



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

Friday, May 17, 2024

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator



Cleveland City Planning Commission

Preamble

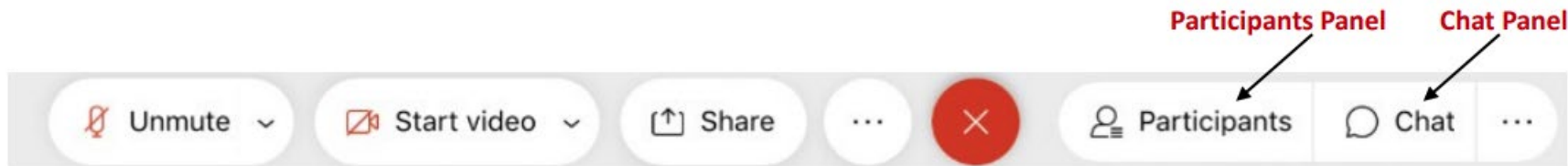
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. RECUSALS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



May 17, 2024

Cleveland City Planning Commission

P r e a m b l e

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER SUBMITTED THROUGH PROPER CHANNELS HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.

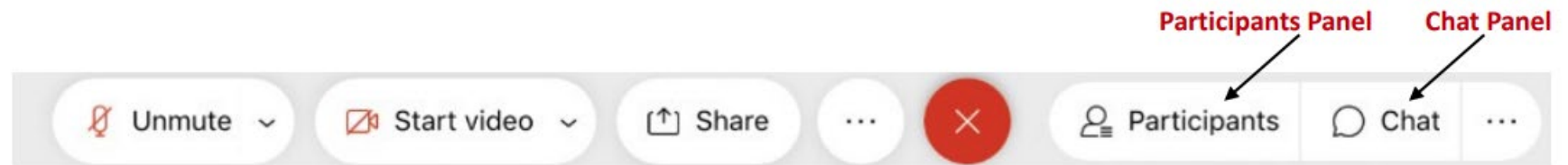
PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

COMMUNICATION WITH MEMBERS OF THIS BODY MUST FOLLOW PROPER CHANNELS FOR CONSIDERATION.

ANY COMMENTS RECEIVED BY THE **WEDNESDAY 12:00 PM** DEADLINE ARE COLLECTED BY CITY PLANNING STAFF AND DISSEMINATED TO THE COMMISSION MEMBERS PRIOR TO ANY SCHEDULED MEETING.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



May 17, 2024

Cleveland City Planning Commission

Meeting Rules and Procedures

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission, in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Committee recommendations and any public comments received.
- The deadline for public comments is noon on the Wednesday prior to any regularly scheduled City Planning Commission meeting and will be read into the record. Any comments received by the deadline are distributed to Commission members prior to the meeting through Dropbox. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

Cleveland City Planning Commission

Call to Order and Roll Call



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Cleveland City Planning Commission

Conditional Use Permit – Wireless Communication Facility



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Conditional Use Permit – Wireless Communication Facility

For PPN# 124-08-012

May 17, 2024

Address: 7289 Platt Avenue

Per §354.04 of the Cleveland Codified Ordinances

Conditional Use for Wireless Telecommunication Facility

7289 Platt Avenue

City Planning Commission Hearing

May 17, 2024

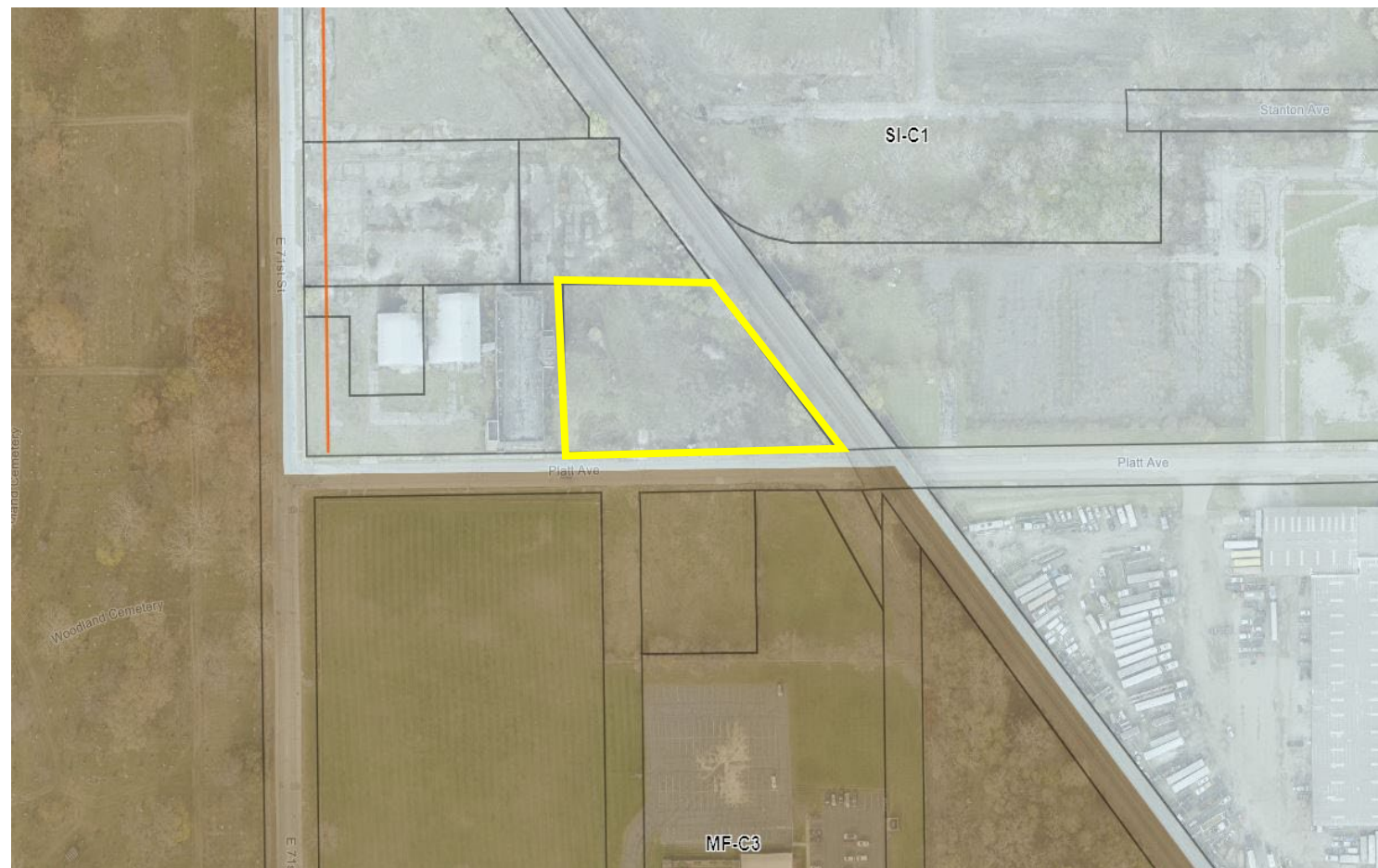


CITY OF CLEVELAND
Mayor Justin M. Bibb

CITY PLANNING COMMISSION

Proposal

Application to erect a new 185 ft high telecommunications tower, and install equipment cabinets and meter board with 4-gang meter bank + diesel generator in a Semi-Industrial, 35 ft Height District adjacent to Multi-Family Residential.



Site Location



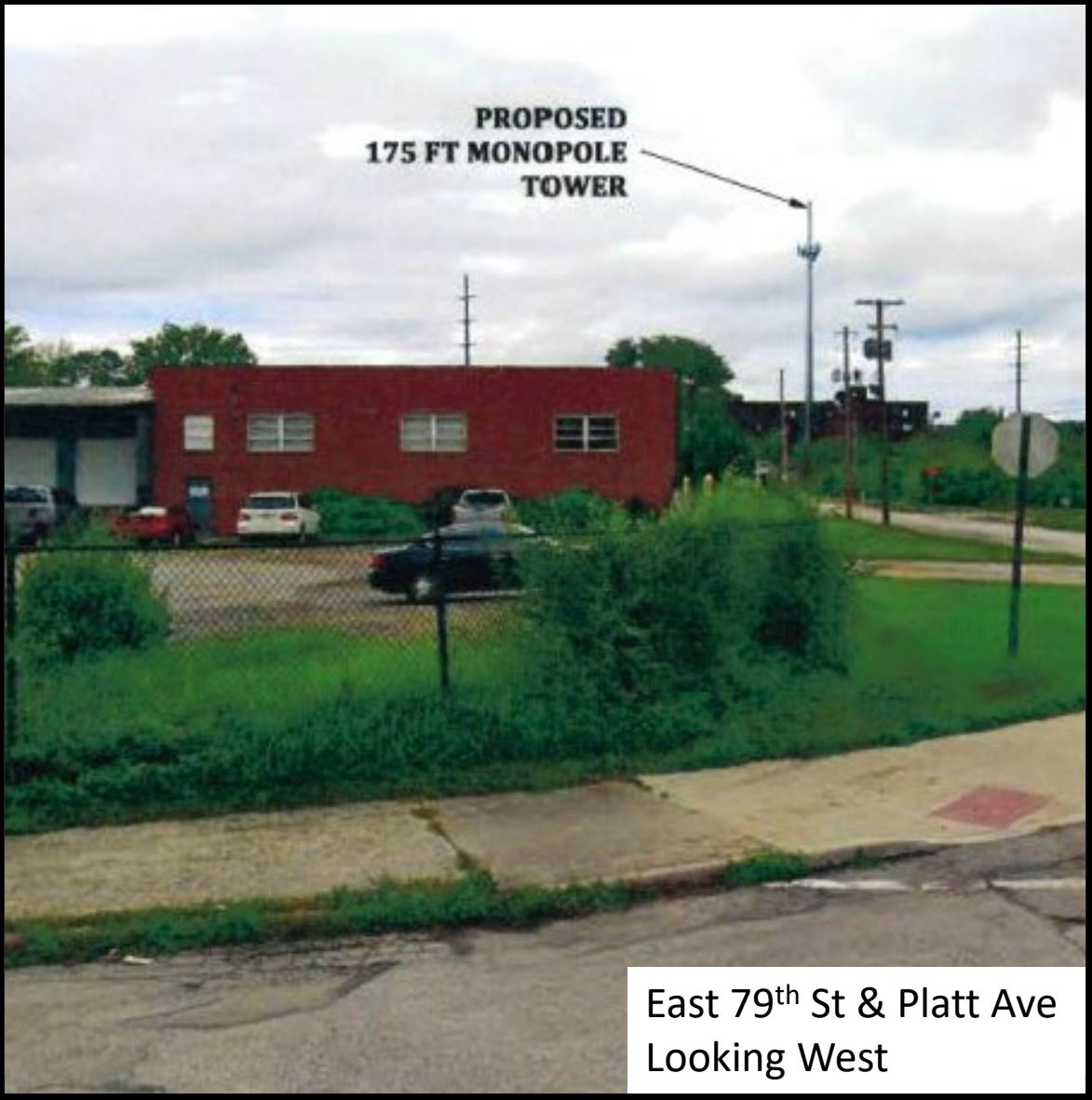
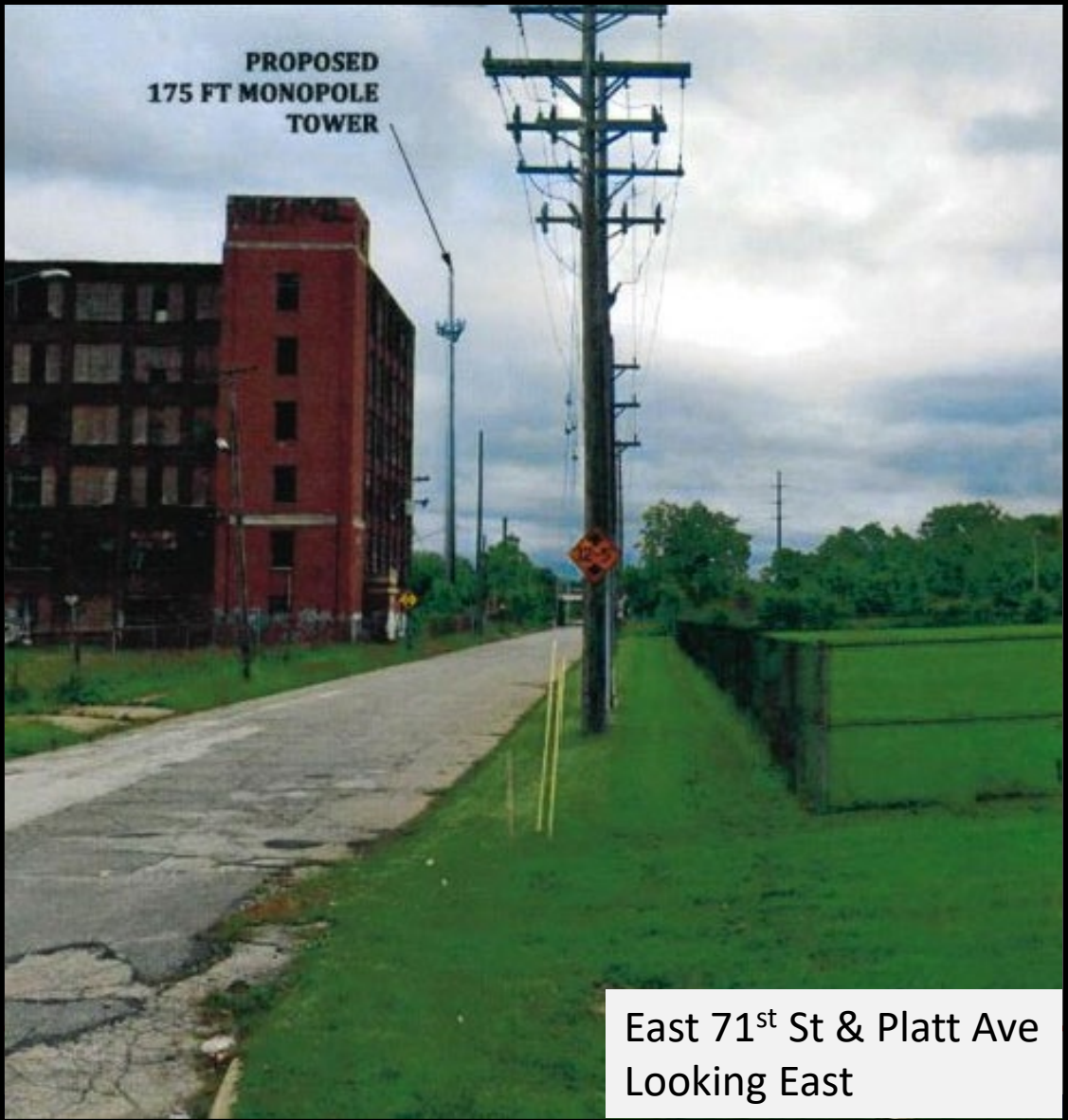
Existing Conditions-Platt Ave

