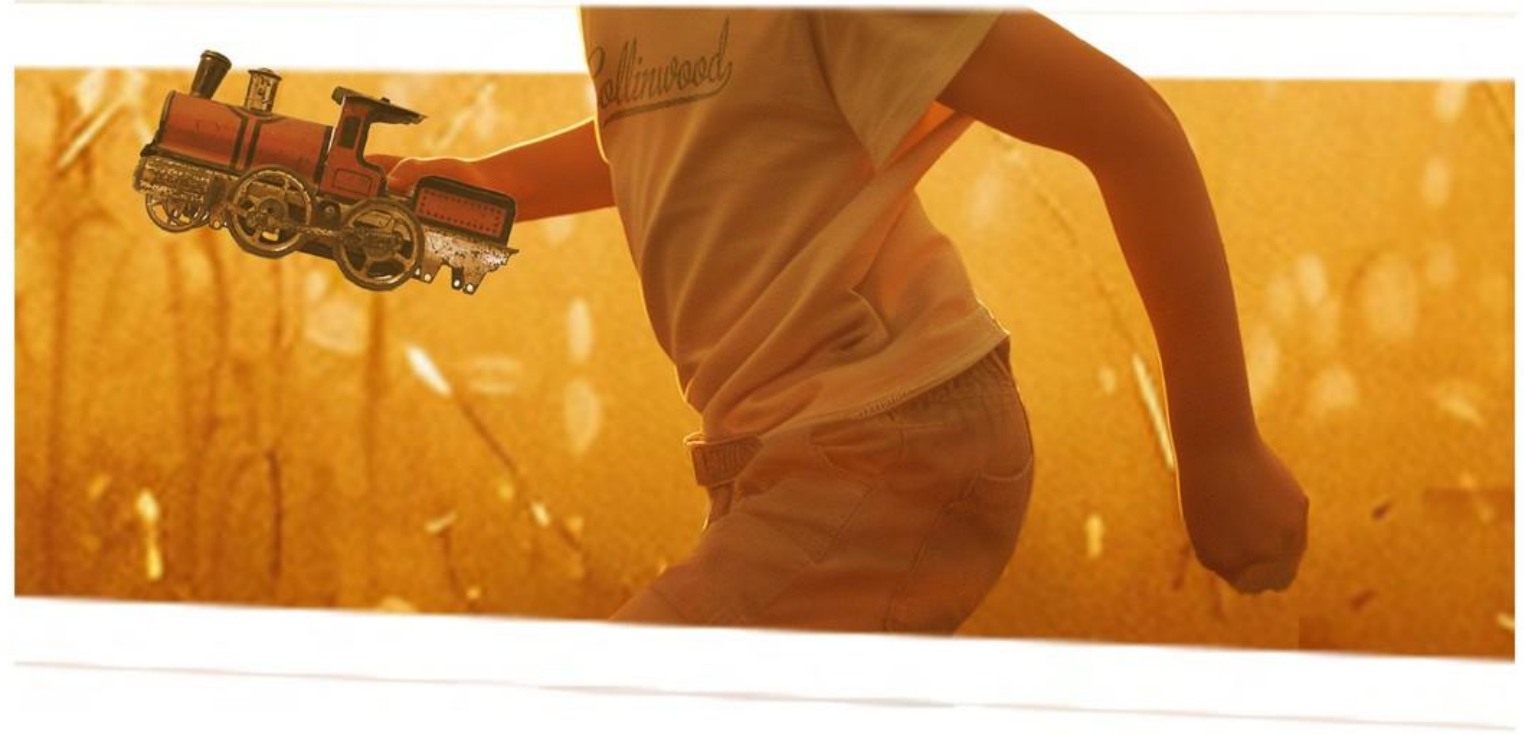
Children run/walk/play along a lake with Cleveland's skyline subtly sitting in the background, which I think conveys the mix of urban and suburban I saw while visiting Collinwood. I like that it would give a flow to the wall and mirrors the new walkway the mural is meant to adorn.

The gold and red color palette gives the feeling of warmth, hope, and serenity, and is also meant to represent the area. While you can still make out that the figures in the painting are of many different races and cultural backgrounds. the silhouetting caused the direction of the light source makes it so they are all unified.

Most of the children carry items that tell stories of the area. Some are simply symbols of sports and music, while others speak more specifically to the city and its history:

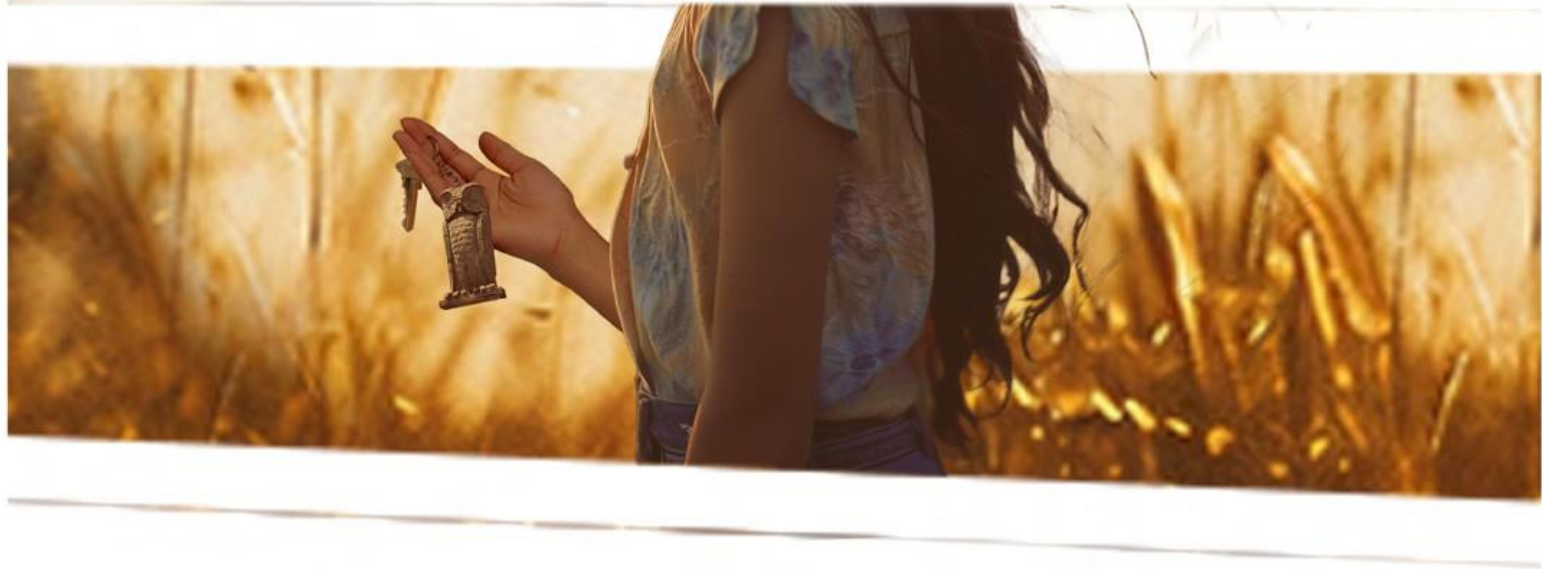
- One girl carries a pet frog, representing the nickname, "Frogville", that was originally given to Collinwood because of the swamp area.
- Another child carries a toy train, representing the significance of the railroad.
- The boy in front carries a paper airplane, as Ohio is the "Birthplace of Aviation".
- One child carries a book with the emblem of the local high school
- Another girl holds a keychain with an owl, identical to one of the sculptures adorning the historic longfellow building, meant to be a nod to its history as well as its current use today.













INSTALLATION

I most often use Behr Ultra flat house paint for my murals. It is durable, has weather resistance built in, and I like that it is Greenguard Gold certified, giving off very little chemical emissions into the air.

This, combined with any type of mural coating, should guarantee that the painting will last a lifetime.

If, for any reason, this paint is not suitable for the project, I am more than happy to work with clients to ensure we use the appropriate materials.

In any case, the quality of the painting itself would not be compromised.

wf



Buckeye Streetscape Sculptures: Seeking Final Approval

Location: Buckeye Rd. at S. Moreland (1), Buckeye Rd. at MLK Jr. Blvd. (2), Buckeye Rd. at Woodhill (1)

Presenter: Tarra Petras

Design Review: Approved at Public Art Committee on 8/29

Sept 6, 2024

Four Corners Mosaic Sculptures

For the Buckeye neighborhood of Cleveland – Sept 2024



[james simon sculpture studios](#)

305 Gist St., Pittsburgh, PA 15219

www.simonsculpture.com

JamesSimonSculpture@gmail.com

tel: 412.434.5629

Four Corners Mosaic Sculptures

James Simon

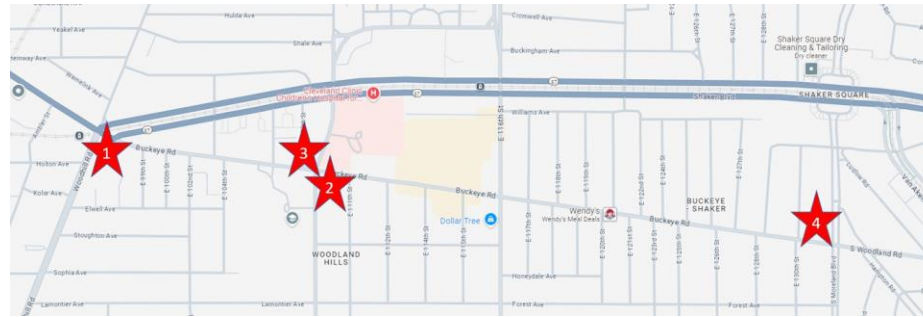
MOSAIC SCULPTURE SERIES

Ceramic and Glass Mosaic Sculptures

After talking and receiving feedback from many folks and businesses in the Buckeye community, the four concepts that have been chosen are , The Boxer, The Boom Box Kid, Garden Lady, and The Astronomer. The installations will be a larger-than-life mix of flat mosaics and three-dimensional sculptures. The bodies will be constructed of mosaics, and the hands, head and additional elements such as animals, birds, etc., will be sculpted in clay, cooked, and glazed. This combination will make it possible for me to create the necessary scale (8 foot sculptures) needed to have a strong visual presence on the four corner sites. They will be colorful, unique installations, celebrating the community's history and everyday life.

The mosaic sculptures will be double-sided, and readable from front and back. I will create them with a strong water-proof structure of concrete board with an interior metal skeleton. The outside will be sealed with waterproof grouts and adhesives. They will be freeze/thaw all weather resistant. The ceramic sculptural aspects will be high-fired for strength and durability, with beautiful baked glazes.

On the following pages you will see the four concepts and their placement on the sites chosen sites.



- 1 Boom Box kid Corner of Buckeye and Woodhill
- 2 Boxer Southeast Corner of Buckeye and MLK Jr. Blvd
- 3 Astronomer Northwest Corner of Buckeye and MLK Jr. Blvd.
- 4 Garden Lady Buckeye and S. Moreland

**Southeast
corner of
Buckeye Road
&
Woodhill Road**



Looking north
from southeast
corner of
Buckeye Road
&
Woodhill Road



**Looking south past
southeast corner of
Buckeye Road &
Woodhill Road**



**Looking east past
southeast corner of
Buckeye Road &
Woodhill Road**



Four Corners Mosaic

Sculptures

James Simon: concepts

Boombox Kid with Basketball

Celebrates youth's perpetual love of music and basketball that the community felt was important to represent in Buckeye.

Mosaic body, ceramic head, hands and feet with high-fired glazes.



Boom Box kid Corner of Buckeye and Woodhill



**Southeast
corner of
Buckeye
Road &
MLK Jr. Dr.**



**Looking east
past southeast
corner of
Buckeye Road &
MLK Jr. Dr.**



**Looking west
from southeast
corner of
Buckeye Road &
MLK Jr. Dr.**



Four Corners Mosaic Sculptures

James Simon: concepts

The Boxer

Through my discussions with the community I discovered that boxing is an important sport. Cleveland has sent and continues to send athletes to the Olympics for boxing. Additionally, boxing has provided a positive influence on Buckeye youth who find a positive source of discipline and development in the sport.

Mosaic body, ceramic head, boxing gloves and feet with high-fired glazes.



Boxer Southeast Corner of Buckeye and MLK Jr. Blvd



**Northwest
corner of
Buckeye
Road &
MLK Jr. Dr.**



Looking north
past northwest
corner of
Buckeye Road
&
MLK Jr. Dr.



Four Corners Mosaic Sculptures

James Simon: concepts



Astronomer Northwest Corner of Buckeye and MLK Jr. Blvd.

The Astronomer

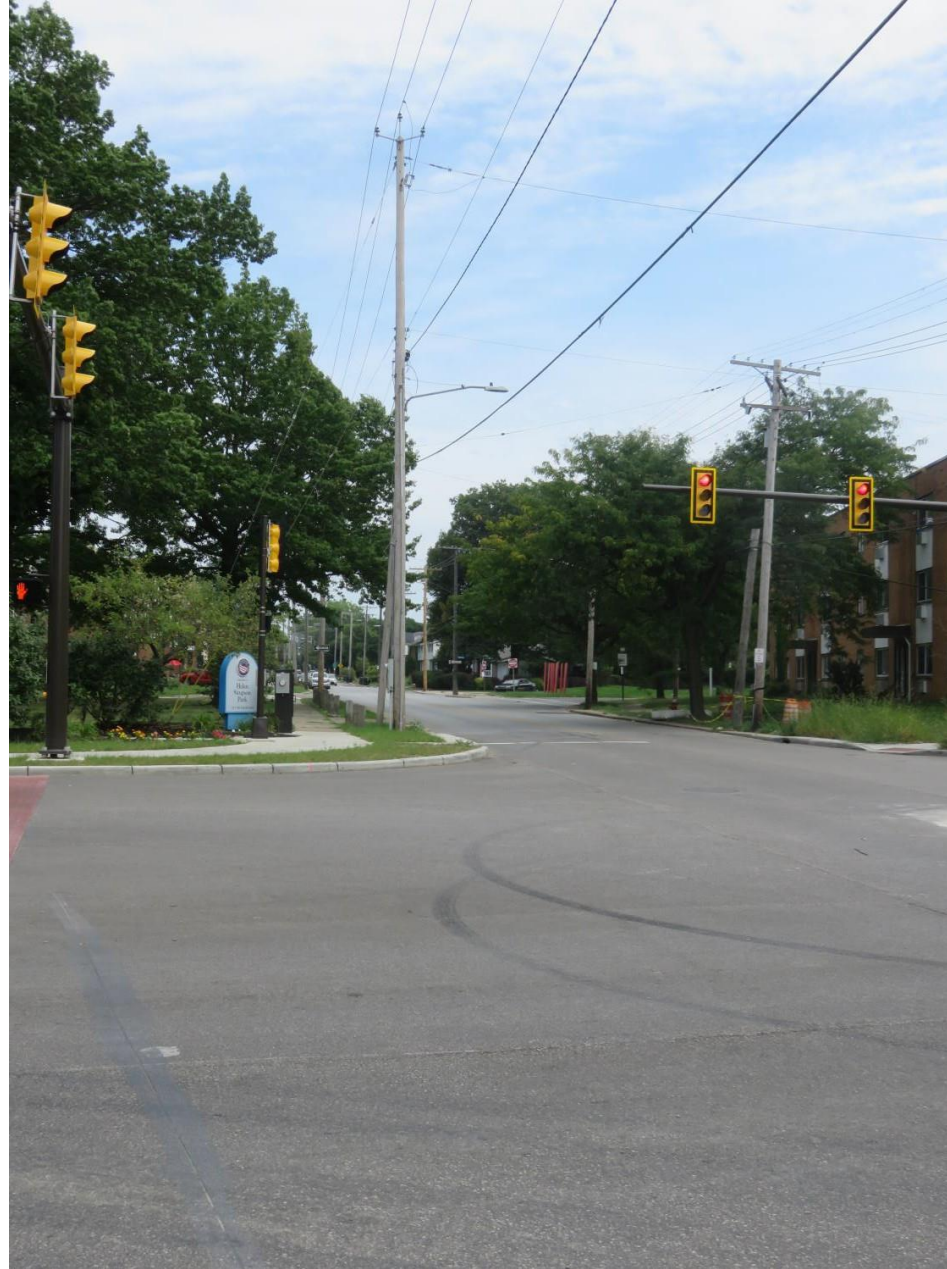
Note, the final version of the astronomer will be a women
This piece explores the magic of the unfathomable universe we live in.
Mosaic body, telescope and stars with ceramic head, hands and feet.



**Northwest
corner of
Buckeye Road
&
S. Moreland
Blvd.**



**Looking east
from northwest
corner of
Buckeye Road &
S. Moreland
Blvd.**



Looking south
from northwest
corner of
Buckeye Road
&
S. Moreland
Blvd.



**Looking west
past northwest
corner of
Buckeye Road &
S. Moreland
Blvd.**



Four Corners Mosaic Sculptures

James Simon: concepts



Garden Lady Buckeye and S. Moreland

Garden Lady

This piece celebrates the beauty & magic of nature, and the importance of working together to create a sustainable environment. Mosaic body, moon & watering can, fused glass flowers, ceramic head, hands & boots, with high-fired glazes.

Structural approach, installation, and foundation

“Boombox with Kid and Basketball”

- Artwork created on concrete board (front and back)
- Two Concrete boards are cut into the figures, shape and sandwiched between a metal skeleton.
- Interior skeleton is 12 gauge x 1.5 square tube.
- $\frac{1}{4}$ x 1.5 metal strip wraps around the shape of the inside edge perimeter, with room left for a rounded stucco edge finish.
- Concrete board bolted and epoxied to metal structure.
- Mosaic and relief sculpture are thinset glued, grouted, and sealed to the concrete board.
- Materials and structure are durable all-weather freeze thaw resistant.
- Foundation- Poured concrete slab with standard rebar reinforcement.
- Slab size, depending on individual pieces shapes:
- 2.5-3' high with 5" above ground, 2' wide, 5- 7' long
- Two to Three sq metal tubes extend from the structure's skeleton
- into matching (slightly large) female tubes that are preset into the foundation.
- Artist will provide the individual female tubes that will be set into the sites slab before pouring



Examples

James Simon — Sculpture: Liberty Avenue Musicians — Downtown Pittsburgh, PA — from clay to cast concrete, to installation assembly.



Examples

Sketches



Models



Studio



Tampa



James Simon — Sculpture: Perry Harvey Sr. Park Gateway Sculptures — City of Tampa, FL



Examples

James Simon — Sculpture: DETAIL: Perry Harvey Sr. Park Gateway Sculptures — City of Tampa, FL



Examples

James Simon — Mosaic Tile: Magic River (with detail) — Bradenton, FL

PROCESS: These sketches were developed for a 120 foot long mosaic mural, which featured 15 panels. These images demonstrate translation from rough sketches into finished mosaic.



Example work Magic River mosaic in Bradenton, FL



Magic River mosaic with community-created clay fish



Musicians Panel



The Artist

James Simon

James Simon has been sculpting and creating mosaics a long time, and his work can be found worldwide.

Educated in the early 80s in a private apprenticeship in Oxford England, Simon is known for his dramatic large-scale works. His sculptures and mosaics speak to a diverse population and range from small desktop pieces to large public art commissions.

Simon passionately believes in the power of art to transform neighborhoods and landscapes. A recipient of various grants, national gold medals, and awards, he has enlivened streetscapes with his sculptures and mosaics.

The heart of my work is to pay homage to a community's history and activity while representing its contemporary life. To create a magical environment for everyday folks.



Elevate the East RTA Central Bus Facility Mural: Seeking Final Approval

Location: 2500 Woodhill Rd

Presenter: David Wilson & Ahlon Gonzalez, LAND Studio

Design Review: Going to Euclid Corridor Design Review on 9/5

Sept 6, 2024

ELEVATE THE EAST

GCRTA MURAL

Presentation by - LAND studio

ABOUT THE PROJECT

ELEVATE THE EAST is a community process to guide public art investments in Cleveland's Eastside neighborhoods, including Buckeye, Kinsman, and Woodland Hills. The yearlong planning process included community-wide input through public events, online surveys, youth workshops, and interactive experiences. Led by Ward 6 Councilman Blaine Griffin and Burten, Bell, Carr, the public art plan is one component in a larger transformation strategy to benefit all people living in the area.

This initiative continues to illustrate and uplift the vibrant history, beauty, and culture of the neighborhood through the artistry of our most creative and innovative artists, landscape architects, residents, and neighbors.

50 ACTIONS TO ELEVATE THE EAST

Ward 6 Councilman Blaine Griffin & Burten, Bell, Carr Development, Inc.



A GUIDE FOR CONNECTING ART & PEOPLE



Meet the Artists



▶▶ DEREK BRENNAN

He had started his mural career while living and working in Shaker Square in 2015 and since then has completed nearly 40 murals, primarily in the Cleveland area. Most recently, he worked on large scale projects for MetroHealth, The Cleveland Museum of Art Community Arts Center, and The Cleveland Public Auditorium. With all of his mural work, his goal is to connect with people and encourage them to interact with art.

▶▶ CHAD FEDOROVICH

He is a multi-media artist, muralist, specialty painter, and the owner of Cleveland Mural Company. He was formally trained as an auto body and paint specialist who spent over a decade perfecting his craft. During his time as an auto body painter, he remained connected to the arts and helped to create space for artist. He has experience in collage art, graphic design and studio painting, and is currently focusing on painting custom murals, and other specialty paint finishes.



Isaiah Williams



DAYZWHUN



Christa Freehands



Alicia Vasquez

ADDITIONAL ARTISTS

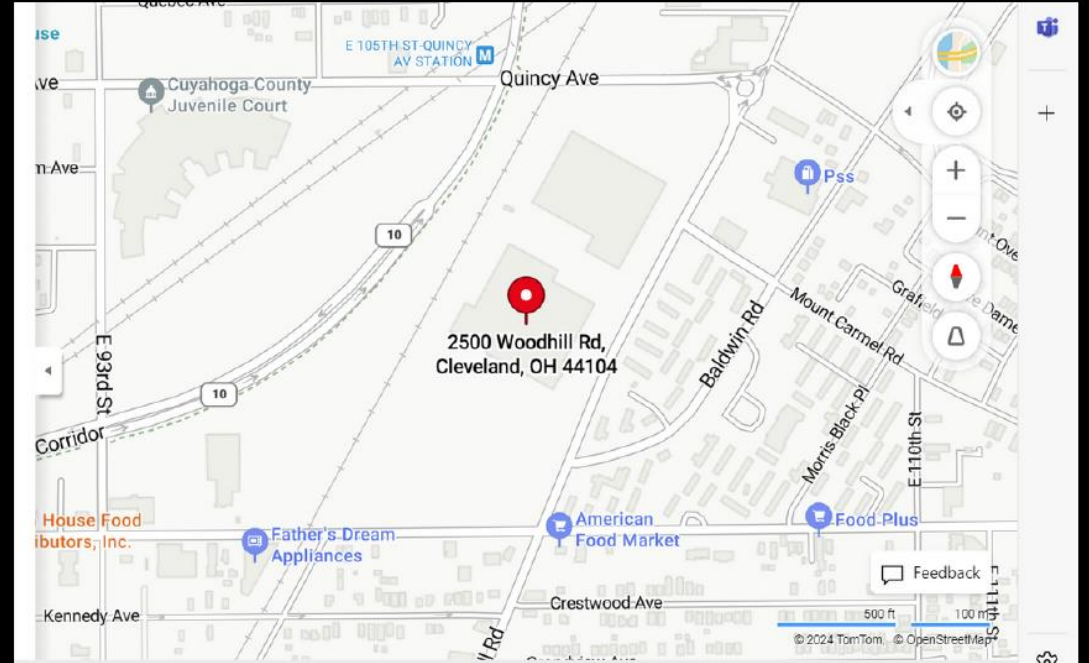
ENGAGEMENT

Art Workshops



LOCATION

▶▶ 2500 WOODHILL RD.