Platt Ave
Looking East



Platt Ave
Looking West



Proposal



Conditions

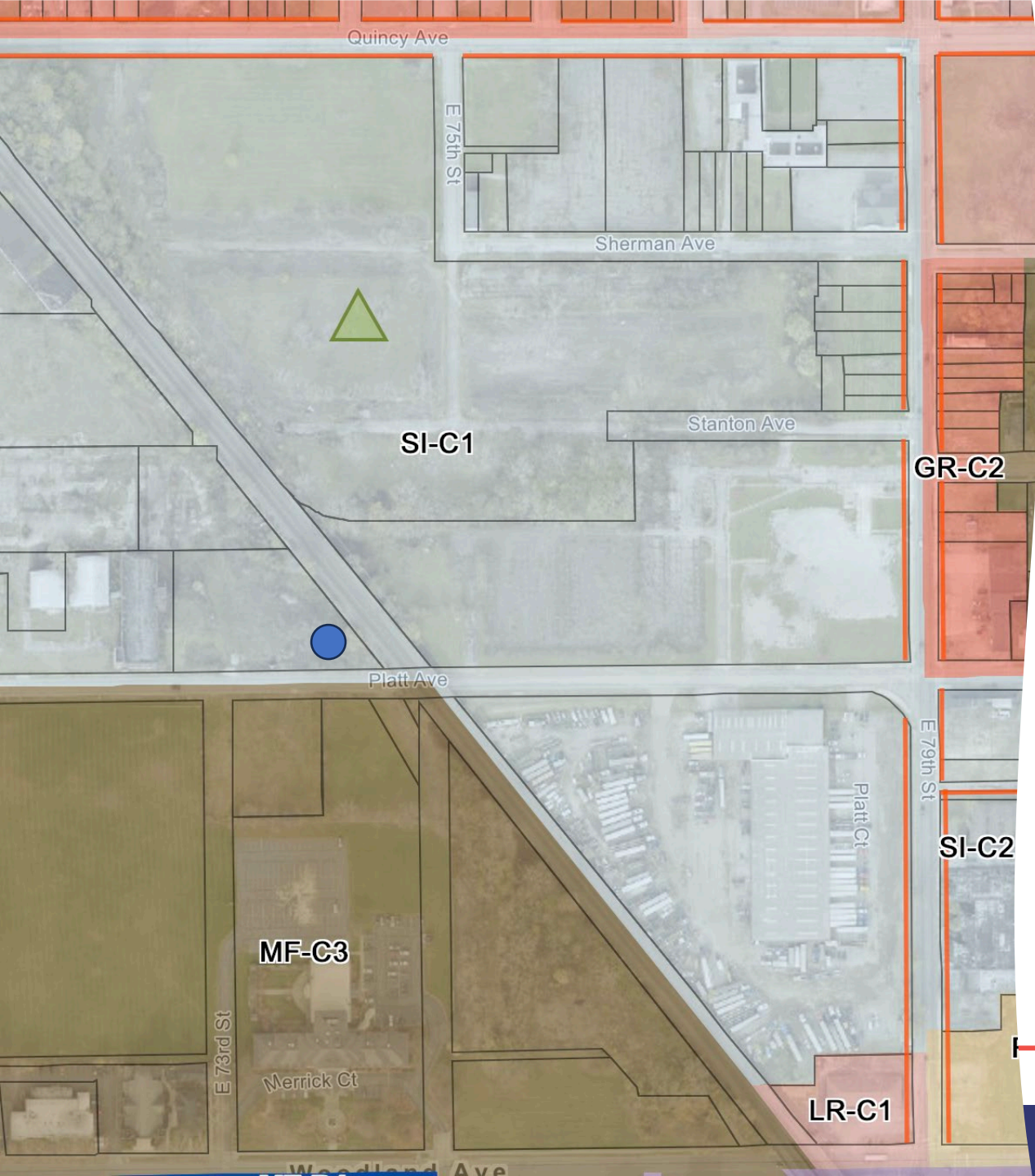
	Cleveland Zoning Code	Zoning Code Provisions	3269 West 17th Street
Location	§354.06(a)	A telecommunications tower shall be located in only the following zoning districts: General Retail, Shopping Center, Semi-Industry, General Industry & Unrestricted Industry. No telecommunications tower shall be located in a Landmark District or public park.	Located in SI-C1 District
Setback from Residential or Landmark District	354.06(b)	No portion of a telecommunications tower subject to the regulations of Chapter 354 shall be located closer to a Residential District line or Landmark District line than a distance equal to three (3) times the height of the tower.	X- Proposing to erect a 185 ft high telecommunications tower. Proposal is adjacent to a multi-family residential district 46 ft away.
Height	§354.06(h)	A telecommunications tower may exceed the height limit established on the zoning map for the subject property if the tower meets all other regulations of Chapter 354.	X-Proposed Tower (as is & with proposal) does not meet all the requirements of Chapter 354. Height exceeds the 35' maximum height district.

Conditions

<p>Aesthetic Design</p>	<p>§354.07 (c)</p>	<p>Aesthetic Design: Telecommunications towers shall be designed in a manner that makes them as unobtrusive as possible, while meeting safety requirements. To this end, tower design shall be monopole rather than lattice, wherever feasible. With respect to colors, towers - if painted - shall be light gray or off-white in order to blend in with the sky and clouds, unless other colors are required by federal regulations or the provisions of Chapter 633 of CC Ordinances. Unless another color is approved by CPC as being more effective in a particular instance. The City Planning Commission shall work with applicants to identify any other design techniques that can be used in reducing the visual prominence of telecommunications towers.</p>	
<p>Signs</p>	<p>§354.07(d)</p>	<p>No signs shall be located on or around a telecommunications tower except for necessary warning signs located at or near the ground level.</p>	<p>No Signage proposed</p>
<p>Security Fence</p>	<p>§354.09(a)</p>	<p>The base of any ground-mounted telecommunications tower shall be completely enclosed by a fence or wall not less than six (6) feet and not more than eight (8) feet in height. Such fence or wall shall be setback at least 10 feet from all property lines. Any fence or wall located within twenty-five feet of a street right-of-way shall be either wrought-iron style or black vinyl coated chain link fence or decorative masonry wall.</p>	<p>Need to provide distance from ROW; Proposing black vinyl coated chain link security fence 7 feet in height greater than 10 feet from property line.</p>
<p>Landscaping</p>	<p>§354.09(b) & (c)</p>	<p>Landscape strip shall be a minimum of ten (10) feet in width and shall be placed along the outside of the entire perimeter of the security. The CPC may vary the landscape requirements in order to address particular site conditions</p>	

Conditions

- Was there a reasonable attempt to co-locate or find a more suitable location with less variance requests? (per §354.05)



Conditions

Does the erection of the new 185 ft tower meet all applicable standards in §354 and is the design appropriate and compatible with surrounding uses?



Cleveland East

Northstar Towers II, LLC

Permit application B24009530
Site Address: 7289 Platt Avenue, Cleveland, OH 44104

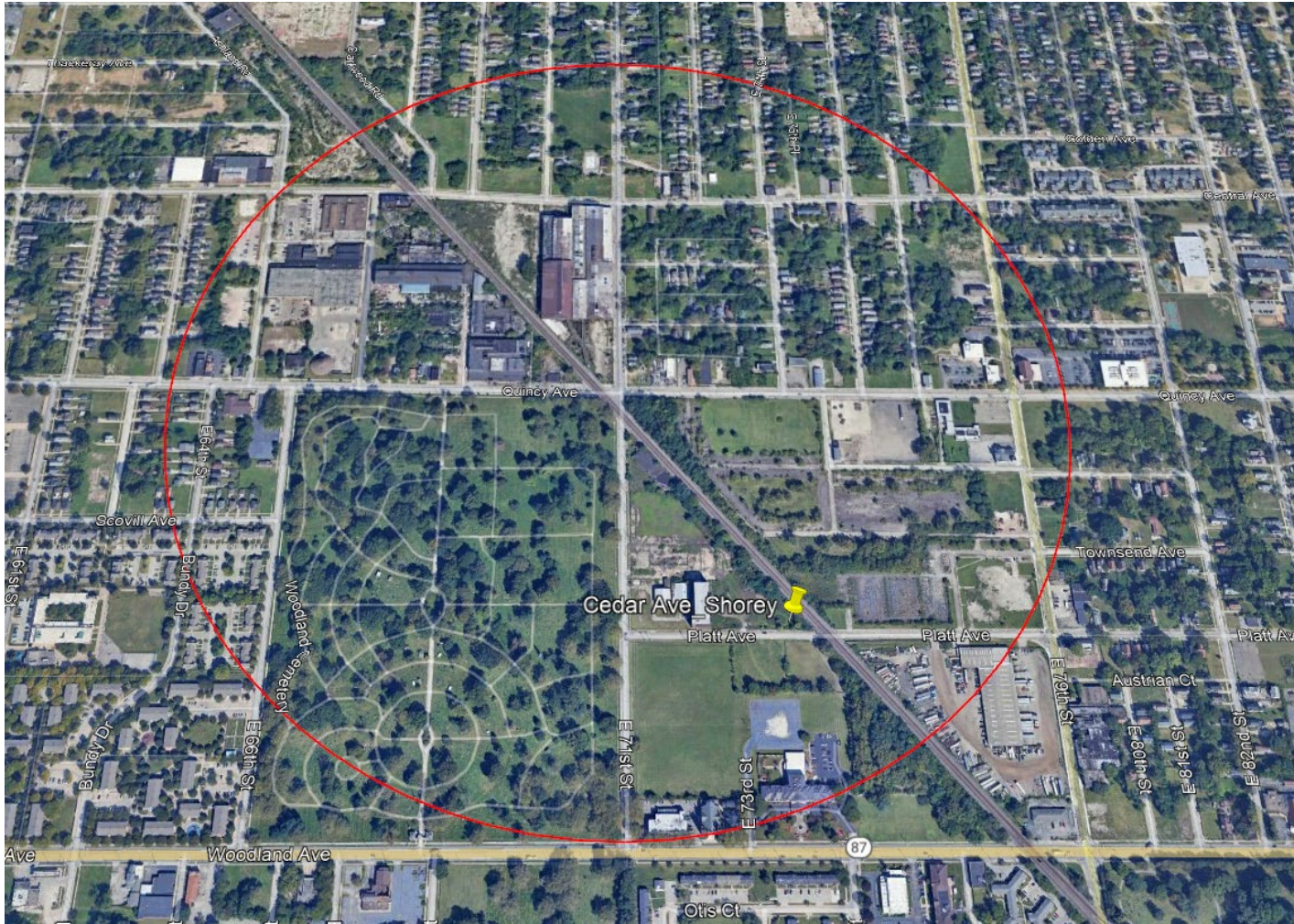
Central Southeast Design Review Committee

May 14, 2024

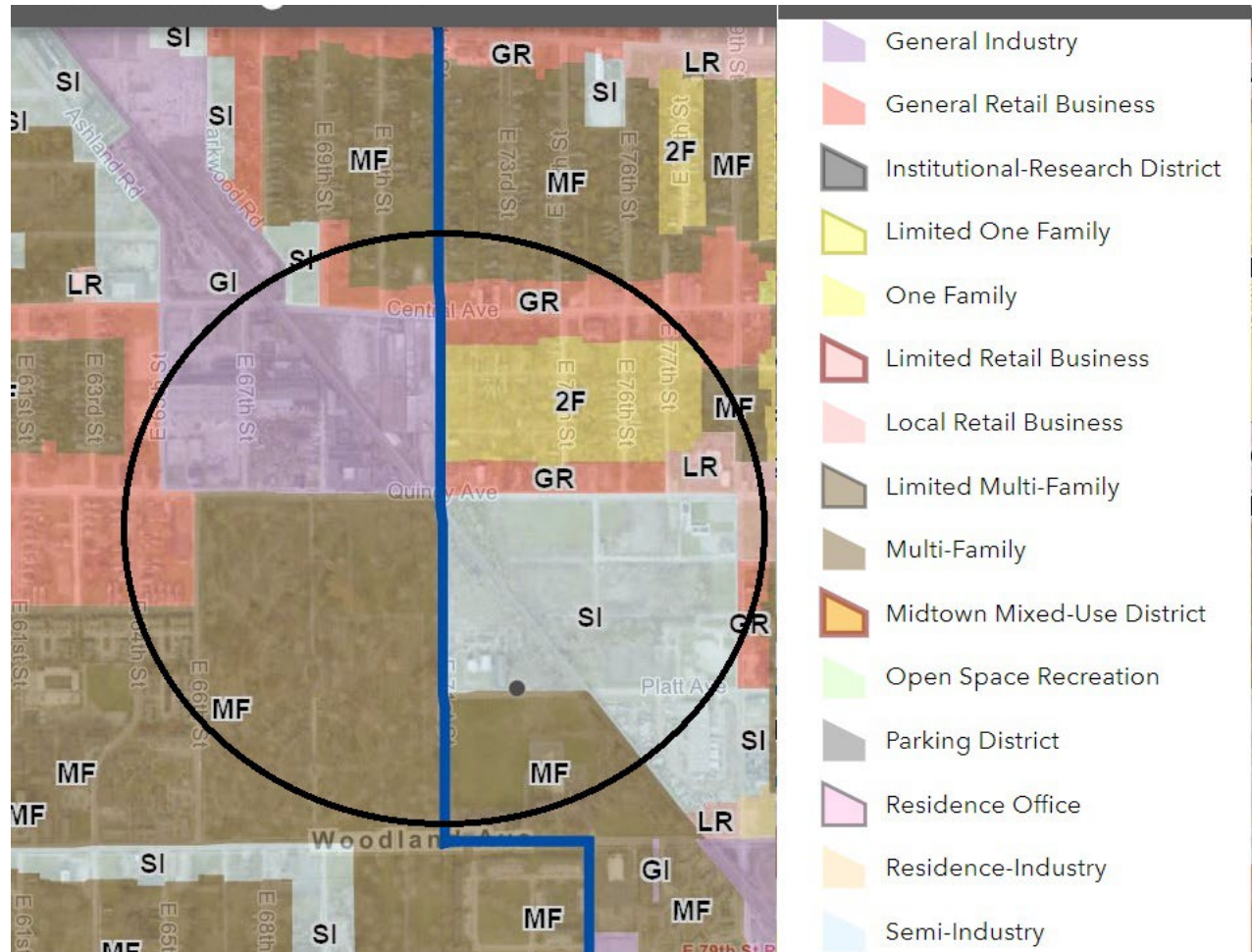
Cleveland Planning Commission

May 17, 2024

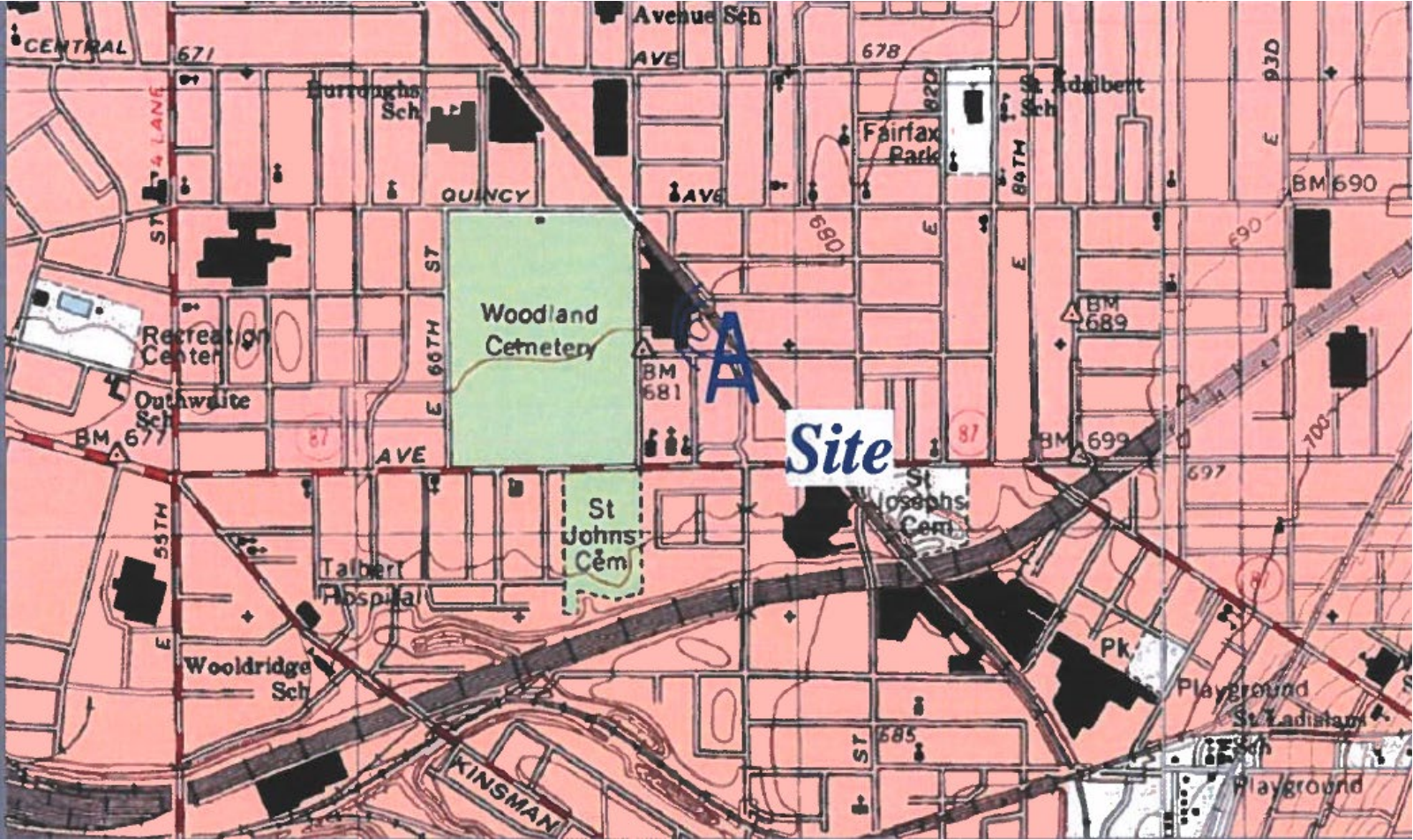
RF Search Area Map



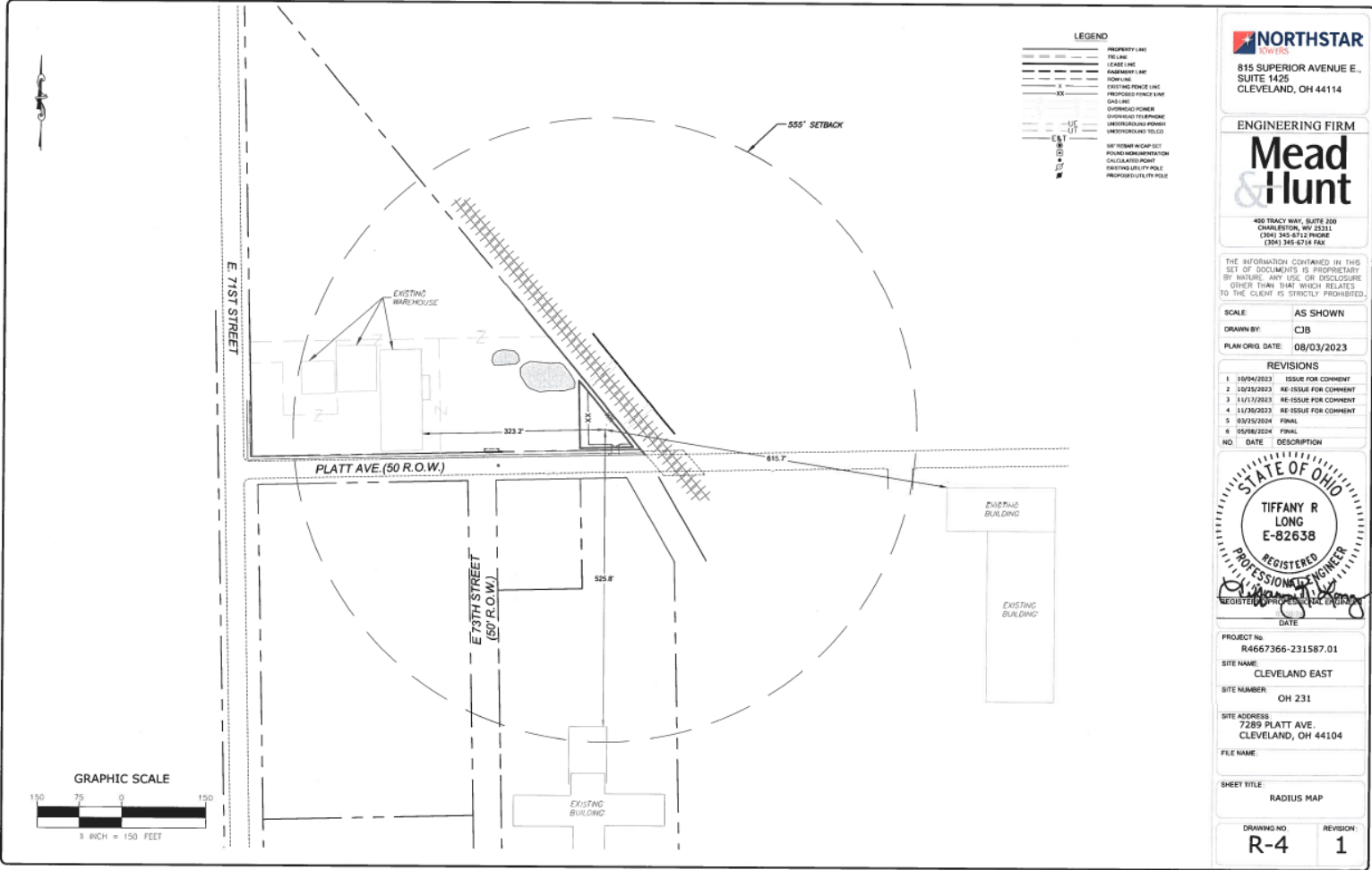
Area Zoning



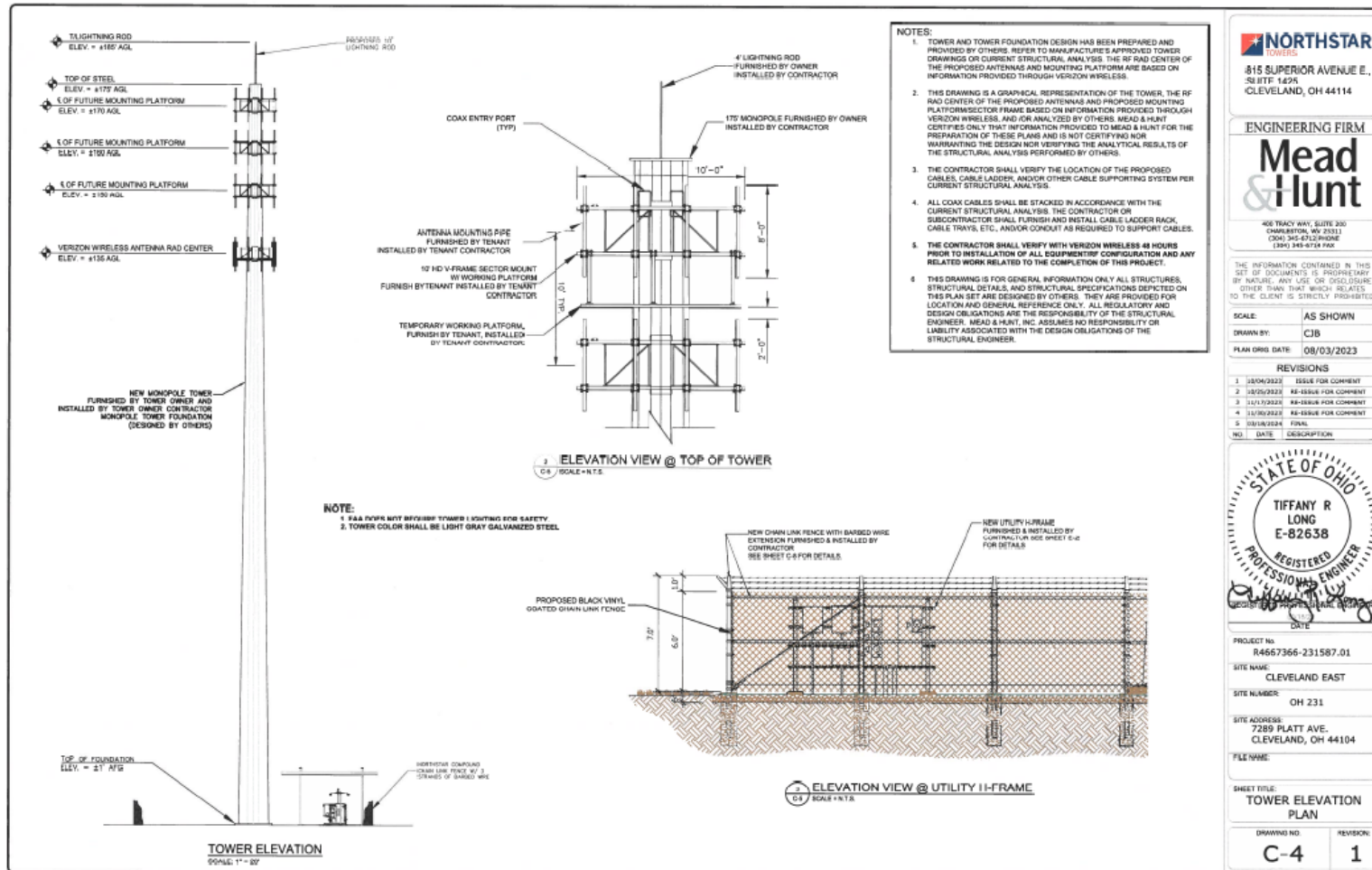
Vicinity Map



Land Uses Within 555'



Tower Elevation



NORTHSTAR TOWERS
815 SUPERIOR AVENUE E., SUITE 142N
CLEVELAND, OH 44114

ENGINEERING FIRM
Mead & Hunt

405 TRACY WAY, SUITE 200
COLUMBIANA, OH 43011
(304) 345-4710
(304) 345-8710 FAX

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY OF MEAD & HUNT. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

SCALE: AS SHOWN
DRAWN BY: CJB
PLAN ORG DATE: 08/03/2023

REVISIONS

NO.	DATE	DESCRIPTION
1	10/04/2022	ISSUE FOR COMMENT
2	10/25/2022	RE-ISSUE FOR COMMENT
3	11/17/2022	RE-ISSUE FOR COMMENT
4	11/30/2022	RE-ISSUE FOR COMMENT
5	10/10/2024	FINAL

STATE OF OHIO
TIFFANY R LONG
E-82638
REGISTERED PROFESSIONAL ENGINEER

PROJECT NO: R4667366-231587.01
SITE NAME: CLEVELAND EAST
SITE NUMBER: OH 231
SITE ADDRESS: 7285 PLATT AVE, CLEVELAND, OH 44104
FILE NAME:

SHEET TITLE: TOWER ELEVATION PLAN

DRAWING NO: C-4
REVISION: 1

Photographic Simulation



Photographic Simulation



Photographic Simulation



Photographic Simulation



Cleveland City Planning Commission

Lot Consolidations/Splits



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Lot Consolidations/Splits

For PPN# 002-08-074

May 17, 2024

Address: 1268 West 67th Street

Representative: Dominic Roberts, Property Owner



- Project received final approval for CONDITIONAL USE: TOWNHOUSE IN TWO-FAMILY DISTRICT from CPC on 1/5/2024
- Two, fee simple townhomes
- Declaration of covenants, conditions, restrictions, and easements., UB Greensfelder LLP
- Each unit will be responsible for their own trash receptacles (provided by City of Cleveland)
- Each townhome will have primary suites on both first and second levels (suitable for one-level living)



Ronald Zitello
Memorial
Garden

1268 W 67th

W 69th St

W 67th St

W 67th St

W 67th St

th St

W 65th St

W 65th St

Herman Ave

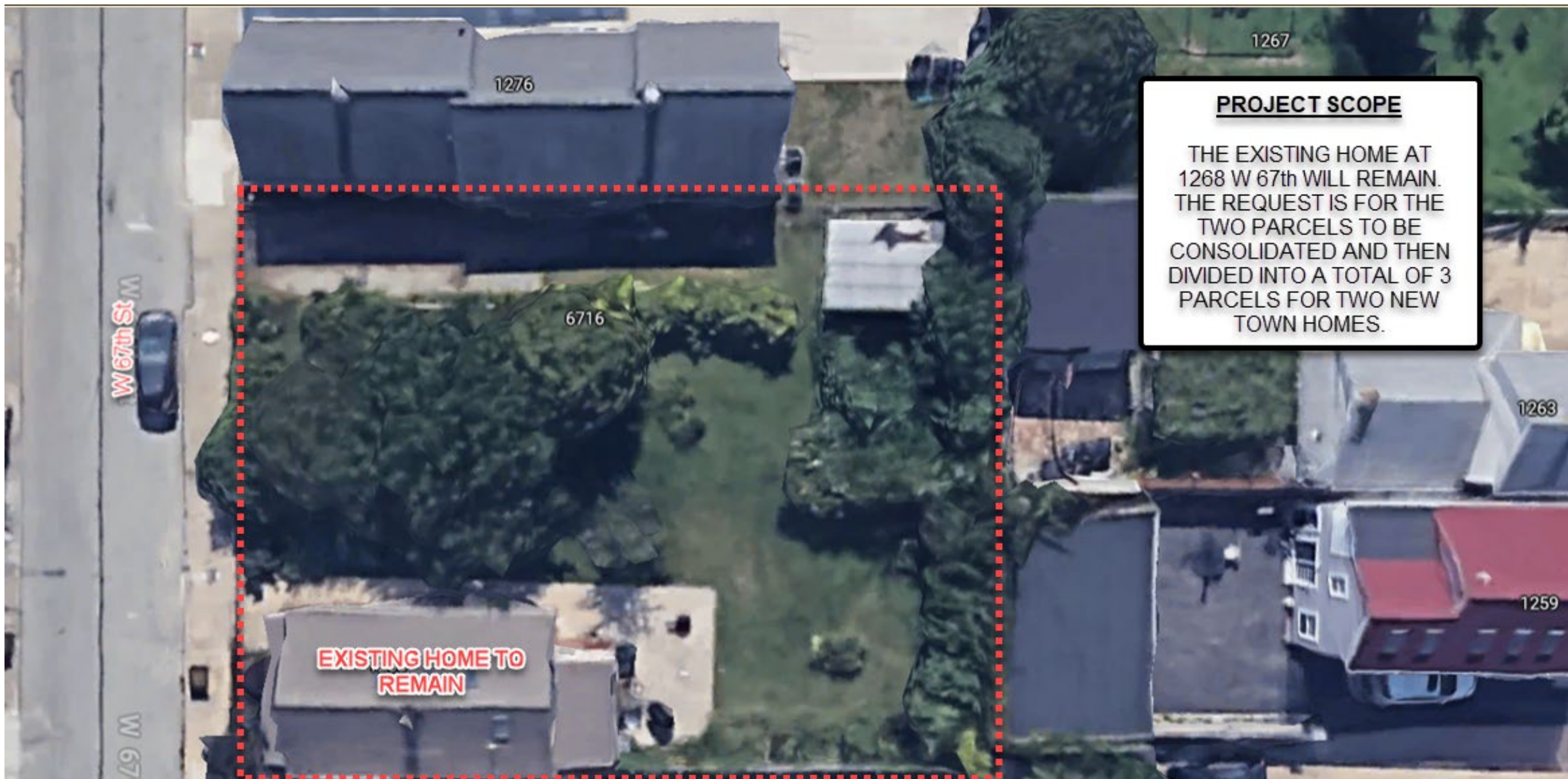
LAND Energy -
LAND Moto
Motorcycle dealer

Stay

Il Rione
Pizza • \$\$

Stone Mad Pub

Neighborhood
Veterans Club



PROJECT SCOPE

THE EXISTING HOME AT 1268 W 67th WILL REMAIN. THE REQUEST IS FOR THE TWO PARCELS TO BE CONSOLIDATED AND THEN DIVIDED INTO A TOTAL OF 3 PARCELS FOR TWO NEW TOWN HOMES.



Lot Split and Consolidation
of Sublots 45 & 46 in Oliver Alger's Subdivision of part of Original Brooklyn Township Lot No. 31
Recorded in Plat Volume 12, Page 36 of Cuyahoga County Plat Records
and being in the City of Cleveland & State of Ohio

Owners Acceptance
I, the undersigned owner of the land shown hereon, do hereby accept this plat of lot split and consolidation.

Owner's Signature _____ Date _____

Printed Name _____

Notary
County of Cuyahoga
State of Ohio) SS

Before me, a notary public in and for said county and state, personally appeared the above named owner who acknowledged that she did sign the foregoing instrument and that it was her own free act and deed. In witness whereof I have hereunto set my hand and official seal at _____ Ohio this _____ day of 2024.

Notary Public _____ My Commission Expires _____

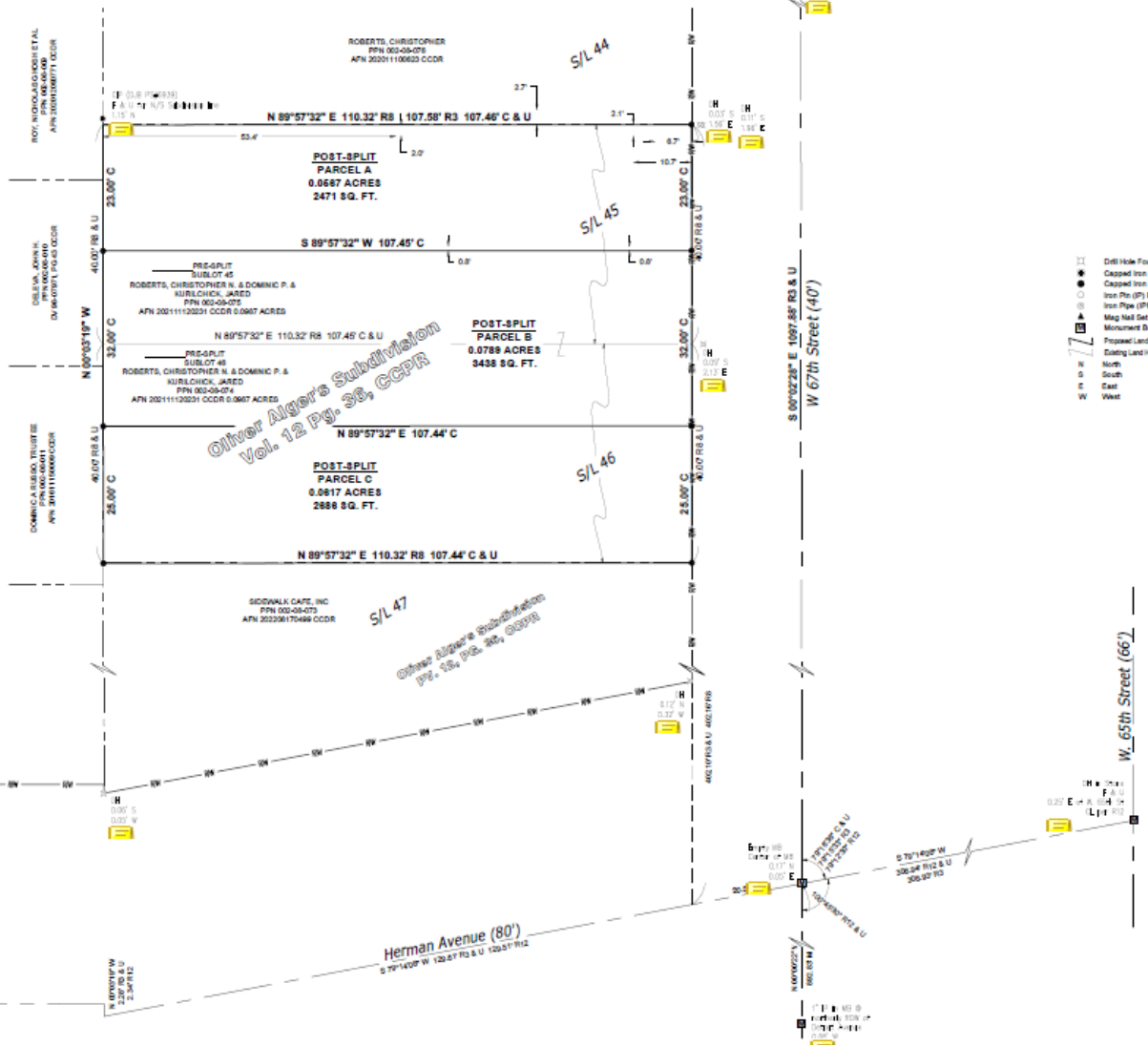
Approve

This plat of lot split and consolidation is accepted & approved by the Planning Director of the City of Cleveland, Ohio this _____ day of _____, 2024.