THE CONCEPT

Full Panel



**** Renderings based of previous iteration shown for scale.**



THE CONCEPT

Beginning





THE CONCEPT

Middle Panels





THE CONCEPT

Existing Mural and Panel 6



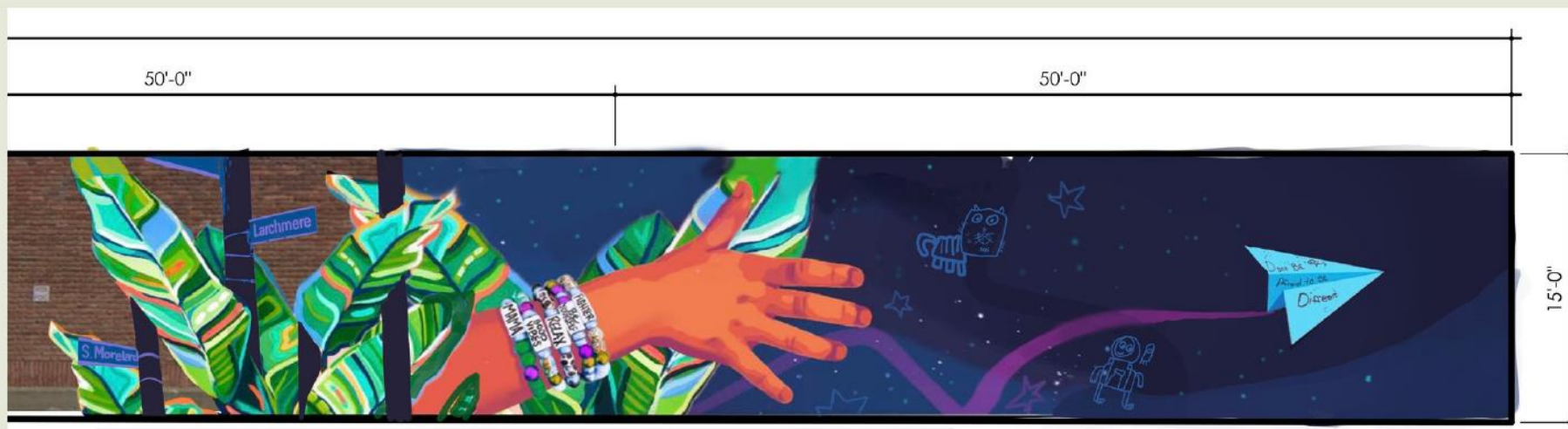
50'-0"





THE CONCEPT

Last Panel



MAINTENANCE

- **The artists plan to prime with Behr Masonry Primer.**
- **They will paint Background with misc. Behr Masonry Paint colors and Montana Gold Spray paints.**
- **They'll apply 2 coats of Vandal Guard Anti Graffiti and UV protection after the mural is finished so that any graffiti removal will be easier.**
- **Artists shall provide a maintenance plan detailing all colors within the Artwork to maintain the Artwork in a safe and intact state throughout the duration of its placement as part of the Program. The maintenance plan must be submitted to LAND within (10) days after the Artwork's initial installation at the Site.**
- **LAND will notify the artists in the event of the need for any maintenance or restoration services so that the Designer may have a reasonable opportunity to perform such work themselves or to supervise or consult in its performance.**

THANK YOU!



Via Sana Mural: Seeking Final Approval

Location: 2450 Metrohealth Drive

Presenter: Ahlon Gonzalez, LAND Studio

Sept 6, 2024



MetroHealth



VÍA SANA
MURAL

PRESENTED BY LAND STUDIO

MetroHealth

Vía Sana

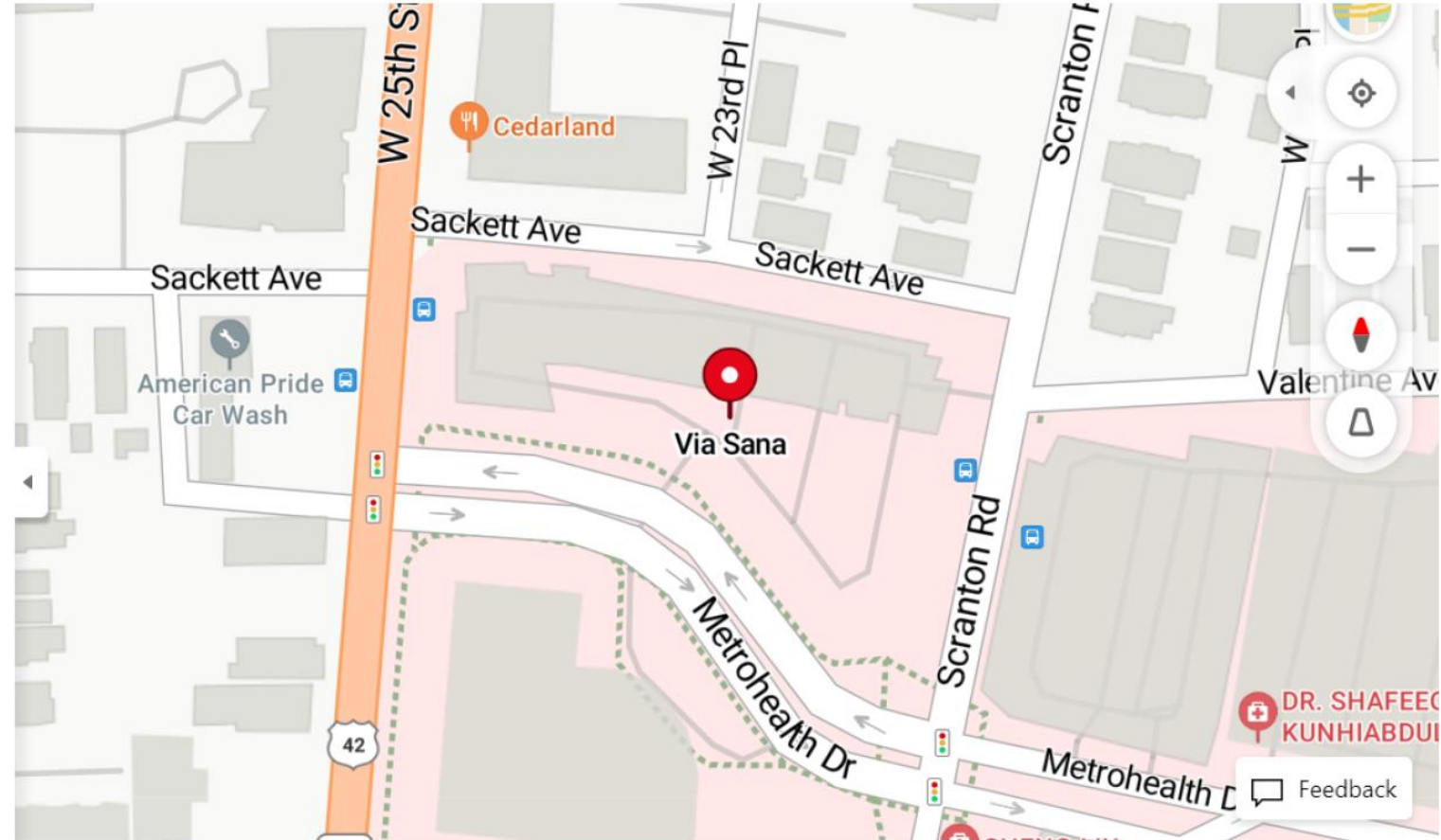
MetroHealth is seeking to install a mural on Via Sana. The mural design stems from the 2022 Clark-Fulton Public Art Project and builds upon the success of the collaborative art program. The initial concept for this mural was created during that project, which engaged the community in the process. Like the previous murals it aims to celebrate the neighborhood's sense of community, connection and its rich culture with pride and through the beauty of art.

About The Project



MetroHealth

Location Analysis



2450 Metrohealth Dr, Cleveland, OH 44109

Aerial View

MetroHealth

**Location
Analysis**



2450 Metrohealth Dr, Cleveland, OH 44109

Street View

Artist Dayzwhun



Cleveland Native, and local artist, Dayzwhun began his career in the city of Cleveland at the age of 13. He created his first mural for a neighborhood business.

He has painted various murals throughout the City; including for Rock n Roll Hall of Fame Museum, several schools, and local businesses. He brings his art to life, full of color and visual inspiration, alongside community development, painting the walls around town, to beautify the landscape in the neighborhoods. This is his contribution, his canvas.

@dayzwhun216
4030studios.com

A Spanish Children's Rhyme

***Sana sana colita de rana
Si no sana hoy, sanará mañana***

The translation of this popular Spanish rhyme for children is, "Heal, heal, little tail of the frog. If you don't heal today, you'll heal tomorrow." Adults often recite the poem to children when they fall or somehow hurt themselves. When children hear the rhyme, adults believe they become distracted, stop crying and go back to playing with their friends.

MetroHealth

**Proposed
Design**



MetroHealth

Mural on Wall
Dimensions

Art
355" x 154"
29 x 13ft

Wall
36x15ft



Method of Installation

MetroHealth



Heat Applied Vinyl

To your left is an example of a heat applied vinyl mural located on the entrance of Studio West done by local artist Christa Freehands.

MetroHealth

Lifespan
3-5 years

Maintenance

- The official lifespan for heat applied vinyl murals is 3-5 years but we've seen them last much longer. If there is minor damage, then the contractor will be contacted to make minor repairs and if necessary the mural can be removed with heat.
- Removal takes several hours but there will not be mural residue and there will be no damage to the wall.



THANK YOU !

QUESTIONS?

Ahlon Gonzalez
LAND studio

Cleveland City Planning Commission

Special Presentations – Design Review District Changes



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Special Presentations – Design Review District Changes

W. 117th Design Review District Changes & Lorain Ave. Antiques District Addition

Sept 6, 2024

Information Only Presentation

Nate Lull, Far West Planner



CITY OF CLEVELAND
Mayor Justin M. Bibb

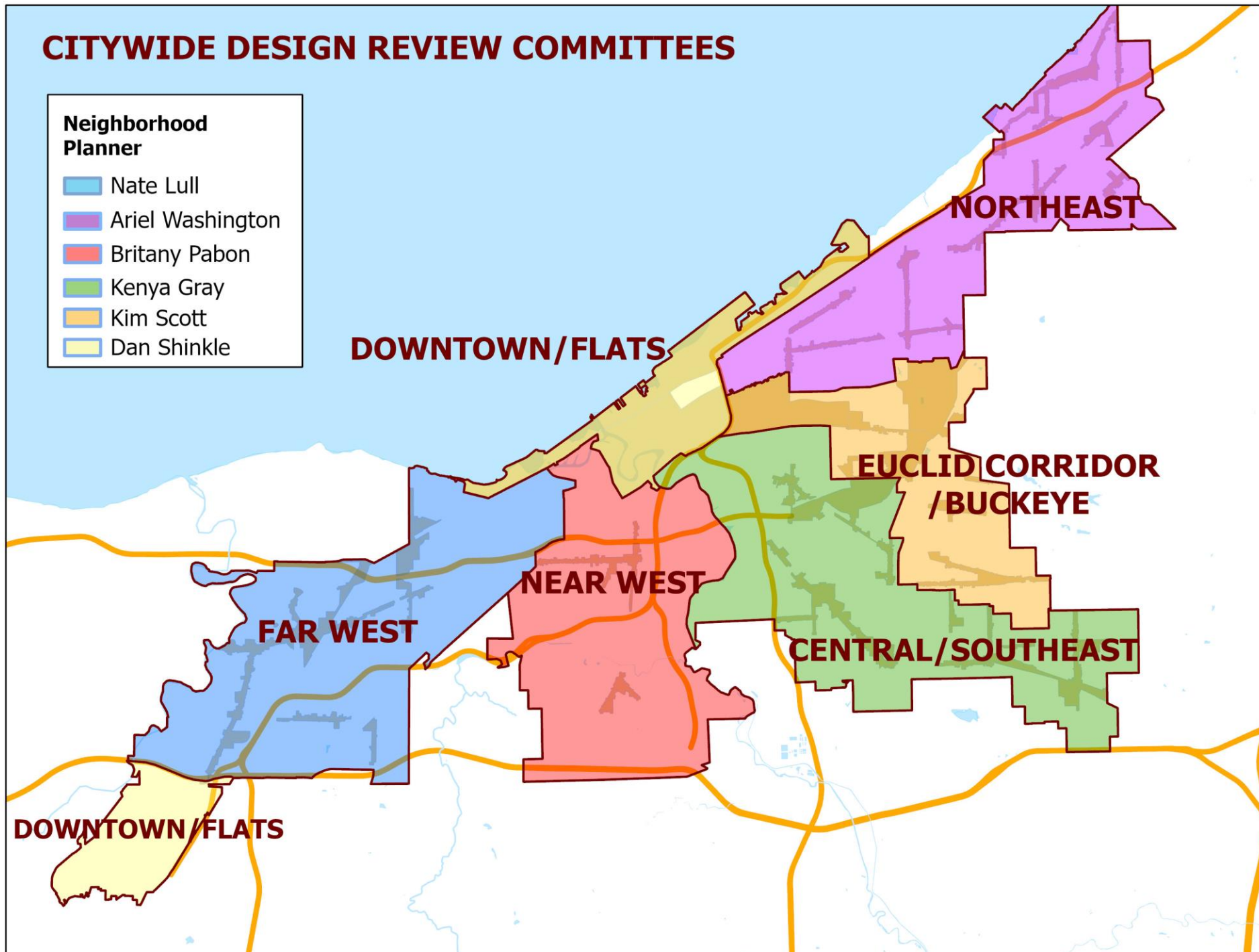
2024 City of Cleveland

Map Change 2683



CITYWIDE DESIGN REVIEW COMMITTEES

Neighborhood Planner	
	Nate Lull
	Ariel Washington
	Britany Pabon
	Kenya Gray
	Kim Scott
	Dan Shinkle



Proposal

Adding parcels along Detroit Avenue from West 116th St to West 107th St to the existing “West 117th Design Review District”

Will be contiguous with the existing “West 117th Design Review District”

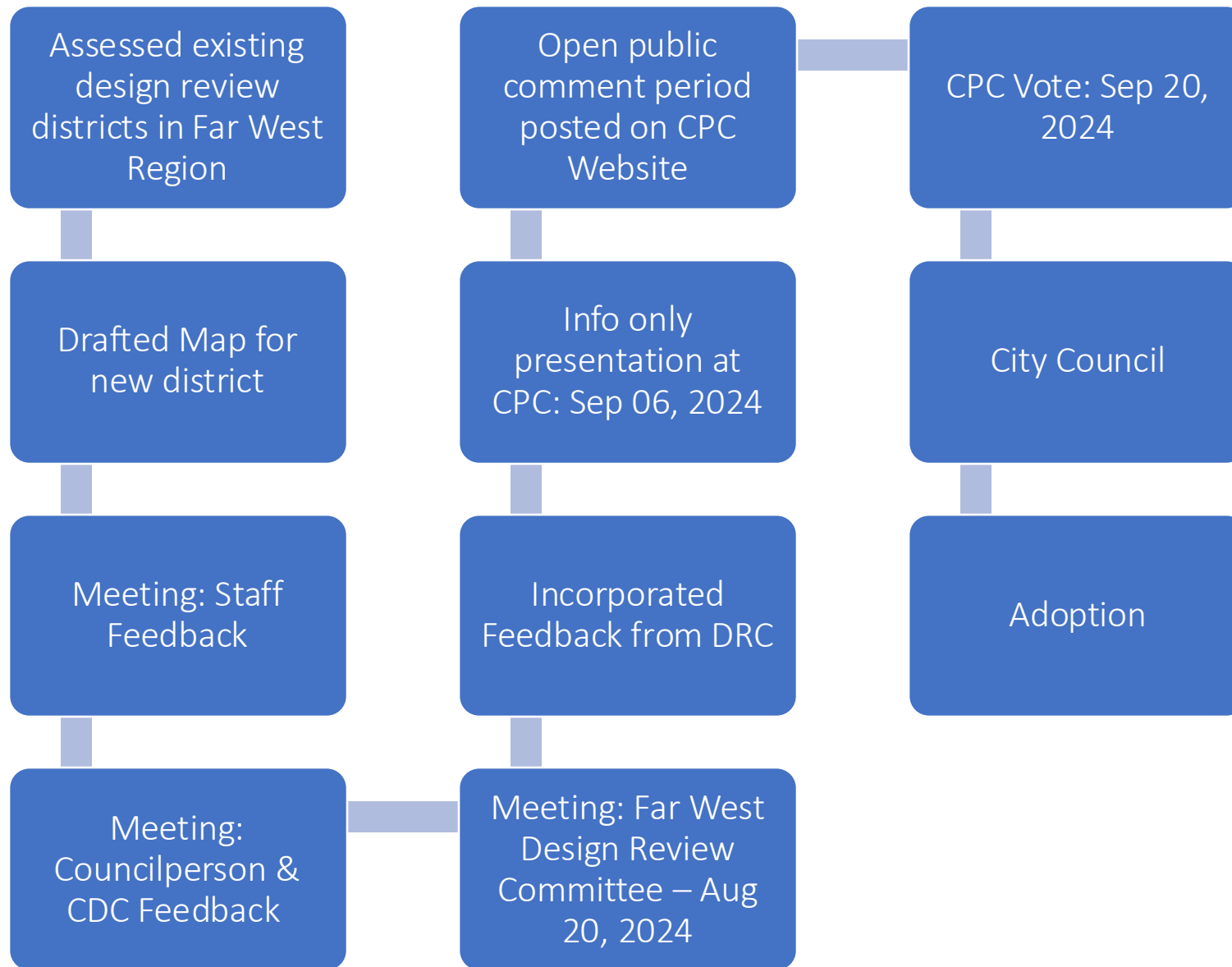
Purpose

To grant oversight to the Far West Design Review & City Planning Commission for all exterior changes and demolitions along our commercial corridors.

To protect and preserve our important urban fabric closest to our transit corridors.



Process

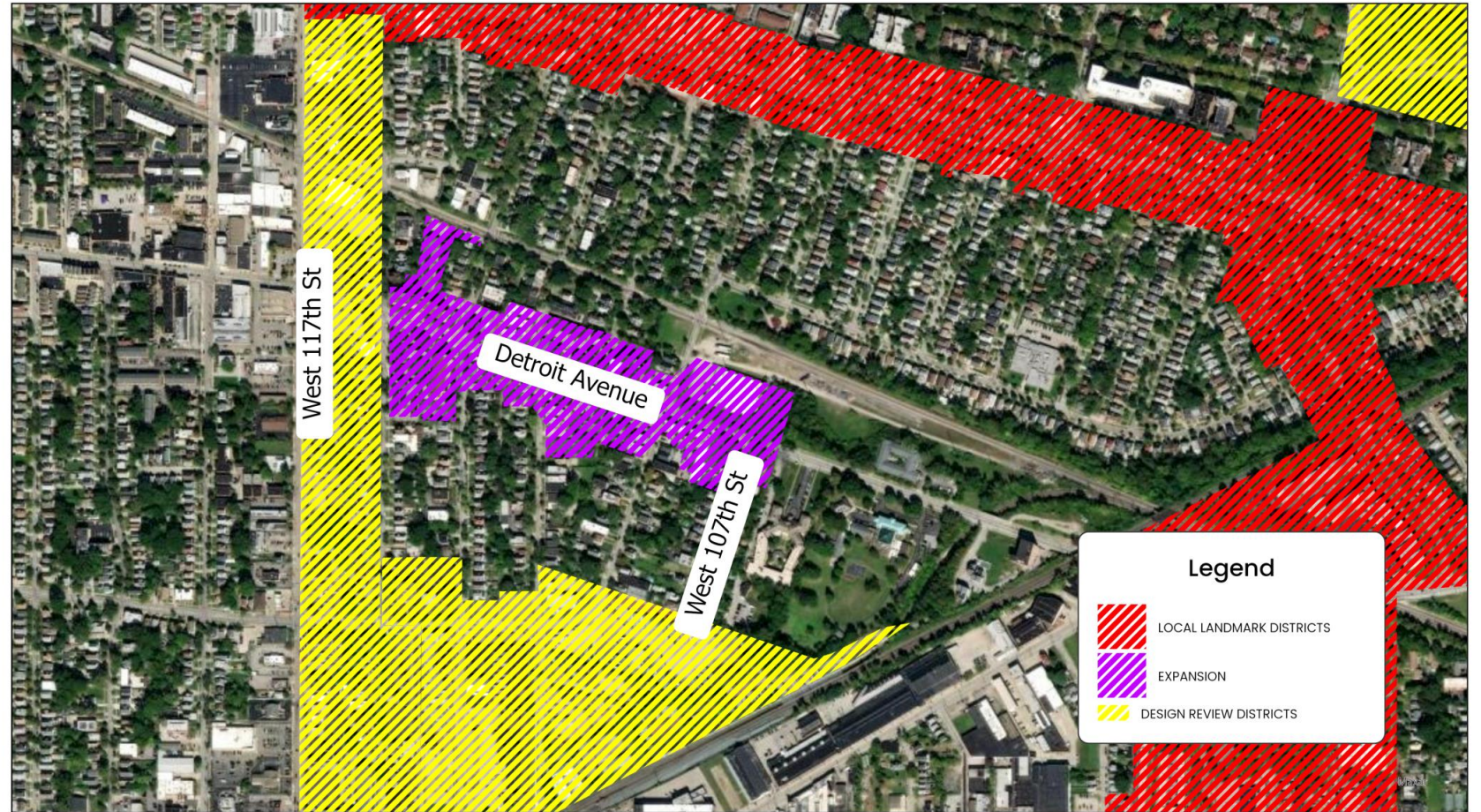


Boundaries

Added to West 117th
Design Review District

Expansion starts west of
West 116th St

Ends east of West 107th
St



West 117th District Expansion

0 1,000 2,000
US Feet



CITY OF CLEVELAND
Mayor Justin M. Bibb
CITY PLANNING





Context Photos

1



West 116 St & Detroit Avenue – Looking East
2022 Street View (Google Maps)

2



West 116 St & Detroit Avenue – Looking West
2022 Street View (Google Maps)



Context Photos

3



West 114 St & Detroit Avenue – Looking South
2022 Street View (Google Maps)

4



11500 Detroit Ave – Looking North
2022 Street View (Google Maps)



Context Photos

5



11228 Detroit Ave – Looking North
2022 Street View (Google Maps)

6



West 112 St & Detroit Avenue – Looking North
2022 Street View (Google Maps)



Context Photos

7



West 112 St & Detroit Avenue – Looking South
2022 Street View (Google Maps)

8



1415 West 112 St – Looking East



Context Photos

9



West 110 St & Detroit Avenue – Looking East
2022 Street View (Google Maps)

10



West 110 St & Detroit Avenue – Looking South
2022 Street View (Google Maps)