Joyce Pan-Huang - Planning Director

This plat of lot split and consolidation is accepted & approved by the Planning Commissioner of the City of Cleveland, Ohio this _____ day of _____, 2024.

Richard Szalski - Planning Commissioner



Survey Legend

⊠	Drill Hole Found	M	Measured
●	Capped Iron Pin (CIP) Found	F	Found
○	Capped Iron Pin (CIP) Set	U	Used
○	Iron Pin (IP) Found as Described	R	Record
○	Iron Pin (IP) Found as Described	P	Per
○	Mag Nail Set with ID Washer	C	Calculated
○	Monument Box (MB) Found as Described	D	Deed
○	Proposed Land Hook	CCDR	Cuyahoga County Deed Records
○	Existing Land Hook	CCPR	Cuyahoga County Plat Records
N	North	PPN	Permanent Parcel Number
S	South	— — — — —	Centerline
E	East	- - - - -	Right of Way (ROW) Line
W	West	- - - - -	Record Property Line
		- - - - -	Subject Property Line

Surveyor's Notes & Basis of Bearings:
This map was prepared without the benefit of a Title Report and is not intended to reflect all easements, encumbrances, or other items affecting the site in the property shown hereon.
The basis of bearings for this survey, as shown, is the centerline of W. 67th Street, based on monumentation found, and is to an assumed meridian used to decide angles only. Distances are in feet and decimal parts thereof. Unless shown otherwise, measurements to monuments found are rectangular measurements from property lines, right-of-way lines, centerlines or other as appropriate. CIP are 5/8" x 3/4" iron with yellow zinc stamped Street Surveying P587055. References used are listed hereon. This map was prepared from a survey performed by me or under my direction in October, 2023, and meets the requirements defined in Chapter 4733-27 of the Ohio Revised Code, Minimum Standards for Boundary Surveys. This map is not valid unless signed and stamped by Surveyor.

Date Signed: _____

- References:
- R1 Cuyahoga County GIS
 - R2 Cuyahoga County Tax Map 2, Pgs. 8, 9, 10, and 6 detail
 - R3 Plat of Survey by David J. Stouffer dated 9-26-23
 - R4 Plat of Lot Split by Christopher J. Dempsey APN 20170500460
 - R5 Plat of Consolidation by Land Design Consultants APN 20200405210
 - R6 Plat of Consolidation by Land Design Consultants APN 20211170515
 - R7 Plat of John McCarty Subdivision PV. 4, Pg. 14
 - R8 Plat of Oliver Alger's Subdivision PV. 12, Pg. 56
 - R9 Dedication Plat of Father Caruso Drive PV. 255, Pg. 32
 - R10 Plat of Resubdivision for Lake Point Townhouse Development PV. 326, Pg. 30
 - R11 Plat of Consolidation for Peter Lesoghan PV. 340, Pg. 47
 - R12 City of Cleveland Survey Record 07, Pgs. 94-95
 - R13 City of Cleveland Survey Record 08, Pg. 98
 - R14 Subject deed as shown
 - R15 Adjoining deeds as shown

STRAUB SURVEYING, LLC
PROFESSIONAL LASER SCANNING AND SURVEYING SERVICES
12815 DETROIT AVENUE LAKELWOOD, OHIO 44130
PHONE: 440-333-1700 INFO@STRAUBSURVEYING.COM

Date of Survey: October, 2023
Field Book: 58 Pgs. 20-53
Survey By: C Sommers/Wright
Drawn By: C Sommers
Checked By: M Straub
Project No: 23-139
DWG: 23-139 1268 W 67th St Lot Split.dwg

NO.	DATE	DESCRIPTION	BY
R1	1/24/24	Revised per City Review	MS
R2	12/01/23	Original Issue	CS

Lot Split and Consolidation
1268 W 67th Street
Cleveland, Ohio

Prepared For
Chris Roberts
1264 W. 67th Street
Cleveland, Ohio 44102

Sht.
of
1

PARCEL A 1268 WEST 67TH ST.
 LOT AREA 2471 SQ.FT.
 HOUSE FOOTPRINT 824 SQ.FT.
 LOT COVERAGE 33%
 SET BACK FRONT 10.7'
 SOUTH .8'
 NORTH 2.0'
 REAR 55'-11"

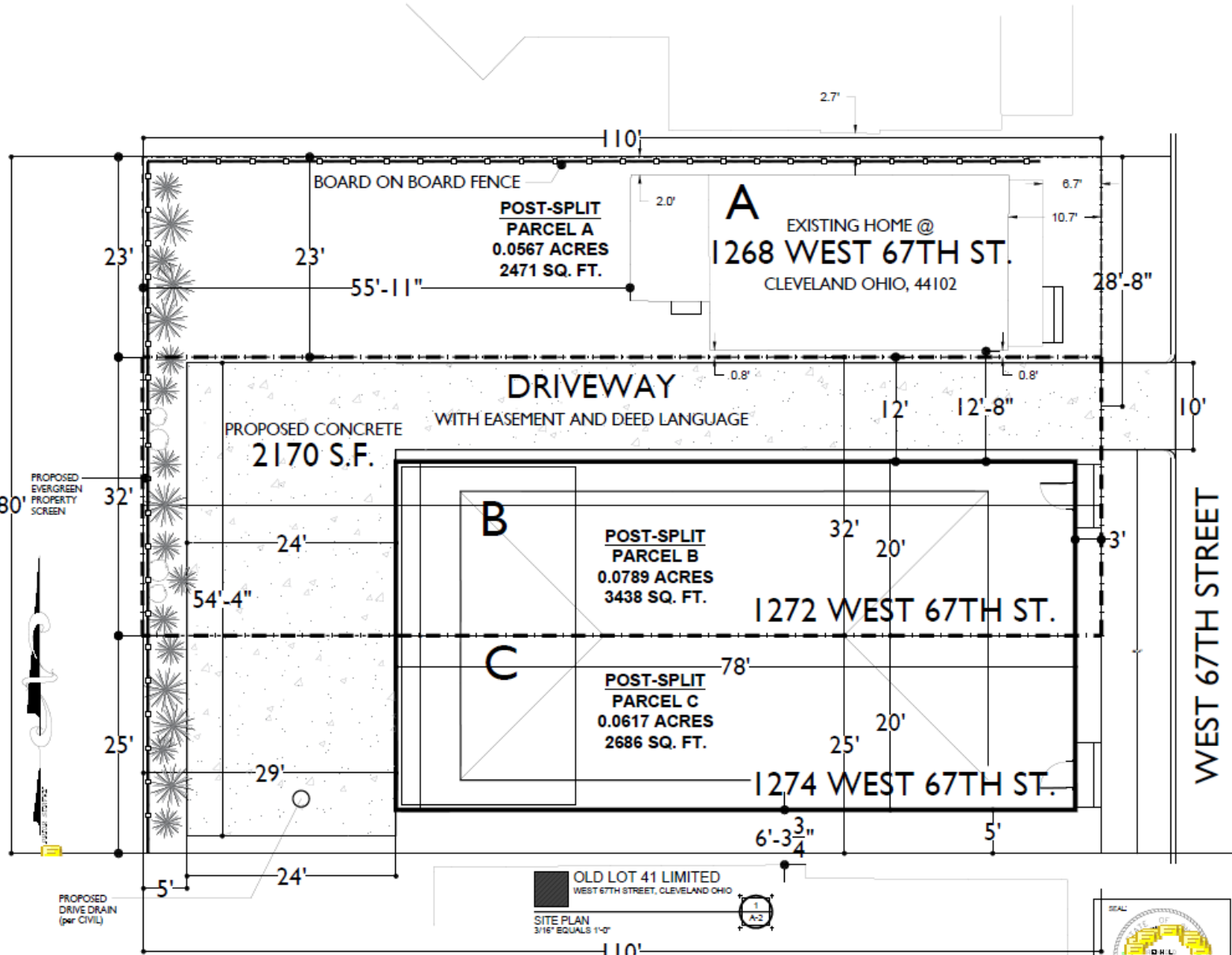
DIST. TO N. NEIGHBOR 2.7'
 DIST. TO S. NEIGHBOR 12.66'
 REAR YARD DIM. 23x55.9
 REAR YARD AREA 1286 SQ FT

PARCEL B 1272 WEST 67TH ST.
 LOT AREA 3438 SQ.FT.
 HOUSE FOOTPRINT 1560 SQ.FT.
 LOT COVERAGE 45.4%
 SET BACK FRONT 3'
 SOUTH 0'
 NORTH 12.0'
 REAR 29'

DIST. TO N. NEIGHBOR 12.66'
 DIST. TO S. NEIGHBOR 0'
 REAR YARD DIM. 29x32
 REAR YARD AREA 928 SQ FT

PARCEL C 1274 WEST 67TH ST.
 LOT AREA 2686 SQ.FT.
 HOUSE FOOTPRINT 1560 SQ.FT.
 LOT COVERAGE 58%
 SET BACK FRONT 3'
 SOUTH 5'
 NORTH 0'
 REAR 29'

DIST. TO N. NEIGHBOR 0'
 DIST. TO S. NEIGHBOR 6.25'
 REAR YARD DIM. 29x25
 REAR YARD AREA 725 SQ FT



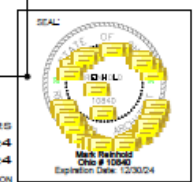
MARK REINHOLD architect

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

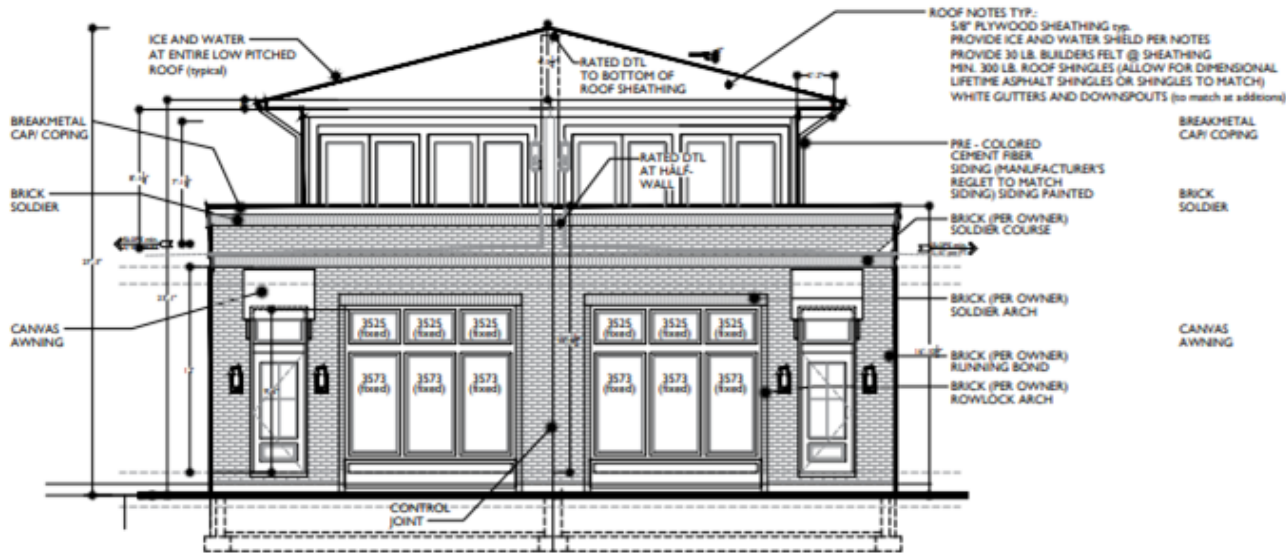
1268 WEST 67TH STREET DUPLEX

RESIDENTIAL DEVELOPMENT

DESIGN DEVELOPMENT / ESTIMATING and SCHEMATIC

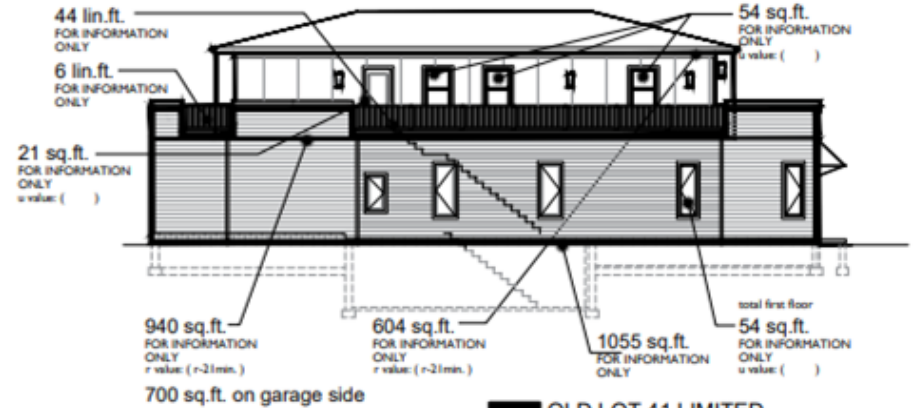


SITE PLAN A-2

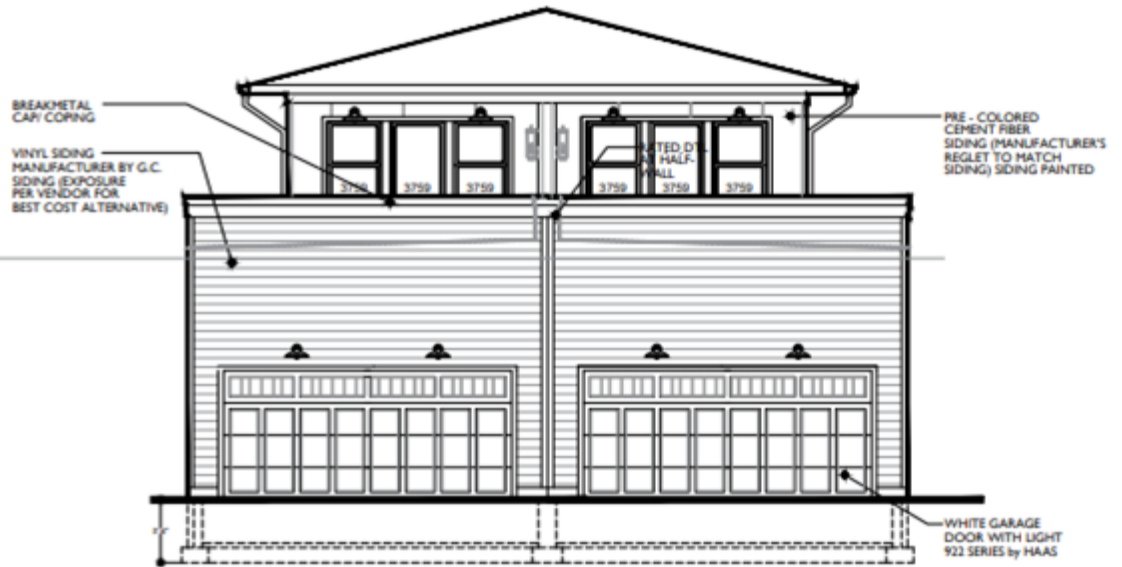
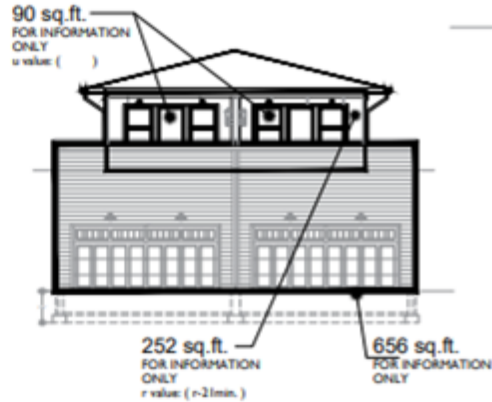
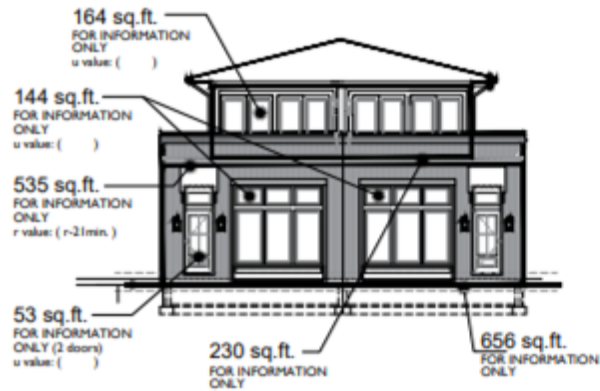


OLD LOT 41 LIMITED
WEST 67TH STREET, CLEVELAND OHIO
EAST ELEVATION (WEST 67TH ST.)
1/4" EQUALS 1'-0"

ROOF NOTES TYP:
5/8" PLYWOOD SHEATHING TYP.
PROVIDE ICE AND WATER SHIELD PER NOTES
PROVIDE 30 LB. BUILDERS FELT @ SHEATHING
MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL
LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)
WHITE GUTTERS AND DOWNSPOUTS (to match at addition)



OLD LOT 41 LIMITED
WEST 67TH STREET, CLEVELAND OHIO
SIDE ELEVATIONS
MATERIAL AND INSULATION TAKE-OFF
1/8" EQUALS 1'-0"



GARAGE DOOR NOTE:

Cleveland City Planning Commission

Southeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Southeast Design Review

CITY of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION

SE2022-014 – Office Building New Construction: Seeking Schematic Design Approval

May 17, 2024

Project Address: 3815 East 93rd Street

Project Representative: Daniel Bickerstaff, Ubiquitous Design

Ward 2- Councilmember Bishop

SPA: Union-Miles

DREAMS CLASSIC AUTO SALES



NEW BUILDING AND SITE DEVELOPMENT

3815 EAST 93RD STREET
CLEVELAND, OH 44105

PREPARED FOR:
RASHEAM NICHOLS

PREPARED BY:

Architect



UBIQUITOUS DESIGN, LTD.

ARCHITECTS
3443 LEE ROAD OHIO 44120
SHAKER HEIGHTS, OHIO 44120
P 216.752.4444 F 216.752.5011 ARCAOTEK@UDLTD.COM



FOR PERMIT ISSUANCE

Approval:
X _____ Date _____
RASHEAM NICHOLS

DRAWING INDEX

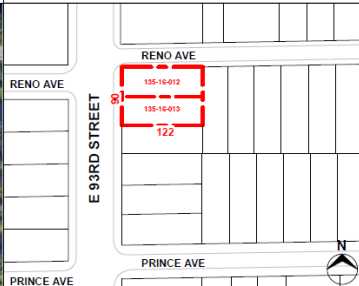
- T1.0 TITLE SHEET
- PD1.0 PROJECT DATA
- G1.0 GENERAL NOTES
- G2.0 TYPICAL DETAILS
- G2.1 TYPICAL DETAILS
- SP1.0 EXISTING CONTEXT PHOTOGRAPHS
- SP1.1 EXISTING CONTEXT SITE PLAN
- SP1.2 PROPOSED SITE PLAN
- SP1.3 DETAILS - SITE PLAN
- SP1.4 PROPOSED LANDSCAPE
- A1.0 PROPOSED FLOOR PLANS
- A2.0 PROPOSED ELEVATION
- A2.1 PROPOSED ELEVATION
- A3.0 PROPOSED SECTIONS
- A4.0 DOORS, WINDOWS, WALL SCHEDULES
- A5.0 PERSPECTIVES
- A5.1 PERSPECTIVES
- A5.2 PERSPECTIVES
- A6.0 SPECIFICATIONS
- A6.1 SPECIFICATIONS
- A6.2 SPECIFICATIONS
- E1.0 PROPOSED H.V.A.C
- E1.1 PROPOSED PLUMBING
- E1.2 PROPOSED POWER PLAN
- E1.3 PROPOSED LIGHTNING PLAN
- E1.4 PROPOSED STRUCTURAL PLAN

05.07.2024

SITE AERIAL



SITE VICINITY



CODE INFORMATION

A. PROJECT LOCATION:	3815 EAST 93RD STREET CLEVELAND, OH 44105
B. LOT:	
PERMANENT PARCEL NUMBER:	135-16-012, 135-16-013
LOT USE:	0.25, 10,980 SF
FRONTAGE:	80.2'
DEPTH:	132.2'
C. PROJECT DESCRIPTION:	WE ARE SEEKING TO BUILD A NEW CONTAINER BUILDING FOR AN AUTO SALES BUSINESS
D. NATURE OF PROJECT:	NEW CONSTRUCTION
E. USE GROUP:	BUSINESS (B)
F. CONSTRUCTION TYPE:	II
G. WORK AREA LIMIT:	10,980 SF
H. TYPE OF MECHANICAL:	NEW ELECTRIC AIR CONDITIONER AND HEATER

REFERENCED CODES

ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO:
2024 OHIO BUILDING CODE (OBC)
2024 OHIO MECHANICAL CODE (OMC)
2024 OHIO PLUMBING CODE (OPC)
NFPA NATIONAL ELECTRICAL CODE 2023
LIFE SAFETY CODE, NFPA 101-2021
2021 ICGA(S) A11.1.1
2024 OHIO FIRE CODE (OFC)
2020 NFPA NATIONAL ELECTRICAL CODE
2018 LIFE SAFETY CODE
2009 ICGA(S) A11.1
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2010 DEPT. OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN



W. Daniel Bickensuff, II License No. 12608
Expires on October 31, 2024

NOTES:

1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION.

2. PRIOR TO COMMENCING ANY CONSTRUCTION WORK, OR ORDERING NEW MATERIALS AND EQUIPMENT FOR THIS PROJECT, CHECK EXISTING CONDITIONS ON BUILDING SITE, AND VERIFY DATA AND INFORMATION IN THIS DRAWING.

3. DO NOT USE THIS DRAWING FOR ANY OTHER THAN DESIGNATED PROJECT.
4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.

I. GENERAL DATA AND INFORMATION

- 1. **LOT ZONING:** PARCEL NUMBER: 135-16-012, 135-16-013
- 2. **BUILDING GENERAL DESCRIPTION:** WE ARE SEEKING TO BUILD A NEW CONTAINER BUILDING FOR AN AUTO SALES BUSINESS
 - USE GROUP:** [B] BUSINESS OBC SECTION 310.4
 - TYPE OF CONSTRUCTION:** TYPE II OBC TABLE 601 UNSPRINKLERED OBC TABLE 903.2.1.3
 - AREA:** 0.25 ACRES, 10,980 SF
 - BUILDING HEIGHT:** 20' - 0"
 - FOUNDATION:** 24" DIAMETER CONCRETE PIERS
 - EXTERIOR WALLS:** NEW CONTAINER STRUCTURE
 - CONSTRUCTION OF FLOORS:** NEW CONTAINER FLOORING
 - ROOF CONSTRUCTION:** NEW CONTAINER ROOFING
 - HEATING:** NEW FORCED AIR FURNACE WITH AC

II. DESIGN DATA AND CRITERIA

- LOADS** 30 PSF DEAD LOAD
- ROOF-** 30 PSF
- SNOW-** 115 MPH
- WIND-** 100 PSF
- STAIRS-** 50 PLF
- HANDRAILS & GUARDS-** 200 LBS
- CONCENTRATED LOAD-**

CONSTRUCTION LIMITATIONS:

- TOTAL BUILDING** 1120 SF
 - FIRST FLOOR: 590 SF
 - SECOND FLOOR: 530 SF

III. GENERAL NOTES

- A. **GENERAL CRITERIA**
 - 1. **Renovation**
 - B. *Any additional Mechanical, Electrical, and Plumbing drawings, loads, etc... required by the City of Cleveland's Building Department shall be submitted and approved prior to the initiation of their work via the contractor.*
 - C. *All work shall be performed in accordance with all applicable national, state and local codes and regulations.*
 - D. *Contractor shall verify all conditions and dimensions at site prior to beginning construction. Any discrepancies shall be reported to the Architect for justification and/or correction before proceeding with work. Contractor shall assume responsibility for errors not reported.*
 - E. *Contractor shall insure compatability of the building with all site requirements.*
 - F. *All wood, concrete, and steel structural members shall be of a good grade and quality and meet all national state, and local building codes where applicable.*
 - G. *Pedestrians and occupants, if present, shall be protected during construction, remodeling and demolition activities as required by this chapter and Table 3306.1. Signs shall be provided to direct pedestrian traffic.*
 - H. *Required exits, existing structural elements, fire protection devices and sanitary safeguards shall be maintained at all times during remodeling, alterations, repairs or additions to any building or structure.*
 - I. *No connections shall be made from a utility, source of energy, fuel or power to any building or system that is regulated by this code for which a plan approval and inspections are required, until approved by the building official.*



Project Team:

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W. Daniel Bickelstaf, E. License No. 12608
Expires on December 31, 2024

PERMIT ISSUANCE	ISS. DATE
ISSUED BY	DATE

**DREAMS CLASSIC
AUTO SALES**

NEW BUILDING AND
SITE DEVELOPMENT

3815 EAST 93RD STREET
CLEVELAND, OH 44105

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Revision Number	Date
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1	DB

PROJECT DATA

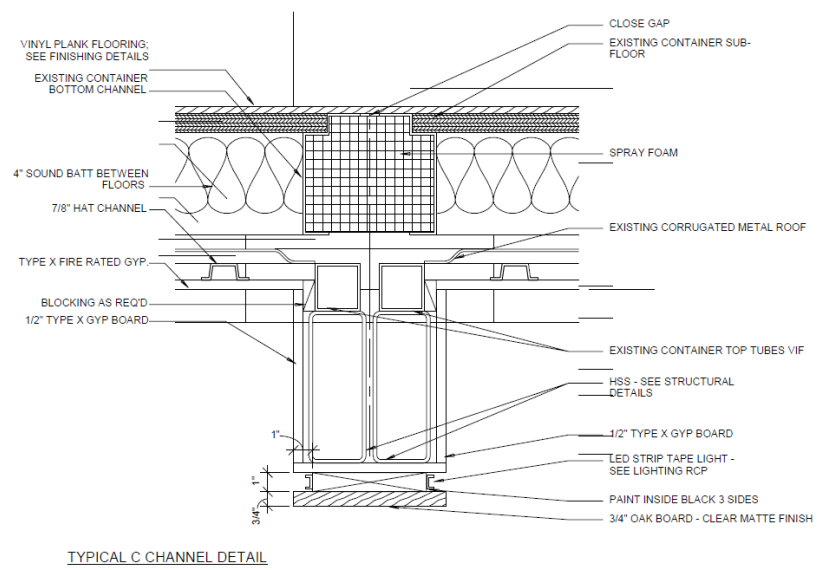
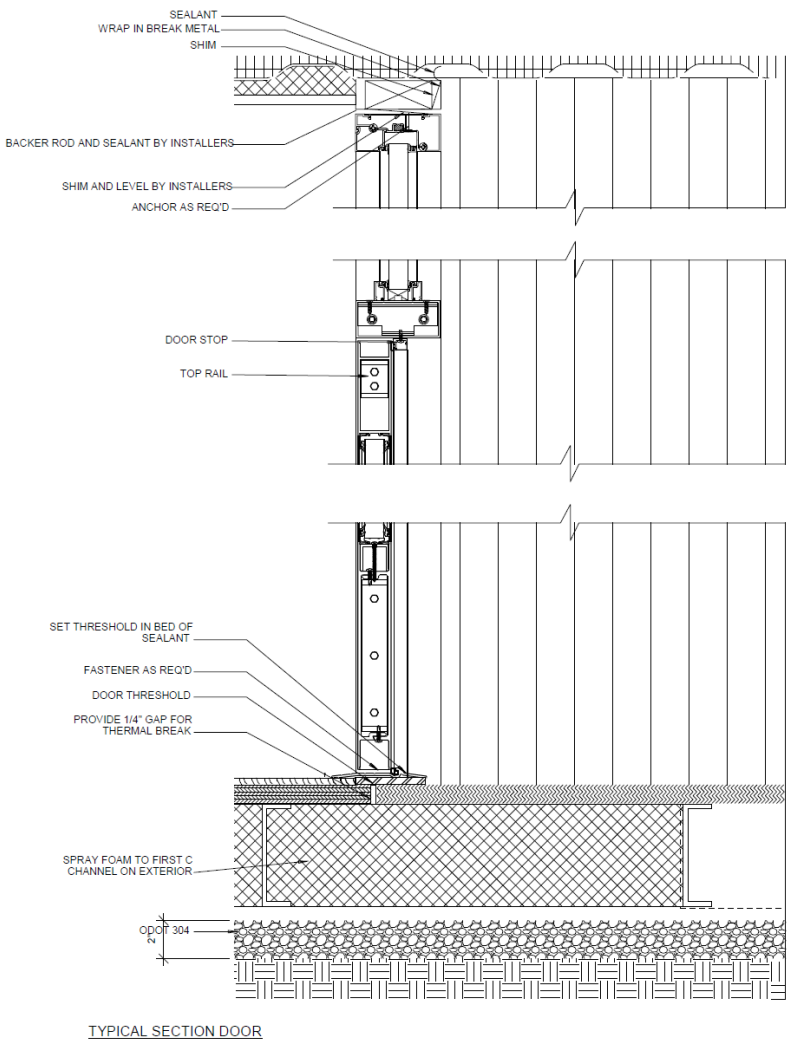
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**DREAMS CLASSIC
AUTO SALES**

NEW BUILDING AND
SITE DEVELOPMENT

3815 EAST 93RD STREET
CLEVELAND, OH 441105

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Creation Project #	Sheet No.
DB	WB01.1

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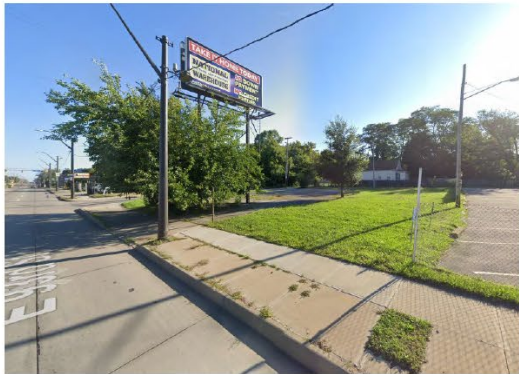
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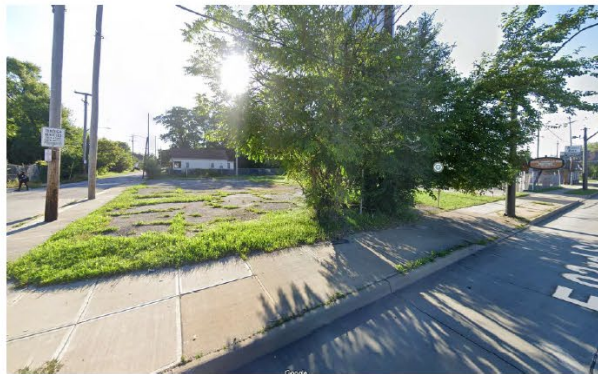
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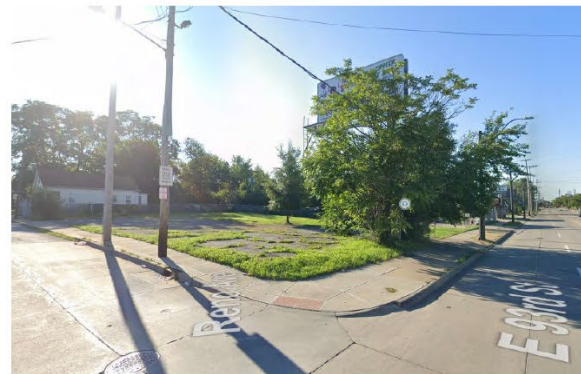
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1. SOUTH-WEST VIEW



2. WEST VIEW



3. NORTH-WEST VIEW



3. NORTH VIEW



3. NORTH-EAST VIEW



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PROJECT ORIGINATOR	ISSUED	DATE

**DREAMS CLASSIC
AUTO SALES**

NEW BUILDING AND
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	DB
Drawn by	Checked by
	WBD, II