Context Photos

11



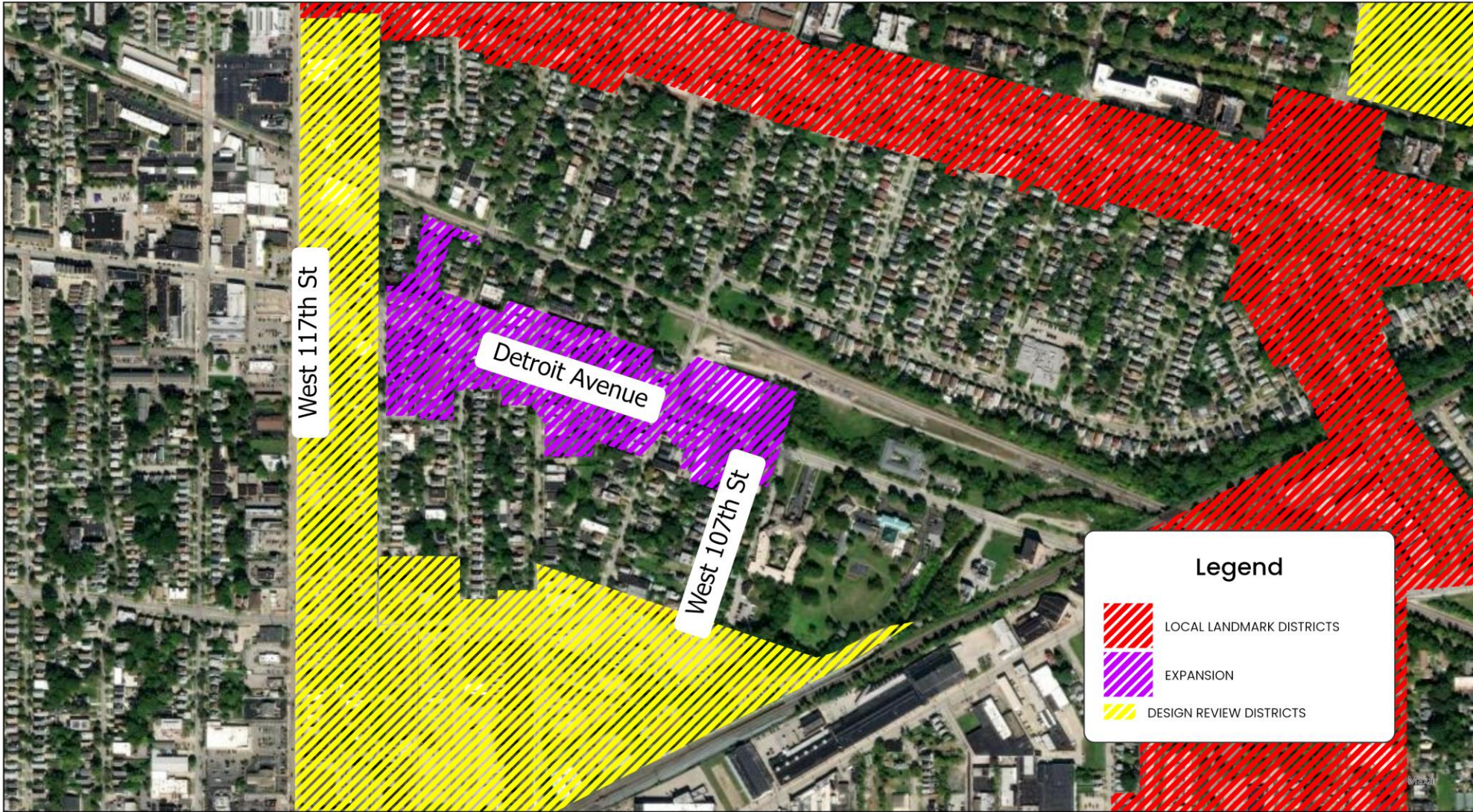
Detroit Ave & West 107th St – Looking South
2022 Street View (Google Maps)

12



West 107 St – Looking North
2022 Street View (Google Maps)





West 117th District Expansion



CITY OF CLEVELAND
 Mayor Justin M. Bibb
 CITY PLANNING



Jenny Spencer COUNCIL MEMBER, WARD 15

COMMITTEES: Utilities - Vice Chair • Development, Planning & Sustainability • Finance, Diversity, Equity & Inclusion
Workforce, Education, Training & Youth Development

September 4, 2024

Re: **Expansion of West 117th Street Design Review District (Map Change 2683)**
Creation of new Lorain Avenue Design Review District (Map Change 2685)

Dear Director Huang and members of the Cleveland City Planning Commission,

I wish to officially go on record and express my enthusiastic support for Map Change 2683 and Map Change 2685. City Planning staff members took the initiative with these map changes, and I could not be more grateful for their hard work which will pay dividends for these important commercial corridors.

Map Change 2683 seeks to expand the existing West 117th Street Design Review District to cover a longer stretch of Detroit Avenue. The expanded district will provide protections for existing structures that contribute to Detroit Avenue's unique urban fabric, and will make redevelopment plans for the area more cohesive overall.

Map Change 2685 is long overdue. The area of Lorain Avenue known as the "Lorain Avenue Antiques District" has suffered unnecessary demolitions and lack of oversight, and has lost aspects of its unique and historic character over time. This new design review district will set the stage for more coordinated and aspirational revitalization efforts, as well as offer badly needed protections for existing structures.

Once again, I would sincerely like to thank Planning staff - specifically, Nate Lull, Adam Davenport, and Xavier Bay - for identifying the need for these map changes and for bringing these important proposals forward to the Cleveland City Planning Commission. The proposed design review district expansions give me renewed optimism for our neighborhoods' futures and I offer my unequivocal support.

Please do not hesitate to contact me with questions at (216) 857-3267.

Best regards,

Jenny Spencer
Ward 15 Council Member

Cc: Shannan Leonard, Adam Davenport, Nate Lull, Xavier Bay

City Hall 601 Lakeside Avenue N.E., Room 220, Cleveland, OH 44114 • Phone (216) 664-4235 • Fax (216) 664-3837





CITY OF CLEVELAND
Mayor Justin M. Bibb

2024 City of Cleveland

Questions?





CITY OF CLEVELAND
Mayor Justin M. Bibb

2024 City of Cleveland

Map Change 2684



Proposal

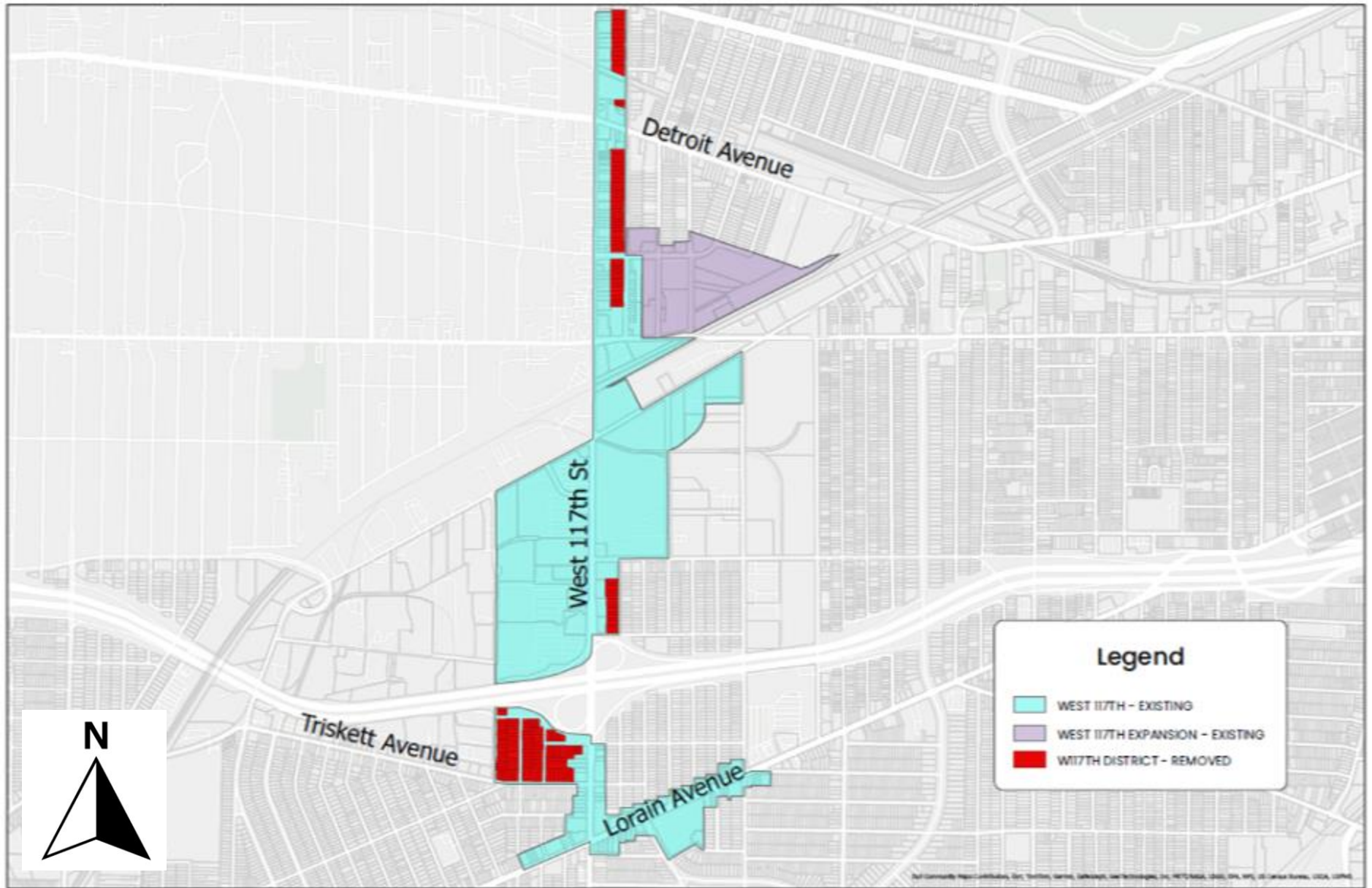
Removing parcels from the West 117th District that are residential streets

- W 121st St
- W 120th St
- W 119th St
- Arden Ave
- Triskett Rd
- Cloverdale Ave
- West 116th St

Purpose

To eliminate administrative burden and reduce the number of steps a residential property owner has to take to get a permit (ex: roof, siding, windows, porches, fencing)





West 117th District - Removal Areas



CITY OF CLEVELAND
 Mayor Justin M. Bibb
 CITY PLANNING

West 117th District - Removal

Permits pulled between 4/30/2015-12/1/2023

- 52 exterior permits
- 33 alterations
- 5 violation corrections
- 2 main structure demolitions
- 7 new fences
- 3 new garages



West 117th District - Removal



Between Triskett Ave & I-90
(Google Maps)



Context Photos



Triskett Avenue - Looking East
(2022, Google Earth)



Triskett Avenue - Looking West
(2022, Google Earth)



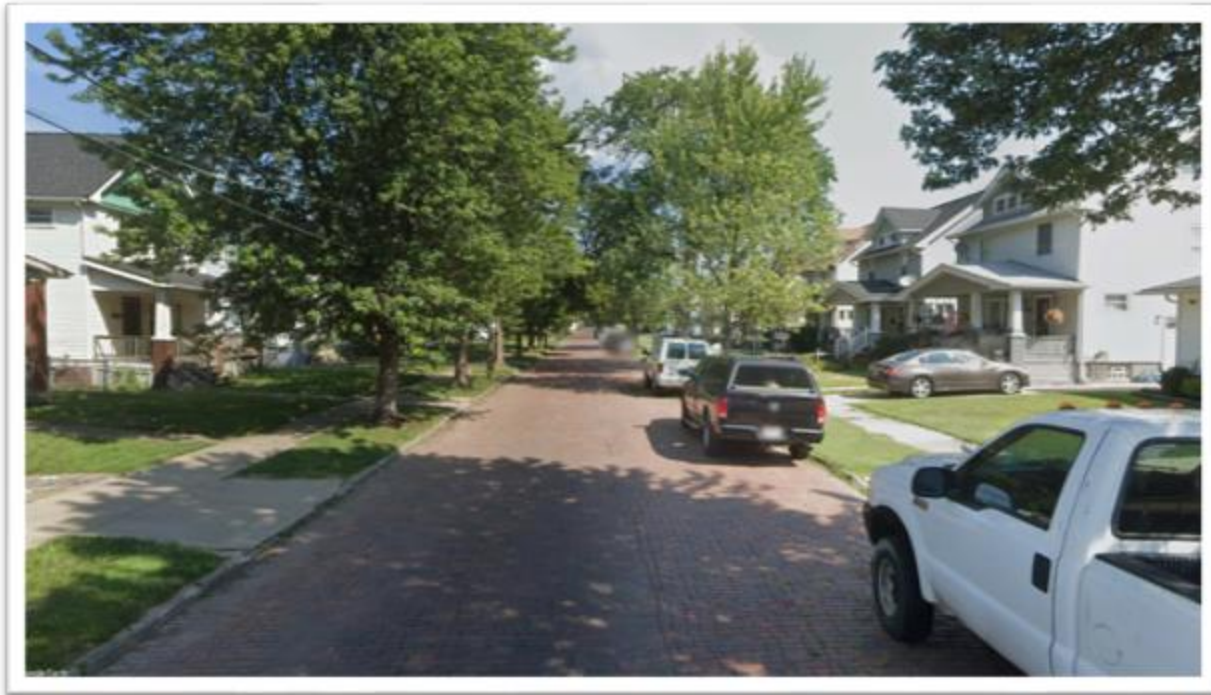
West 117th District - Removal



West 116th St - Between Belmont Ave & Western Ave
(Google Maps)