EXISTING CONTEXT
PHOTOGRAPHS

Date	Sheet
05.07.2024	SP1.0

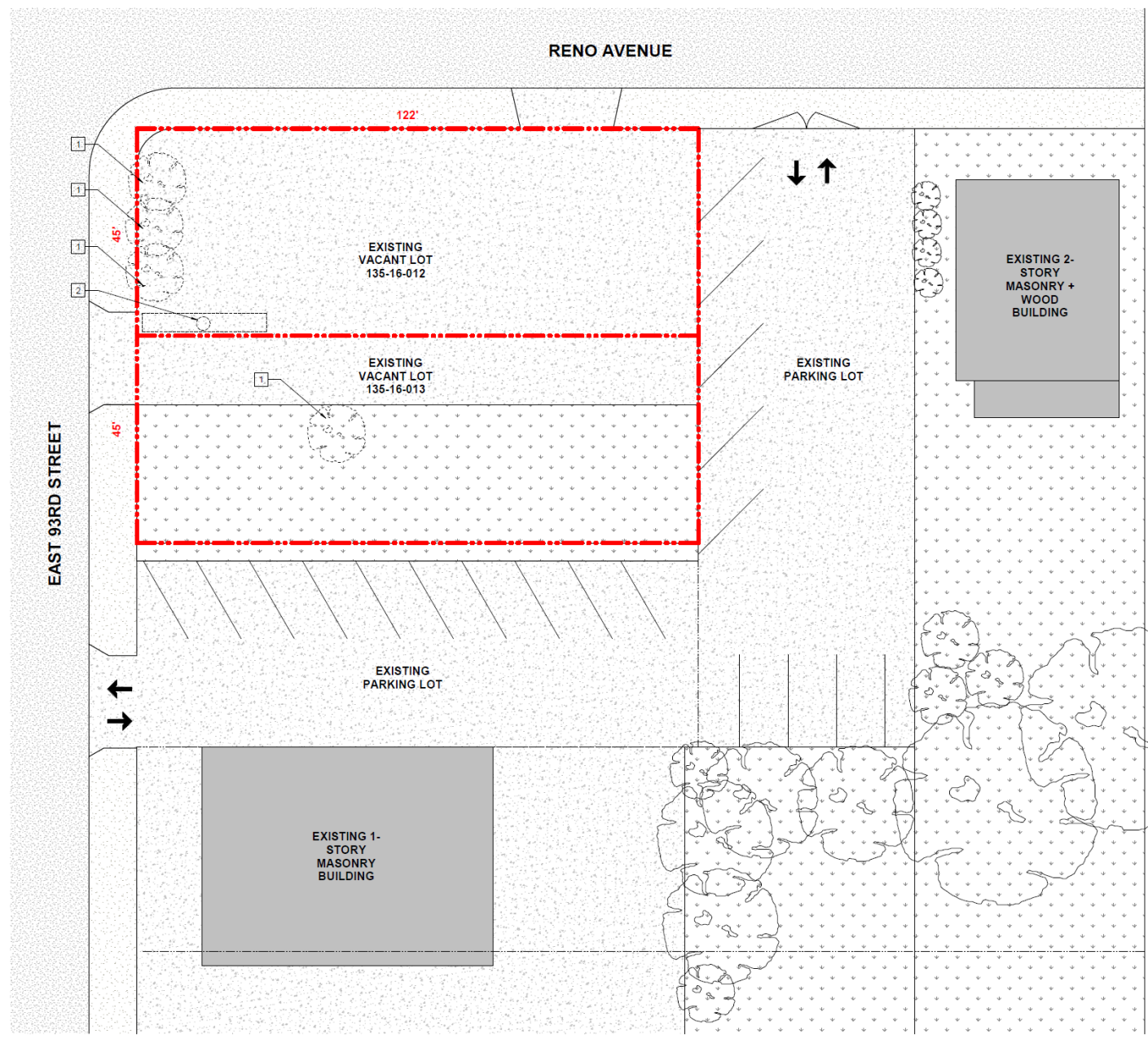
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1 EXISTING SITE PLAN
SP1.1 SCALE 3/32" = 1'-0"



GENERAL NOTES

- DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT THE SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
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- REMOVE ALL TEXTURED FINISHES ON EXISTING GYPSUM BOARD WALLS AND CEILINGS IN PREP. FOR NEW SMOOTH FINISHES THROUGHOUT.
- REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.

CODED NOTES

- INDICATED BY
- EXISTING TREES TO BE REMOVED
 - EXISTING SIGN TO BE REMOVED



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**DREAMS CLASSIC
AUTO SALES**

NEW BUILDING AND
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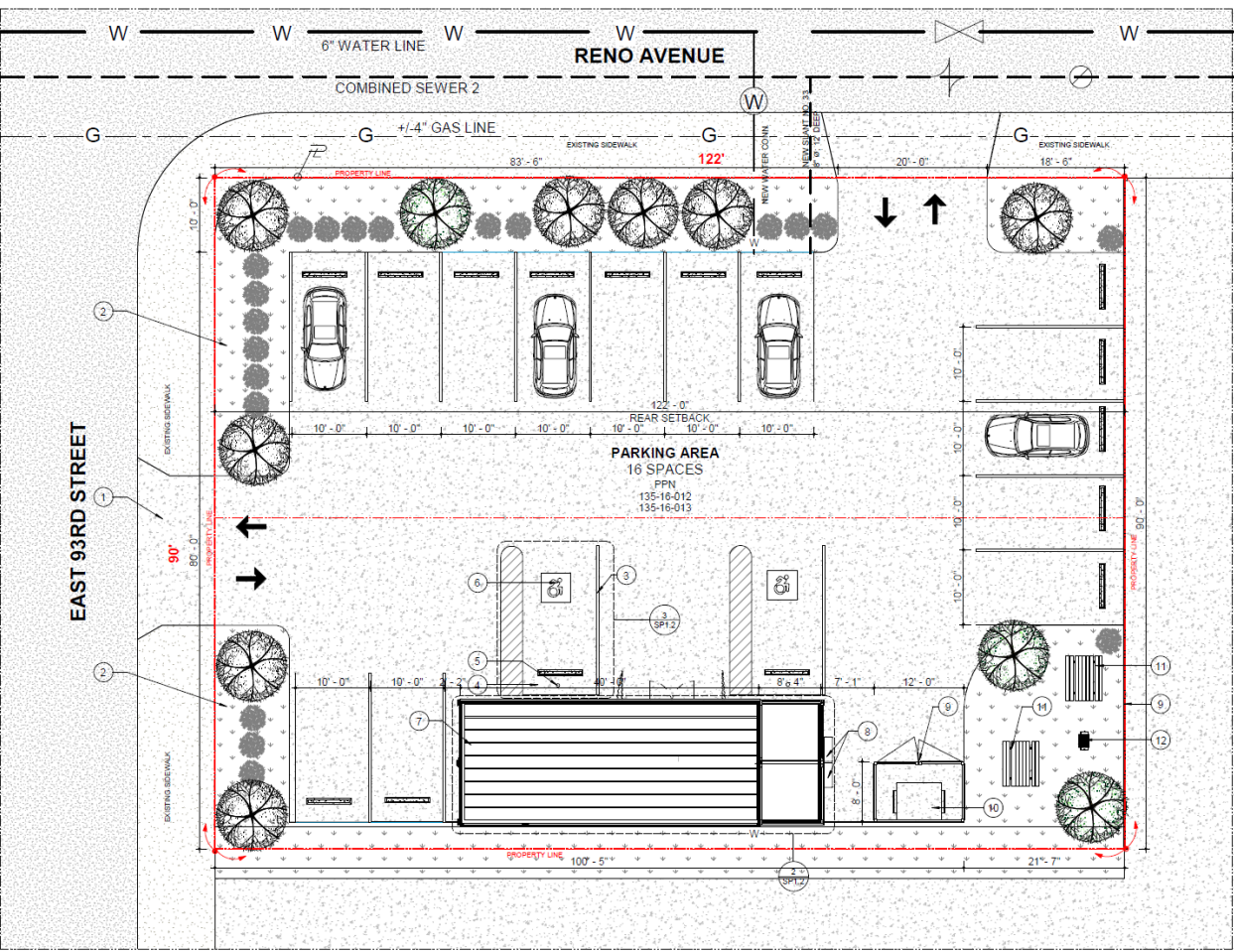
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SITE PLAN

Date: As indicated
Date: 05.07.2024
Sheet: **SP1.1**

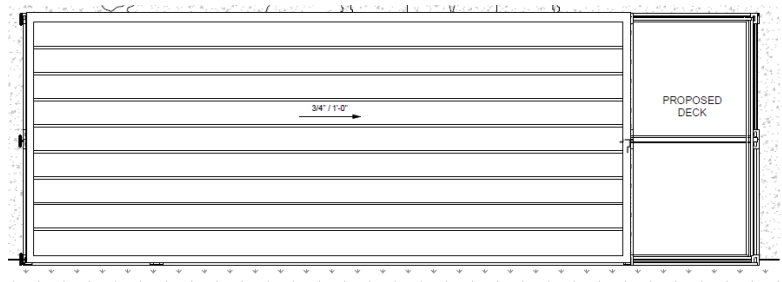


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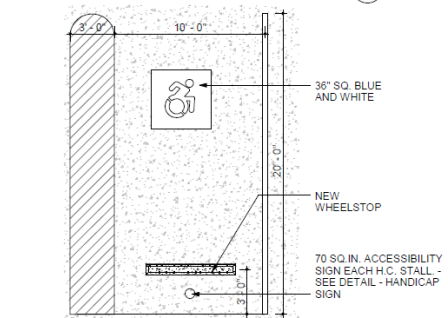
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1 PROPOSED SITE PLAN
 SP1.2 SCALE 1/8" = 1'-0"



2 ROOF PLAN
 SP1.2 SCALE 1/4" = 1'-0"



3 ENLARGED ADA PARKING
 SP1.2 SCALE 1/4" = 1'-0"

GENERAL NOTES

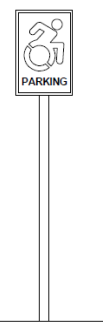
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10. REMOVE ALL TEXTURED FINISHES ON EXISTING GYPSUM BOARD WALLS AND CEILING IN PREP. FOR NEW SMOOTH FINISHES THROUGHOUT.
11. REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.

CODED NOTES

- 1 NEW DRIVEWAY
- 2 NEW LANDSCAPING
- 3 NEW ADA PARKING
- 4 NEW WHEELSTOP
- 5 70 SQ. IN. ACCESSIBILITY SIGN EACH H.C. STALL - SEE DETAIL - HANDICAP SIGN
- 6 36" SQ. BLUE AND WHITE
- 7 NEW 2 STORY CONTAINER
- 8 NEW OUTDOOR HEAT PUMP INSTALLED AT GRADE. EQUIPMENT SHALL BE INSTALLED LEVEL & SUPPORTED ON POLY RESIN EQUIPMENT PAD.
- 9 NEW WOOD FENCE H6" - 0"
- 10 NEW DUMPSTER
- 11 NEW PICNIC TABLE
- 12 NEW PARK GRILL

INDICATED BY ○

12" x 18" BLUE ON WHITE, CENTERLINE SIGNING 6'-0" ABOVE GRADE
 ALL REGULATORY SIGNS ARE SCOTCHLITE ENAMEL ON .080 ALUM. INSTALL ON STAND GALV. STEEL CHANNEL POSTS, BOTTOM OF SIGN AT 4'-0" ABOVE GRADE UNLESS NOTED.



3 HANDICAP SIGN
 SP1.0 SCALE NO SCALE



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DREAMS CLASSIC AUTO SALES

NEW BUILDING AND SITE DEVELOPMENT

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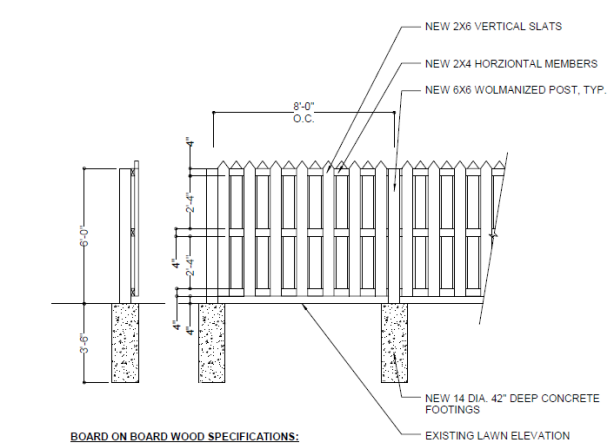
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Author	Date
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Creation Project #	Drawn by
	DB
Project No.	WBO, I

PROPOSED SITE PLAN

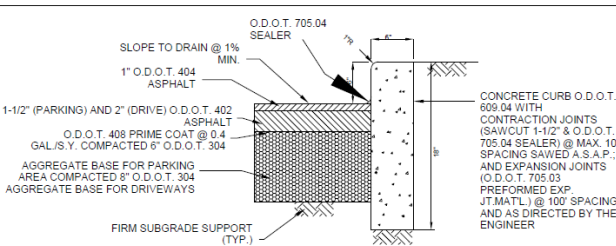
Date: 05.07.2024
 As indicated
SP1.2

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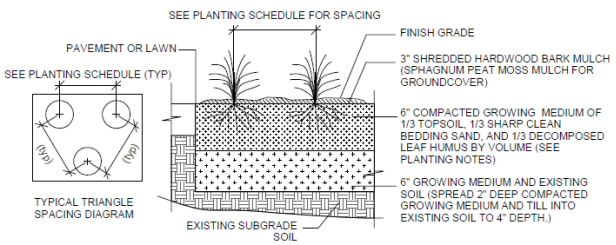


- BOARD ON BOARD WOOD SPECIFICATIONS:**
- 72" H FENCE, MEASUREMENTS LISTED ARE TOT HE TOP OF POST
 - DOG EAR WATER SEAL/WOLMANIZED SLATS ARE 3/4"x6"
 - REQUIRED (3) HORIZONTAL STRINGERS ARE PRESSURE TREATED PINE OR APPROVED EQUAL FULL CUT 1"x4"
 - ONLY GALVANIZED RING SHANK NAILS SHALL BE USED
 - 6"x6" PRESSURE TREATED PINE POSTS SHALL BE LOG STOCK
 - POSTS SHALL BE 8'-0" L
 - 6"x6" GATE HINGE AND LOCKABLE LATCH POST INSTALLED 36" BELOW GRADE WITHIN CONC. FOOTING

1 NEW BOARD ON BOARD FENCING
 SP1.1 SCALE: 1/2" = 1'-0"

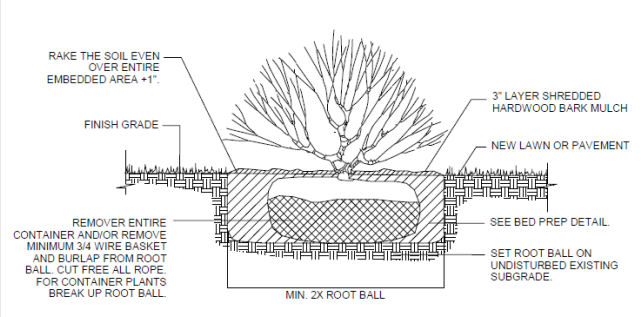


2 TYP. REGULAR ASPHALT PAVEMENT SECTION
 SP1.1 SCALE: NO SCALE



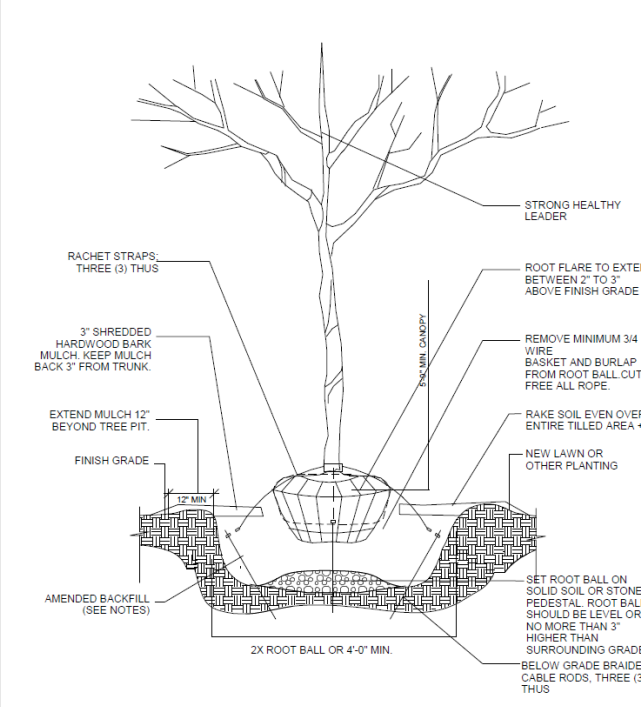
BREAK UP ROOT BALL FOR CONTAINER GROWN PLANTS. SET ALL PLANTS SO THAT THEY BEAR THE SAME RELATION TO THE FINISH GRADE AS THEY DID TO THE NATURAL GRADE AT THE PLANT NURSERY.

3 PERENNIAL PLANTING/ BED PREP
 SP1.1 SCALE: NO SCALE



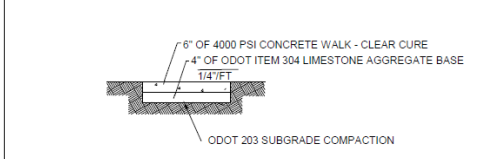
SET PLANTS SO THAT THEY WILL BEAR THE SAME RELATION TO THE FINISH GRADE AS THEY DID TO THE NATURAL GRADE AT THE PLANT NURSERY AFTER SETTLEMENT OF BACKFILL. INSTALL BACKFILL 1" HIGHER THAN THE SURROUNDING GRADE TO ALLOW FOR SETTLEMENT. CONTRACTOR HAS THE OPTION TO PREPARE ENTIRE SHRUB BED, AS DESCRIBED ABOVE, FOR LARGE SHRUB PLANTING BEDS. SEE BED PREP DETAIL.

4 SHRUB PLANTING
 SP1.1 SCALE: NO SCALE

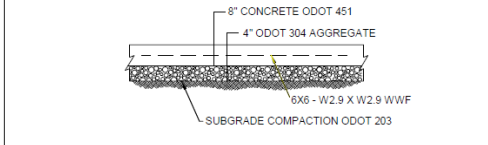


- THOROUGHLY COMBINE 50% NATIVE SOIL WITH 50% GROWING MEDIUM, BACKFILL AND LIGHTLY COMPACT. AMEND SOIL TO THE DEPTH OF THE TREE BALL. PRIOR TO AMENDING SOIL, REMOVE ANY EXISTING LAWN OR OTHER VEGETATION. WATER IN BACKFILL IN LAYERS TO SETTLE BACKFILL.
- SET ALL PLANTS SO THAT THEY BEAR THE SAME RELATION TO THE FINISH GRADE AS THEY DID TO THE NATURAL GRADE AT THE PLANT NURSERY AFTER SETTLEMENT OF BACKFILL. INSTALL BACKFILL 1" HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT.
- DO NOT STAKE OR WRAP TREE UNLESS NOTED.

5 TREE PLANTING
 SP1.1 SCALE: NO SCALE



6 DRIVEWAY
 SP1.1 SCALE: NO SCALE



7 CONCRETE APRON AND PAD DETAIL
 SP1.1 SCALE: NO SCALE

PLANTING NOTES

- ALL PLANTING & SEEDING SHALL BE INSTALLED BY AN OHIO CERTIFIED NURSERY TECHNICIAN(S) OR NATIONALLY CERTIFIED LANDSCAPE TECHNICIAN(S).
- CONTRACTOR TO STAKE LOCATIONS OF TREES AND LARGE SHRUBS AND OUTLINE BED AREAS OF PERENNIALS AND GROUNDCOVER FOR ACCEPTANCE BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- GROWING MEDIUM SHALL CONSIST OF 1/3 TOPSOIL, 1/3 SHARP, CLEAN BEDDING SAND, 1/3 DECOMPOSED LEAF HUMUS BY VOLUME. GROWING MEDIUM SHALL BE MECHANICALLY COMBINED BY A SUPPLIER. GROWING MEDIUM SHALL HAVE 4" MIN. PARTICLES AND 8" MAX. FINAL BLEND FROM PART 'A' SHALL BE CLASSIFIED IN THE 'SANDY LOAM' PORTION OF THE U.S.D.A. SOIL TEXTURAL TRIANGLE.
- DECOMPOSED LEAF MULCH, DECOMPOSED, NITROGEN-TREATED, OF UNIFORM TEXTURE, FREE OF CHIPS, STICKS, SOIL, OR TOXIC MATERIALS. SHALL CONFORM TO THE FOLLOWING:
 - 100% SHALL PASS THROUGH A 1" SCREEN.
 - PATHOGEN FREE, TIME AND TEMPERATURE TESTS MINIMUM 55 DEGREE CELSIUS FOR A MINIMUM OF THREE DAYS.
 - HEAVY METAL CONTENT SHALL NOT EXCEED OHIO EPA CLASS 1
 - ORGANIC CONTENT SHALL BE BETWEEN 35% AND 75%; EACH SOURCE SHALL NOT VARY MORE THAN 5%.
 - INERT CONTAMINATION SHALL BE LESS THAN 1% BY WEIGHT.
 - MATERIAL SHALL BE CURED FOR AT LEAST 90 DAYS.
 - SOLUBLE SALTS SHALL BE BETWEEN 1 - 5 MMHOLS.
 - PH SHALL BE BETWEEN 6.0 AND 8.0
- CONTRACTOR MAY REUSE SURFACE SOIL STOCKPILED ON THE SITE. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF TREES AND SHRUBS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
- SEEDING & MULCHING PER ODOT ITEM 659. SEED MIXTURE AS PER NOTE 8.
- SEED: PROVIDE CERTIFIED GRASS SEED BLENDS OR MIXES, PROPORTIONED BY WEIGHT OR APPROVAL BY OWNER'S REP. SEED SHALL BE PROFESSIONALLY MIXED WITH 20% KENTUCKY BLUEGRASS, 35% FESCUE (FESTUCA CVLT.) SUCH AS PENNLAWN, "FINELAWN PETITE" OR "CROSS FIRE", 35% PERENNIAL RYE GRASS SUCH AS CITATION II OR MANHATTAN. SOW SEED AT A MINIMUM OF 5 LBS. PER 1000 SF. MINIMUM 90% GERMINATION.
- DITCHES WITH GRADES GREATER THAN 1.5% AND ALL OTHER SLOPES GREATER THAN 5:1 WILL HAVE EROSION CONTROL BLANKETS/MATTING INSTALLED AS PER ODOT 671. MATTING TO BE ODOT ITEM 712.11 SEE ODOT DRAWING DM-42 FOR INSTALLATION.
- CONTRACTOR TO GUARANTEE AND WARRANT ALL PLANT MATERIAL FOR 1 YEAR (12 MONTHS) STARTING THE DAY OF FINAL ACCEPTANCE FROM THE OWNER. THE GUARANTEE RESERVES THE RIGHT OF THE OWNER TO HAVE ANY PLANT MATERIAL REPLACED AT THE OWNER'S DISCRETION SHOULD THE OWNER DETERMINE THAT A PARTICULAR PLANT HAS DIED OR IS IN DECLINE AT THE SOLE COST OF THE CONTRACTOR AND AT NO COST TO THE OWNER.
- THE CONTRACTOR IS TO MAINTAIN ALL PLANTINGS FOR A PERIOD OF ONE YEAR (12 MONTHS) STARTING THE DAY OF FINAL ACCEPTANCE FROM THE OWNER. THE MAINTENANCE IS TO INCLUDE, BUT NOT LIMITED TO: ALL WATERING, MOWING, FERTILIZING, PRUNING, WEEDING, AND GENERAL CLEAN UP OF THE PLANTING AREAS. THIS MAINTENANCE IS TO BE DONE ON A REGULAR BASIS TO BE AGREED UPON WITH THE OWNER.
- CONTRACTOR IS TO REGRADE AND SEED ANY DISTURBED AREAS.



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DREAMS CLASSIC AUTO SALES

NEW BUILDING AND SITE DEVELOPMENT

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Revision	Date
1	05.07.2024

DETAILS - SITE PLAN

As Indicated
 Date: 05.07.2024
SP1.3

NOTES:

1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION.

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3. DO NOT USE THIS DRAWING FOR ANY OTHER THAN DESIGNATED PROJECT.
4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.

1
SP1.4 PROPOSED LANDSCAPE PLAN
SCALE 1/8" = 1'-0"



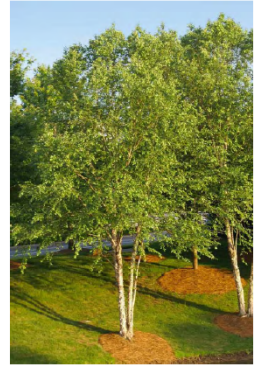
AH - ANNABELLE HYDRANGEA H 5' - 0"



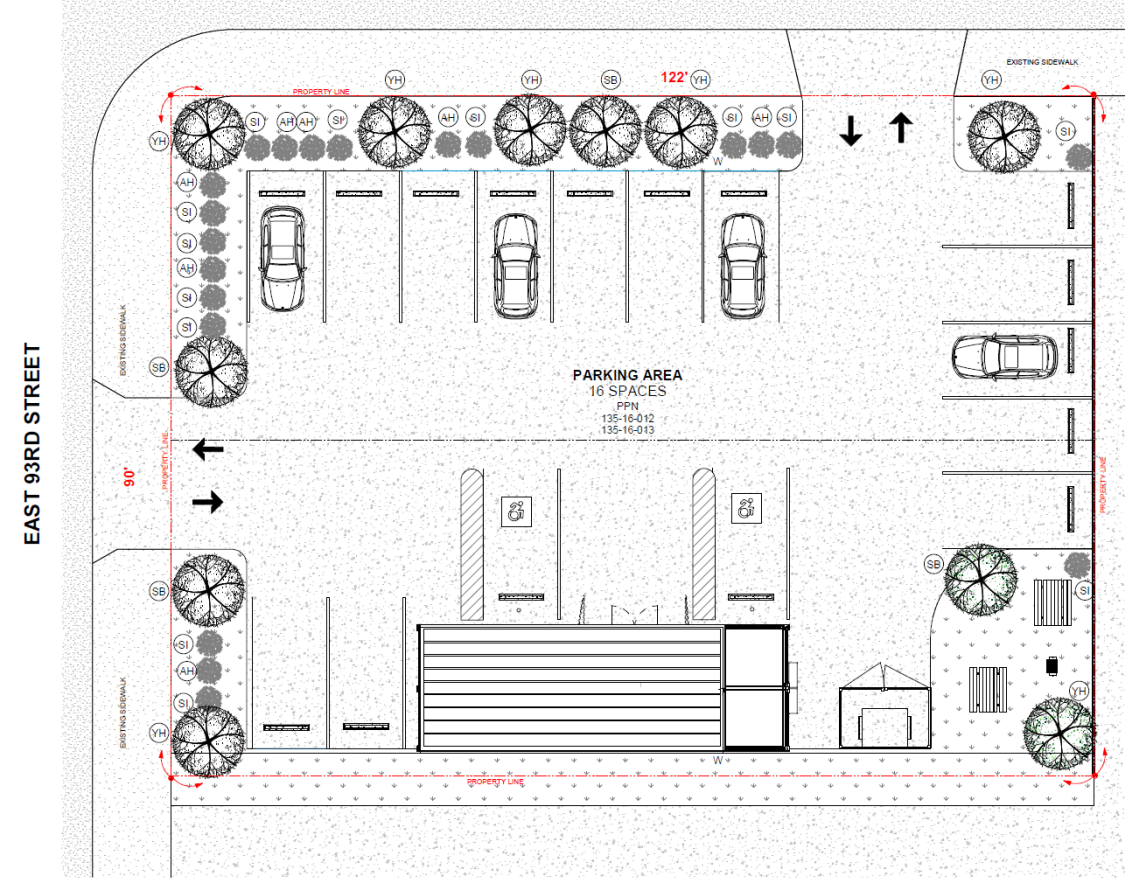
SI - SHAMROCK INKBERRY H 4' - 0"



SB - SERVICE BERRY H 15' - 0"



YH - YAUPON HOLLY TREE HEIGHT 15' - 0"



GENERAL NOTES

- DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL/FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT THE SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
- REMOVE ALL EXISTING FINISH FLOORING. ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW POLISHED CONC. FINISH. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.
- REMOVE ALL TEXTURED FINISHES ON EXISTING GYPSUM BOARD WALLS AND CEILINGS IN PREP. FOR NEW SMOOTH FINISHES THROUGHOUT.
- REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.

LANDSCAPING NOTES

NOTE	NAME	HEIGHT	INDICATED BY
AH	ANNABELLE HYDRANGEA		○
SB	SERVICE BERRY		○
SI	SHAMROCK INKBERRY		○
YH	YAUPON HOLLY TREE		○



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PROJECT START DATE	PROJECT END DATE

DREAMS CLASSIC AUTO SALES

NEW BUILDING AND SITE DEVELOPMENT

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Author	DB
Checked by	DB
Date	WBD, II

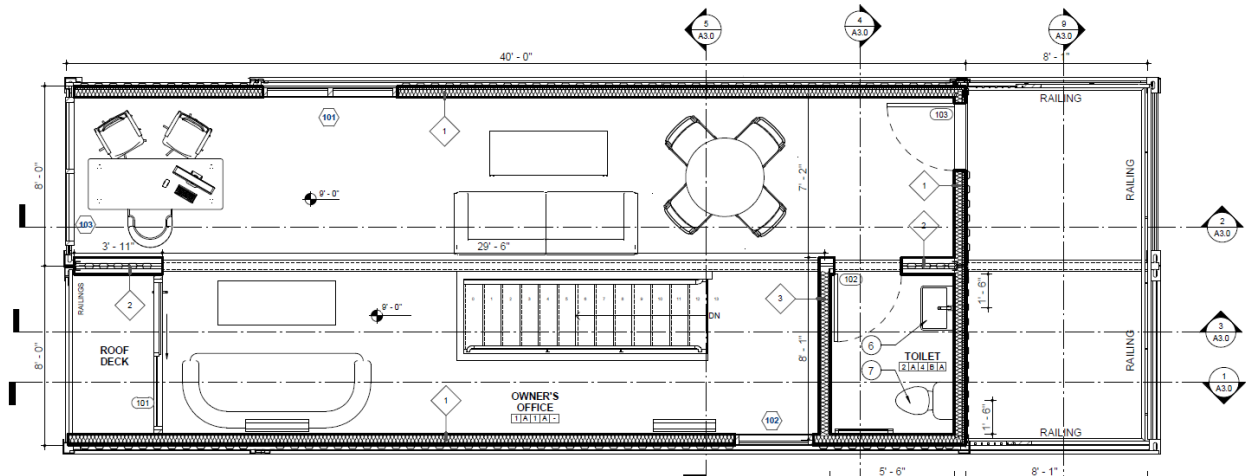
PROPOSED LANDSCAPE

Scale: 1/8" = 1'-0"
Date: 05.07.2024
SP1.4

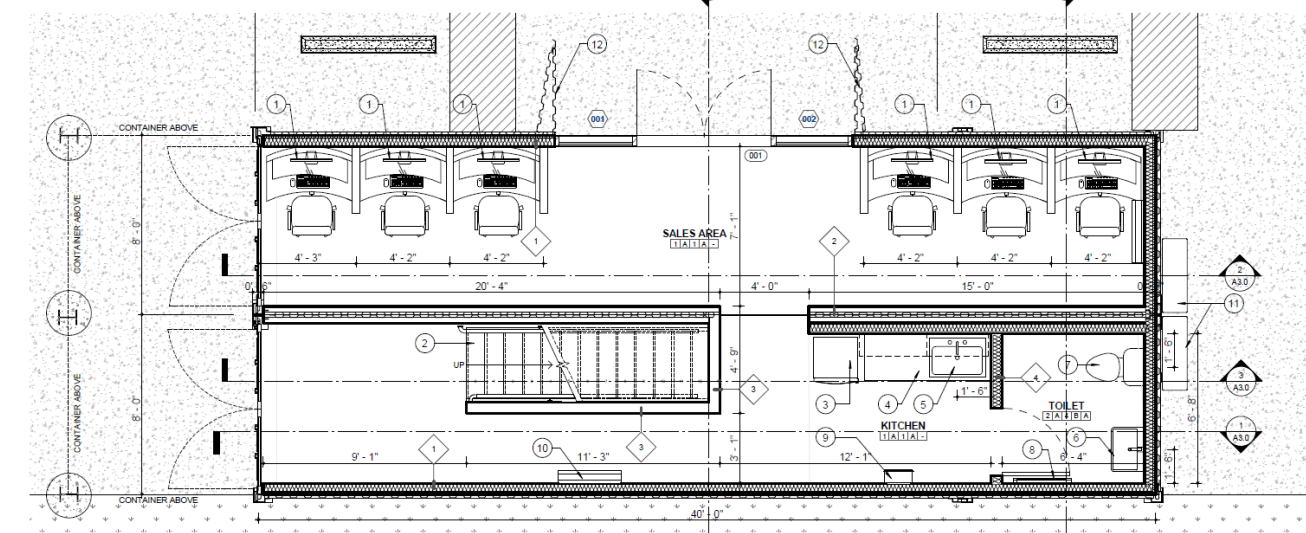
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NOTES:



1 PROPOSED SECOND LEVEL
SCALE 3/8" = 1'-0"



2 PROPOSED FIRST LEVEL
SCALE 3/8" = 1'-0"

FINISHES

FLOOR	BASE	WALL	CEILING	NOTES	SYMBOLS
1. VINYL WOOD PLANK FLOORING 2. BATHROOM TILING	A. 1" METAL FRAMING	1. EXTERNAL CONTAINER WALL WITH SPRAY FOAM INSULATION, R-13 BATT INSULATION AND GYPSUM BOARD FINISH 2. INTERIOR CONTAINER WALL WITH 3/4" METAL FRAMING, CONTAINER DECK AND 1/2" GYPSUM WALL BOARD 3. 2X6 WOOD STUDS WITH R-13 INSULATION 4. 2X6 WOOD STUDS WITH R-13 INSULATION MOISTURE RESISTANT	A. CONTAINER CEILING WITH GYB B. CONTAINER CEILING WITH GYB MOISTURE RESISTANT	NEW WALL (SEE TYPES) INSULATION ON WALL	FLOOR BASE NOTE CEILING WALL

GENERAL NOTES

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- REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.