Context Photos



West 116th St - Between Belmont Ave & Western Ave
(2022, Google Earth)



West 116th St - Between Belmont Ave & Western Ave
(2022, Google Earth)



West 117th District - Removal



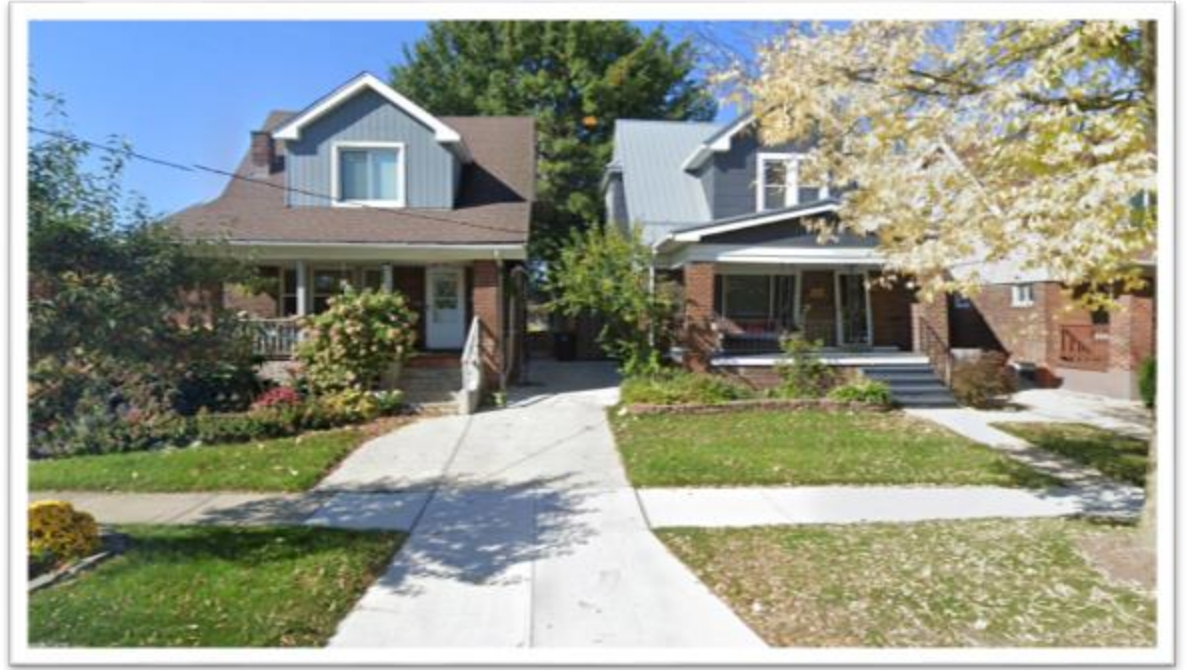
West 116th St – Between Franklin Blvd & Madison Ave (Google Maps)



Context Photos



West 116th St – Between Franklin Blvd & Madison Ave (2022, Google Earth)



West 116th St – Between Franklin Blvd & Madison Ave (2022, Google Earth)



West 117th District - Removal



West 116th St – Between Franklin Blvd & Detroit Ave
(Google Maps)



Context Photos



West 116th St – Between Franklin Blvd & Detroit Ave
(2022, Google Earth)



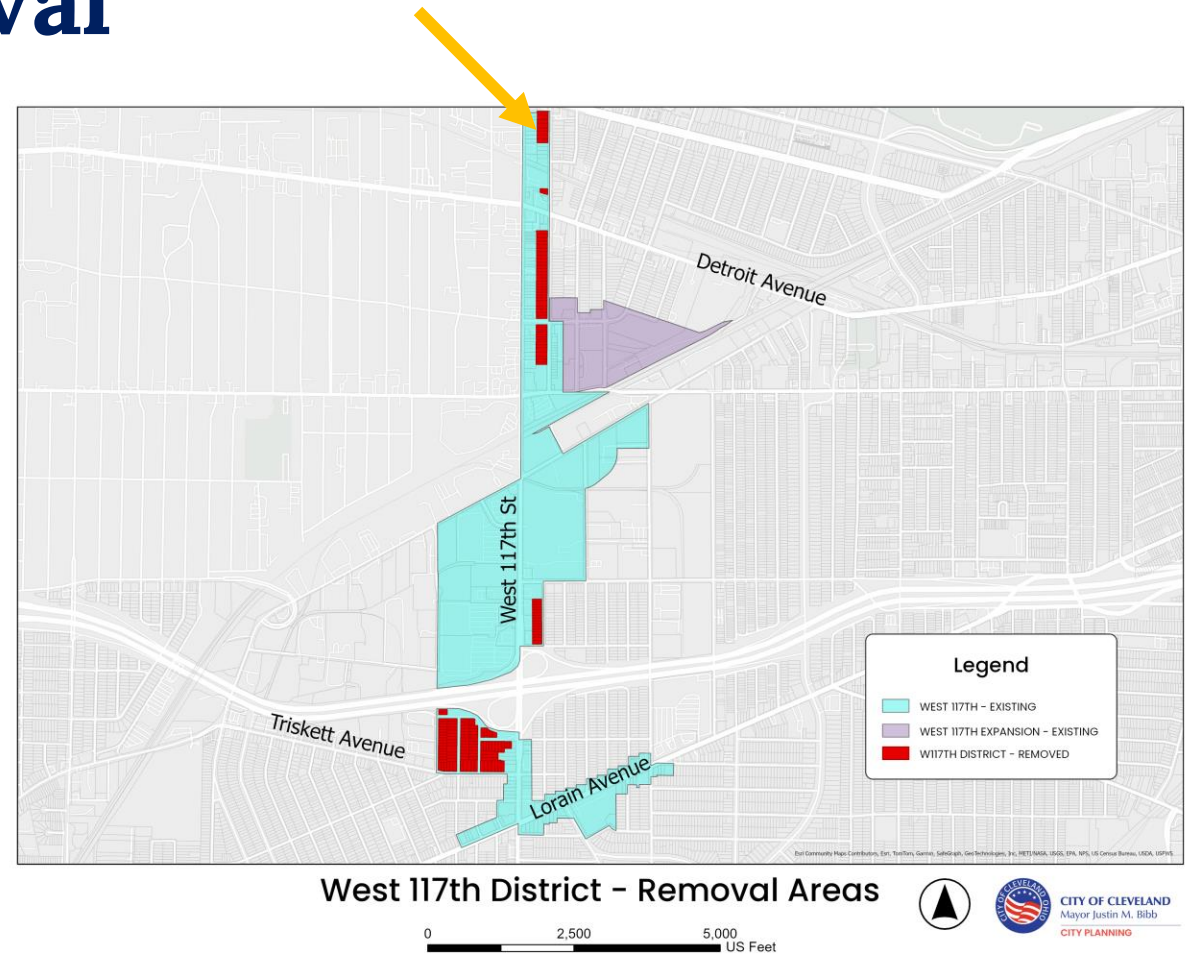
West 116th St – Between Franklin Blvd & Detroit Ave
(2022, Google Earth)



West 117th District - Removal



West 116th St - Between Detroit Ave & Clifton Blvd
(Google Maps)



Context Photos



West 116th St - Between Detroit Ave & Clifton Blvd
(2022, Google Earth)



West 116th St - Between Detroit Ave & Clifton Blvd
(2022, Google Earth)



Context Photos - To remain

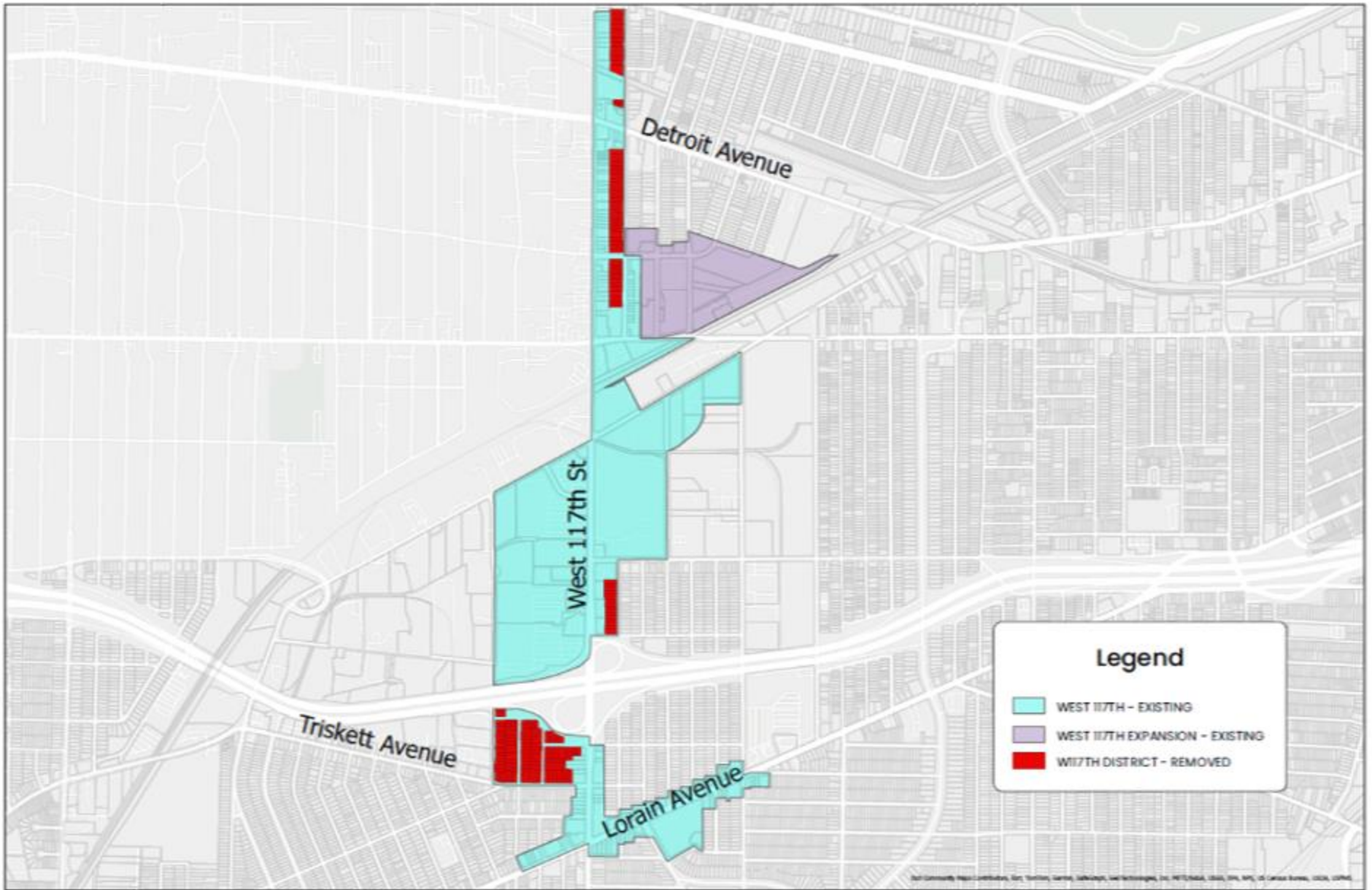


West 116th St - Between Fruitland Ct & Clifton Blvd
(2022, Google Earth)



West 116th St - Between Fruitland Ct & Clifton Blvd
(2022, Google Earth)





West 117th District - Removal Areas



0 2,500 5,000 US Feet



CITY OF CLEVELAND
 Mayor Justin M. Bibb
 CITY PLANNING



To the City Planning Commission,

August 28th, 2024

I hereby give my complete support for the removal of the residential parcels from the W 117th Design Review District.

The placement of these parcels in a commercial overlay district creates an undue hardship when the owners apply for permits for simple home improvements.

It is my opinion as a Councilmember that our residents should not have difficulties obtaining permits to make desired improvements to their properties. I believe the needs of our residents should always come first and City Planning Commission should take whatever steps needed to help move the permitting process forward in an expedient manner. The removal of these parcels from the design review process would certainly help with that effort.

Thank you for the consideration,

Danny Kelly
Councilmember
Ward 11





CITY OF CLEVELAND
Mayor Justin M. Bibb

2024 City of Cleveland

Questions?





CITY OF CLEVELAND
Mayor Justin M. Bibb

2024 City of Cleveland

Map Change 2685



Proposal

To create a new design review district known as “**Lorain Antiques Design Review District**” between West 83rd St and West 61st Pl.

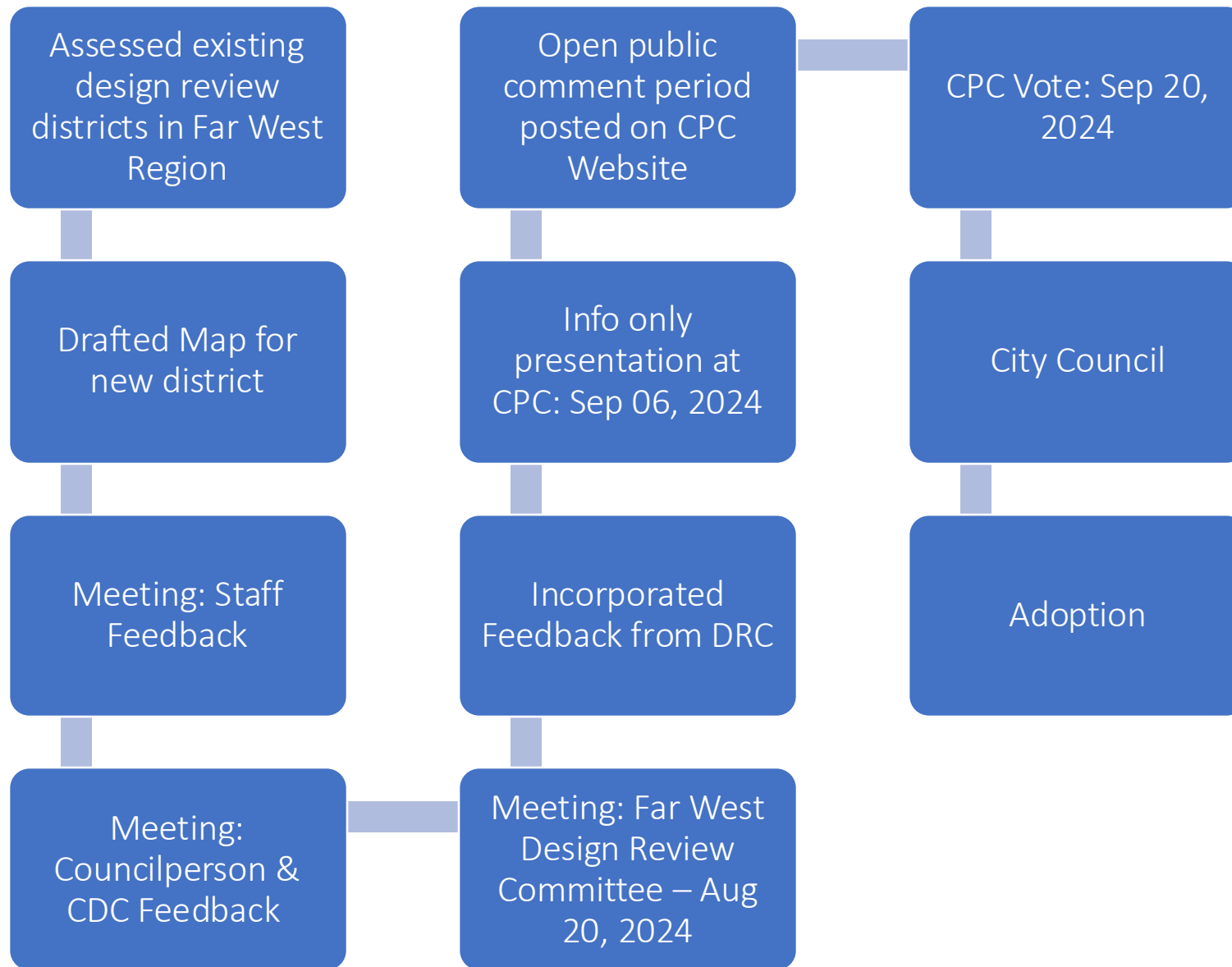
Purpose

To grant oversight to the Far West Design Review & City Planning Commission for all exterior changes and demolitions along our commercial corridors.

To protect and preserve our important urban fabric closest to our transit corridors.

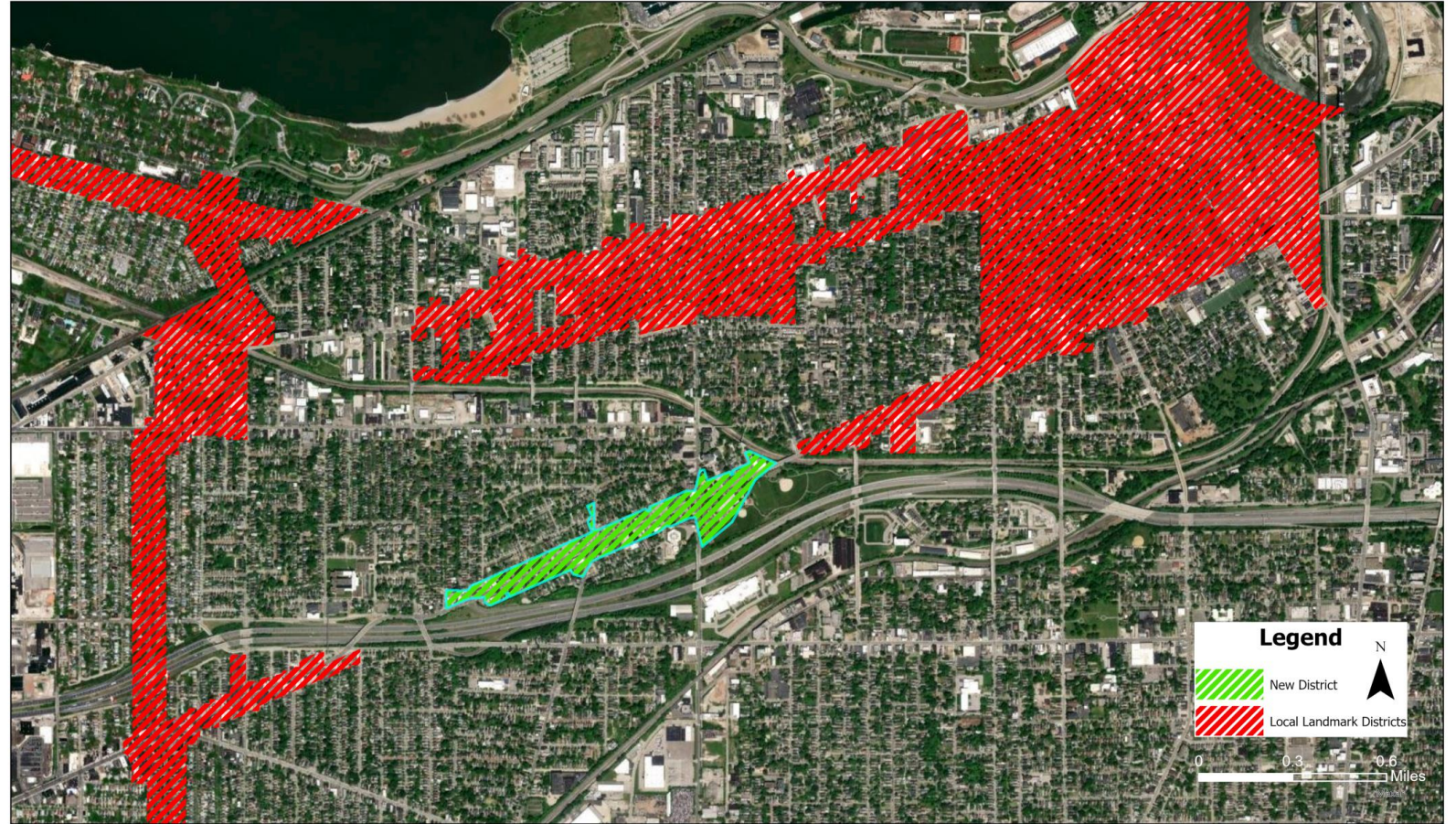


Process



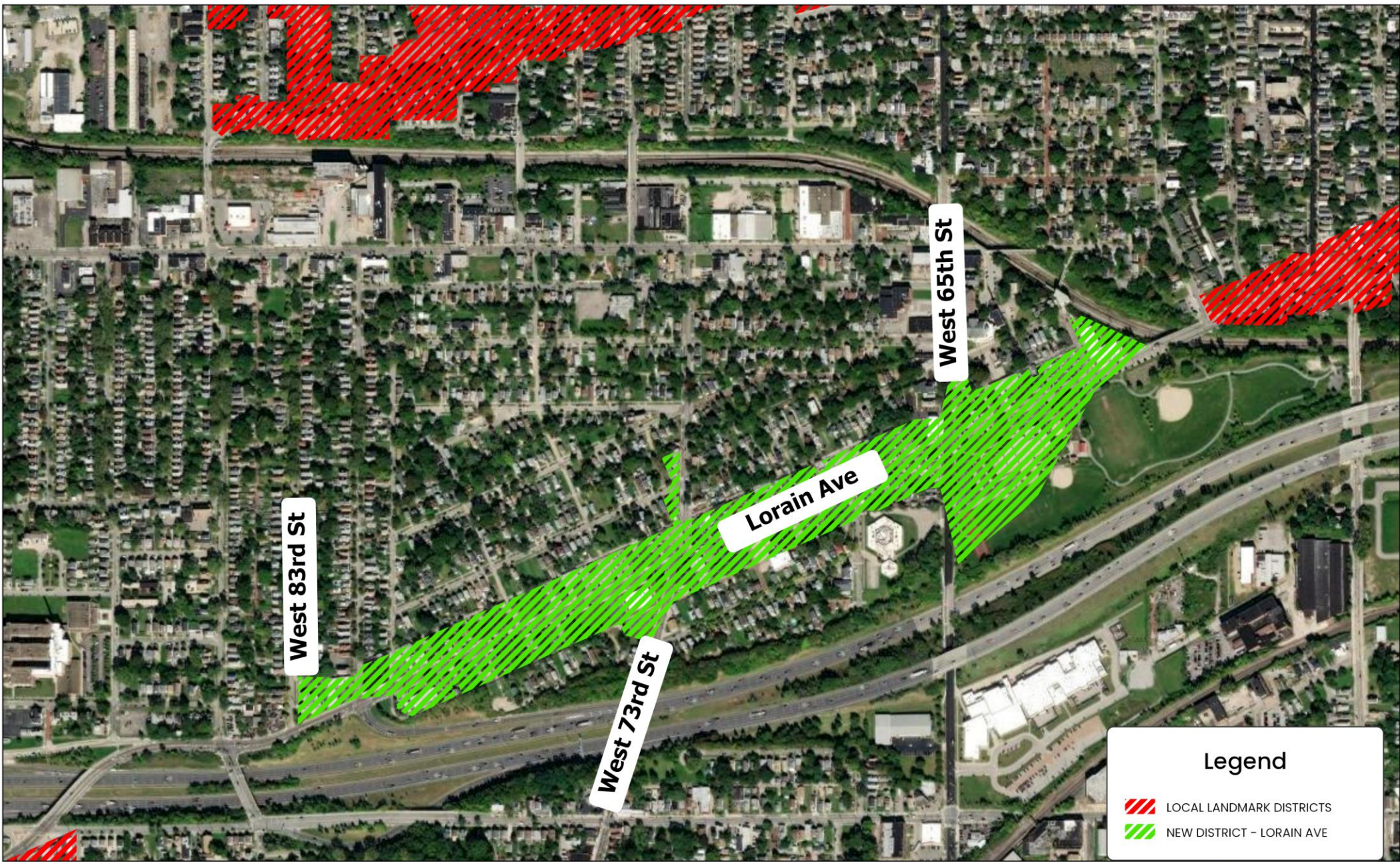
Boundaries

Bounded by the western edge of West 83rd St and the eastern edge of West 61st Place



Design Review – Lorain Avenue New District





Design Review - Lorain Antiques District



Google Earth



Context Photos

1



West 83rd St & Lorain – Looking North
2024 Street View (Google Maps)

2



West 80th St & Lorain – Looking East
2022 Street View (Google Maps)



Context Photos

3



Century Antiques – Looking West
2014 Street View (Google Maps)

3



Century Antiques – Looking West
2022 Street View (Google Maps)



Context Photos

4



West 73rd St & Lorain Avenue –
Looking South
2022 Street View (Google Maps)

5



West 73rd St & Lorain Avenue –
Looking South
2022 Street View (Google Maps)



Context Photos

6



USPS Post Office – Looking North
2022 Street View (Google Maps)

7



West 65th St & Lorain Avenue –
Looking North
2024 Street View (Google Maps)



Context Photos

8



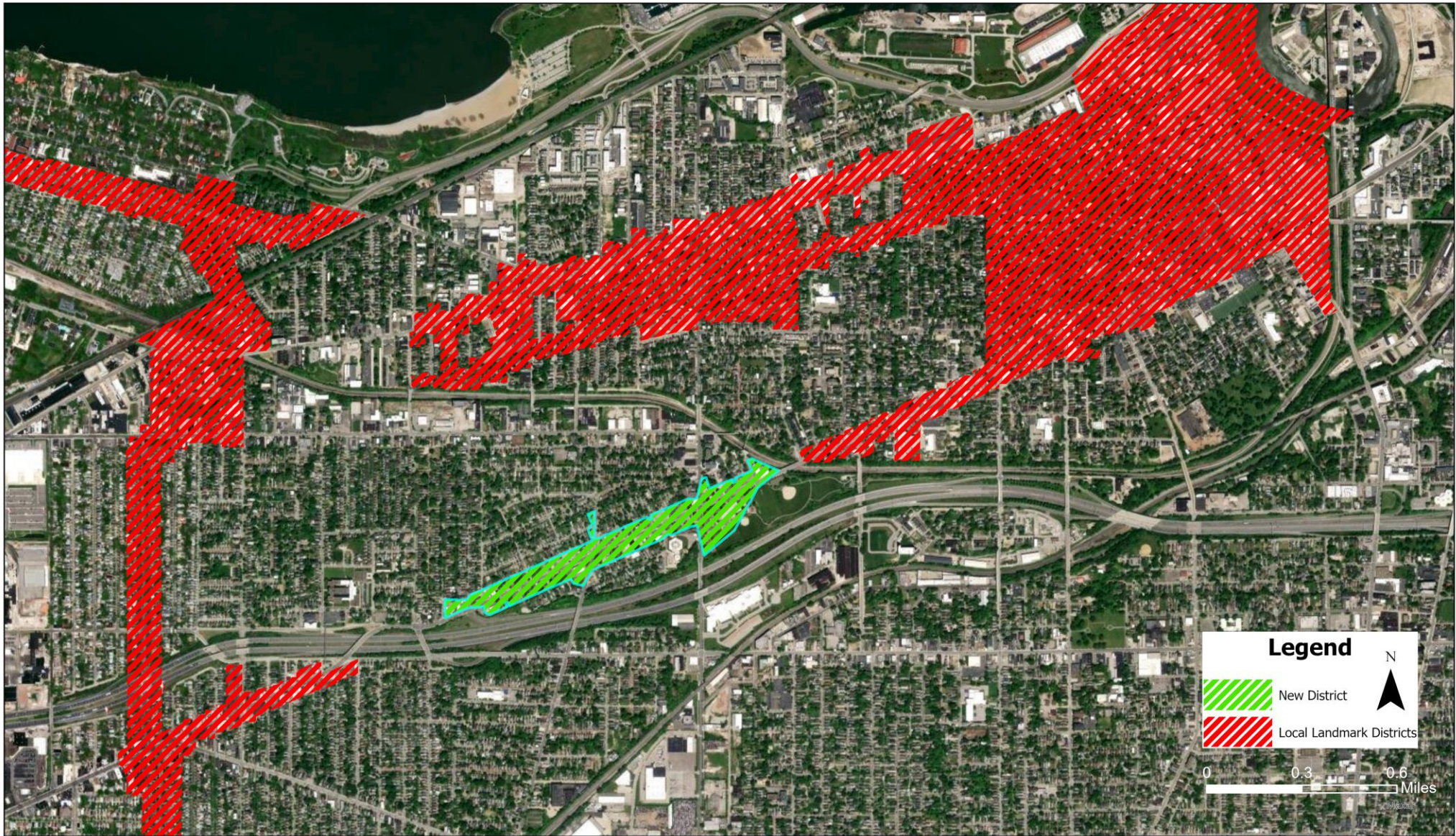
Zone Recreation Center, Lorain Avenue –
Looking South
2022 Street View (Google Maps)

9



West 61st Pl & Lorain Avenue –
Looking North
2024 Street View (Google Maps)





Design Review - Lorain Avenue New District



CITY OF CLEVELAND
Mayor Justin M. Bibb
CITY PLANNING



Jenny Spencer COUNCIL MEMBER, WARD 15

COMMITTEES: Utilities - Vice Chair • Development, Planning & Sustainability • Finance, Diversity, Equity & Inclusion
Workforce, Education, Training & Youth Development

September 4, 2024

Re: **Expansion of West 117th Street Design Review District (Map Change 2683)**
Creation of new Lorain Avenue Design Review District (Map Change 2685)

Dear Director Huang and members of the Cleveland City Planning Commission,

I wish to officially go on record and express my enthusiastic support for Map Change 2683 and Map Change 2685. City Planning staff members took the initiative with these map changes, and I could not be more grateful for their hard work which will pay dividends for these important commercial corridors.

Map Change 2683 seeks to expand the existing West 117th Street Design Review District to cover a longer stretch of Detroit Avenue. The expanded district will provide protections for existing structures that contribute to Detroit Avenue's unique urban fabric, and will make redevelopment plans for the area more cohesive overall.

Map Change 2685 is long overdue. The area of Lorain Avenue known as the "Lorain Avenue Antiques District" has suffered unnecessary demolitions and lack of oversight, and has lost aspects of its unique and historic character over time. This new design review district will set the stage for more coordinated and aspirational revitalization efforts, as well as offer badly needed protections for existing structures.

Once again, I would sincerely like to thank Planning staff - specifically, Nate Lull, Adam Davenport, and Xavier Bay - for identifying the need for these map changes and for bringing these important proposals forward to the Cleveland City Planning Commission. The proposed design review district expansions give me renewed optimism for our neighborhoods' futures and I offer my unequivocal support.

Please do not hesitate to contact me with questions at (216) 857-3267.

Best regards,

Jenny Spencer
Ward 15 Council Member

Cc: Shannan Leonard, Adam Davenport, Nate Lull, Xavier Bay

City Hall 601 Lakeside Avenue N.E., Room 220, Cleveland, OH 44114 • Phone (216) 664-4235 • Fax (216) 664-3837





CITY OF CLEVELAND
Mayor Justin M. Bibb

2024 City of Cleveland

Questions?



Cleveland City Planning Commission

Mandatory Referrals



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Mandatory Referrals

Ordinance No. 831-2024

Introduced by Councilmembers McCormack, Bishop and Hairston- by departmental request.

Sept 6, 2024

Declaring the intent to vacate a portion of West 48th Street S.W. and Ravine Court S.W.

Ordinance No. 814-2024

Introduced by Councilmembers Spencer, Bishop and Hairston- by departmental request.

Sept 6, 2024

Authorizing the Director of Capital Projects to issue a permit to Depot on Detroit L.P. to encroach into public right of way on Detroit Avenue by installing , using and maintaining a concrete stairway.

Mandatory Referrals

Ordinance No 815-2024

Introduced by Council Members McCormack, Bishop and Hairston – by departmental request

Sept 6, 2024

Authorizing the Director of Capital Projects to issue a permit to Flats South Cleveland LLC to encroach into the public right-of-way of West 4th Street by installing, using and maintaining a wooden stairway and wooden ADA accessible ramp with metal guardrails and handrails.

Cleveland City Planning Commission

Administrative Approvals



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Ordinance No 838-2024

Introduced by Council Member Bishop and Griffin – by departmental request

Sept 6, 2024

Authorizing the Directors of Public Works and Capital Projects to convey and grant various easements to the Ohio Department of Transportation at the City-owned property within the Garfield Park Reservation in the City of Garfield Heights for the purpose of replacing the Broadway Avenue / SR-14 Bridge; and declaring the easement rights no longer needed for the City's public use.

Administrative Approvals

Ordinance No 809-2024

Introduced by Council Members McCormack, Bishop, Hairston and Griffin
– by departmental request

Sept 6, 2024

To change the name of a portion of West Roadway to Sherwin Way.

Cleveland City Planning Commission

Director's Report



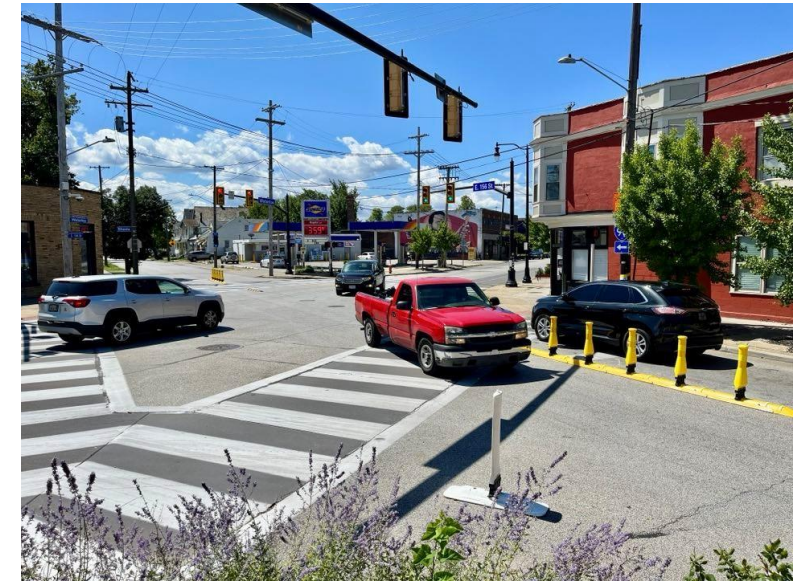
CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024

Streets and Infrastructure

- **W. 29th Street open street photos**
- **City Hall hosted a protected bike lane workshop**
- **Mobile parking expansion:**
<http://www.clevelandohio.gov/streetparking>

Sept 6, 2024



On-Call Planning Services

- **E. 55th Street Corridor Safety Study**
- **E. 22nd Street Public Art Process (ODOT CCG3A project)**
- **Old River Road streetscape concept**

Sept 6, 2024

In the News

- [Cleveland Moves, City's Effort to Improve Bike and Pedestrian Infrastructure, Hits the Streets for Public Feedback](#) (*Cleveland Scene*)
 - [City of Cleveland installs bike lane safety barriers on portion of Detroit Avenue](#) (*WKYC*)
 - [Cleveland Unveils Latest Lakefront Master Plan, Calls for Major Shoreway Overhaul With or Without Browns](#) (*Cleveland Scene*)
 - [Five takeaways from the latest Cleveland lakefront plan](#) (*Crain's Cleveland*)
 - ['Lakefront plan' becoming 'lakefront project'](#) (*NeoTrans*)
 - [Lakefront development nonprofit hires director of project management](#) (*Crain's Cleveland*)
 - [West 29th Street in Cleveland closes for two weeks to expand pedestrian space, host free events](#) (*Cleveland.com*)
-

Cleveland City Planning Commission

Adjournment



CITY OF CLEVELAND
Mayor Justin M. Bibb

Sept 6, 2024