CODED NOTES

- NEW COMPUTER STATION
- NEW STAIRS
- NEW REFRIGERATOR
- NEW COUNTERTOP AND BASE CABINETS
- NEW UNDERMOUNT SINK WITH FAUCET
- NEW TOILET
- NEW WALL MOUNTED SINK
- NEW ELECTRIC BASEBOARD HEATER
- NEW GAS HEATER
- NEW HEATING & COOLING WALL MOUNTED MINI SPLIT FAN COIL UNIT MOUNT WITH TOP APPROXIMATELY 12" BELOW CEILING. COORDINATE FINAL LOCATION IN FIELD WITH OWNER OR ARCHITECT
- NEW OUTDOOR HEAT PUMP
- CONTAINER WALL



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**DREAMS CLASSIC
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Project Name	Date
X	
Drawn by	Checked by
DB	WBD, II

**PROPOSED FLOOR
PLANS**

Scale: As Indicated
Date: 05.07.2024
A1.0

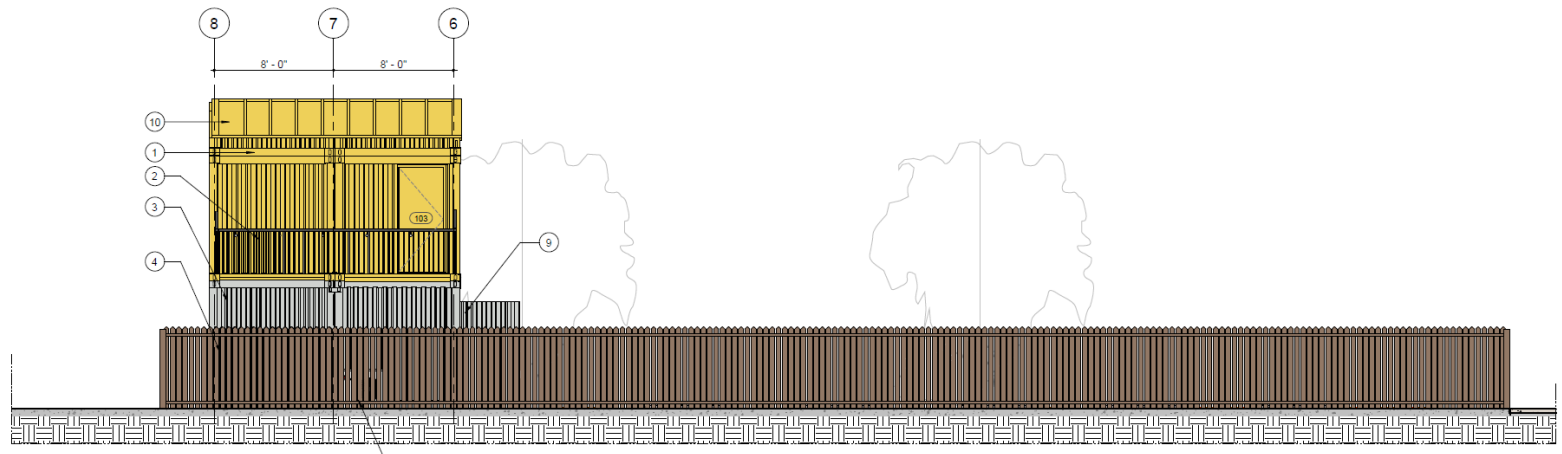
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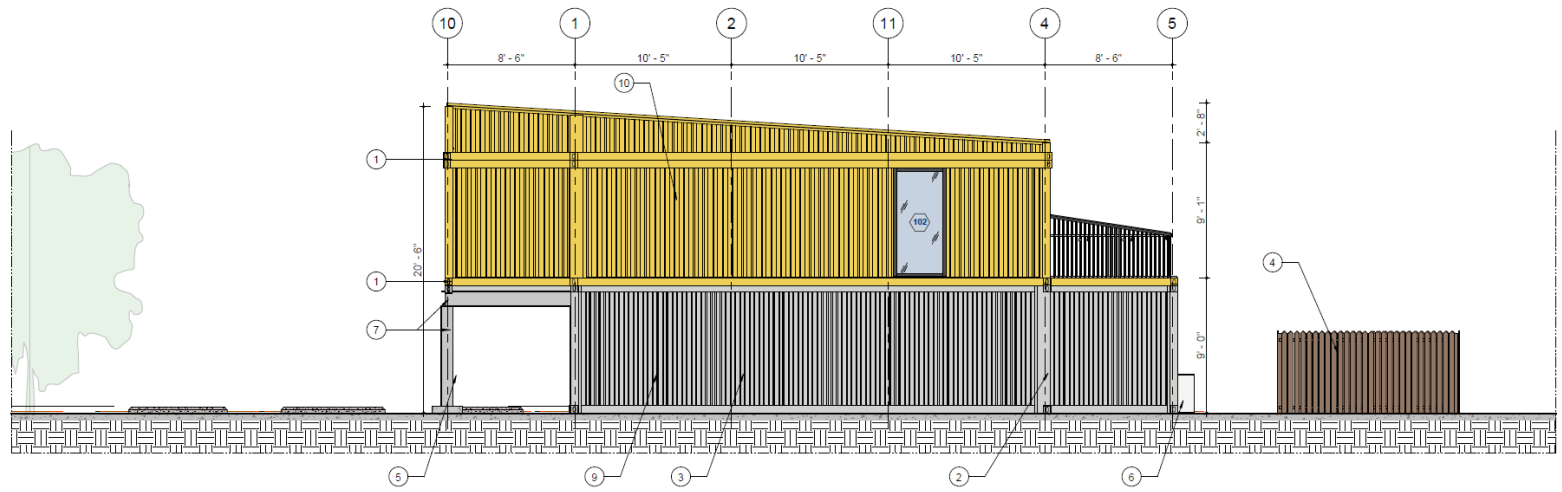
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4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.



1
A2.0
SCALE 1/4" = 1'-0"

PROPOSED EAST ELEVATION



2
A2.0
SCALE 1/4" = 1'-0"

PROPOSED SOUTH ELEVATION

GENERAL NOTES

- OWNER SHALL SELECT ALL NEW FINISHES, FURNITURE AND FIXTURES
- ALL GYP. BD. SURFACES SHALL HAVE SMOOTH NON-TEXTURED FINISH
- THE METHOD OF ATTACHMENT FOR ALL ITEMS THAT ARE TO BE SUSPENDED ARE TO BE SUSPENDED FROM THE JSTS. ABOVE. NO ATTACHMENTS TO THE DECKING ABOVE IS PERMITTED
- REFER ARCH. DWGS. FOR LOCATION OF PLUMBING AND HEATING EQUIPMENT, FIXTURES AND OTHER ENGINEERING INSTALLATION COMPONENTS
- HVAC CONTRACTOR SHALL PROVIDE WITH ALL NECESSARY CALCULATIONS AND LAYOUT OF HVAC SYSTEM
- PLUMBING CONTRACTOR SHALL PROVIDE WITH ALL NECESSARY CALCULATIONS AND LAYOUT OF PLUMBING SYSTEM
- ALL FRAMING MEMBERS SHALL BE SPACED 6", UNLESS OTHERWISE INDICATED
- ALL LOAD BEARING HEADERS OVER WINDOW AND DOOR OPENINGS SHALL BE OF DBL 2 x 10, UNLESS OTHERWISE INDICATED
- ENTIRE PERIMETER WALL TO RECEIVE R-19 BATT INSULATION
- TENANT TO PROVIDE OPERABLE HOUSE DOORBELLS FOR EACH SUITE
- ALL EXISTING DOORS WILL BE REPLACED WITH NEW ONES
- ALL EXISTING WINDOWS WILL BE REPLACED WITH NEW ONES

PLAN CODED NOTES

- INDICATED BY ○
- BREAK METAL COPING
 - NEW GUARD RAIL 3' HEIGHT
 - SINGLE USE PAINTED SHIPPING CONTAINER
 - NEW WOOD FENCE
 - NEW W SHAPED STEEL COLUMN
 - BREAK METAL COPING
 - NEW W SHAPED STEEL COLUMN AND BEAM
 - NEW CUSTOM GUARDRAIL
 - CONTAINER PAINTED IN COLOR SHERWIN WILLIAMS SW 7076 CYBERSPACE
 - CONTAINER PAINTED IN COLOR SHERWIN WILLIAMS SW 6902 DECISIVE YELLOW



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Expires on December 31, 2024

PERMIT ISSUANCE	ISS. - C.S.	DATE
ISSUED	BY	

**DREAMS CLASSIC
AUTO SALES**

**NEW BUILDING AND
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Checker	X
Designer	
Drawn by	DB
Project No.	WBD.1

**PROPOSED
ELEVATION**

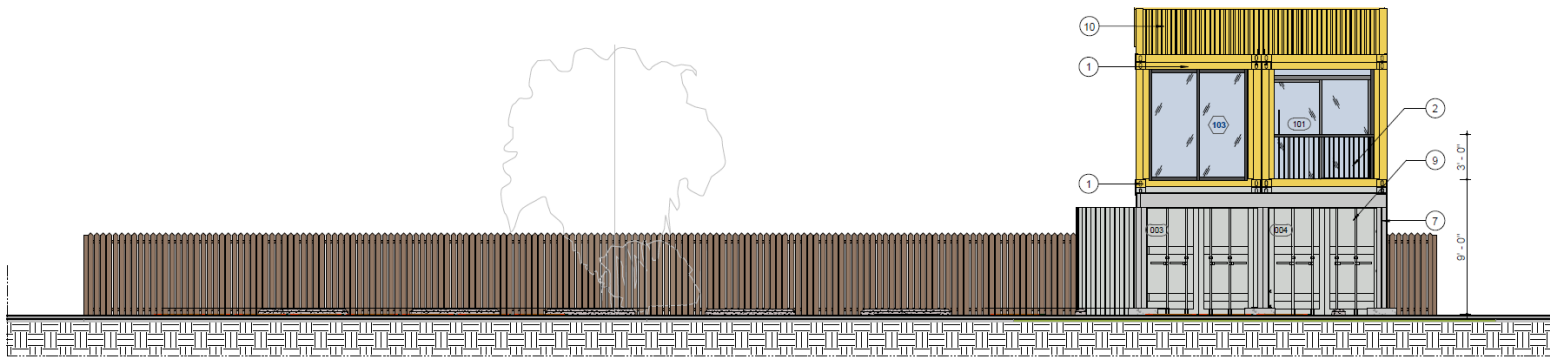
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Date	A2.0
Date	05.07.2024

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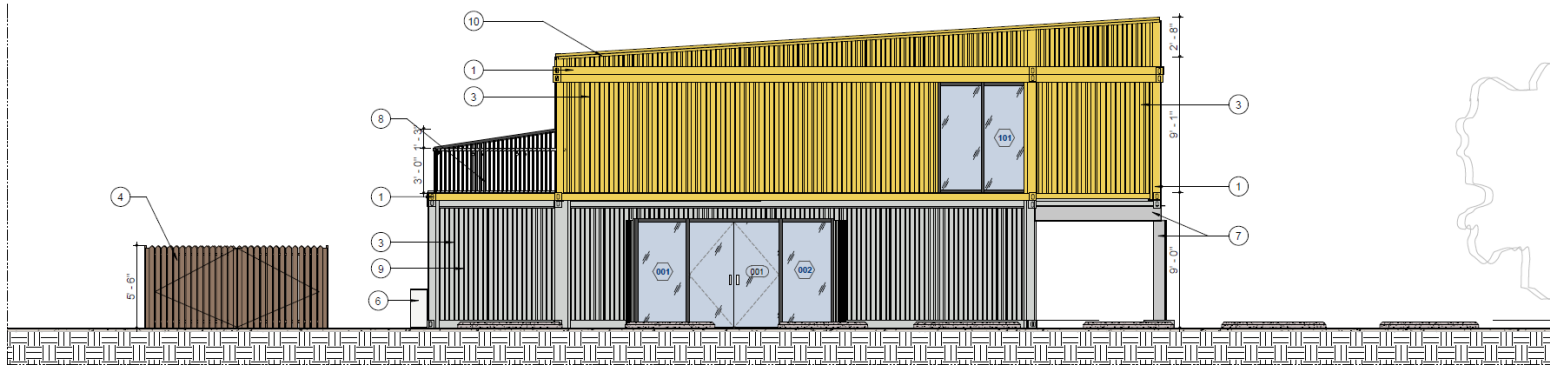
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NOTES:



1
A2.1 PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"



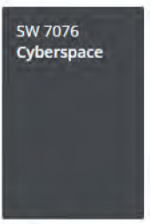
2
A2.1 PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"

GENERAL NOTES

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- ALL EXISTING DOORS WILL BE REPLACED WITH NEW ONES
- ALL EXISTING WINDOWS WILL BE REPLACED WITH NEW ONES

PLAN CODED NOTES

- INDICATED BY ○
- BREAK METAL COPING
 - NEW GUARD RAIL 3' HEIGHT
 - SINGLE USE PAINTED SHIPPING CONTAINER
 - NEW WOOD FENCE
 - NEW W SHAPED STEEL COLUMN
 - BREAK METAL COPING
 - NEW W SHAPED STEEL COLUMN AND BEAM
 - NEW CUSTOM GUARDRAIL
 - CONTAINER PAINTED IN COLOR SHERWIN WILLIAMS SW 7076 CYBERSPACE
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PROJECT INSURANCE	REV. / D.B.	DATE
ISSUED	BY	

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Author	Date
X	
Consultant Project #	Drawn by
	DB
Checked by	Reviewed by
	WBD, II

PROPOSED
ELEVATION

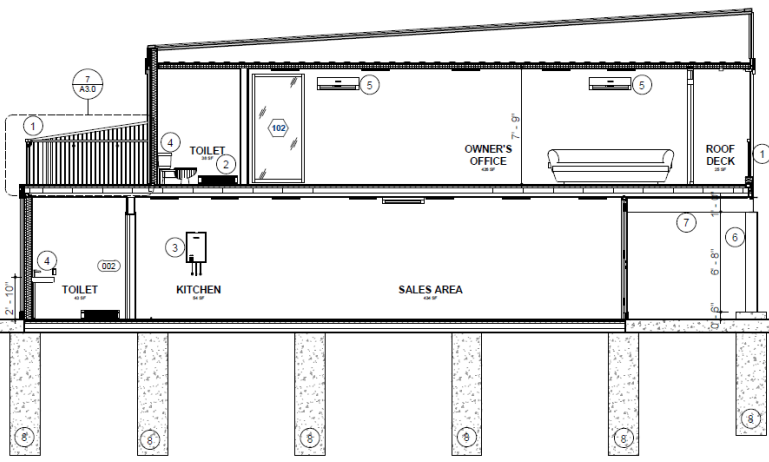
Date	Sheet
As indicated	
Date	A2.1
05.07.2024	

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 4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.

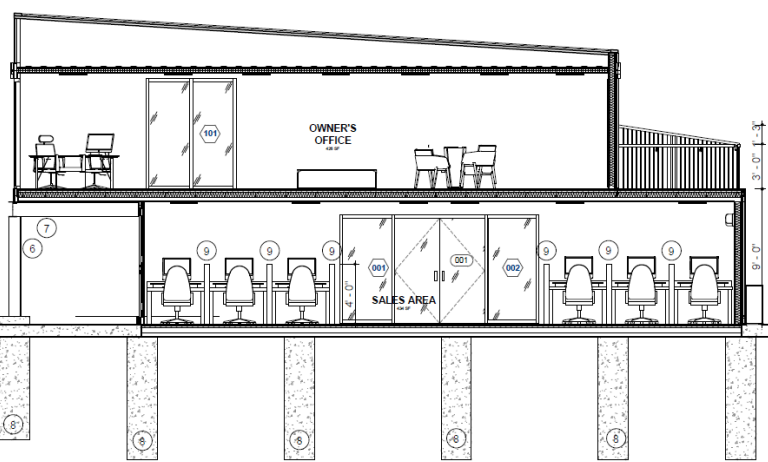
2. PRIOR TO COMMENCING ANY CONSTRUCTION WORK, OR ORDERING NEW MATERIALS AND EQUIPMENT FOR THIS PROJECT, CHECK EXISTING CONDITIONS ON BUILDING SITE, AND VERIFY DATA AND INFORMATION IN THIS DRAWING.

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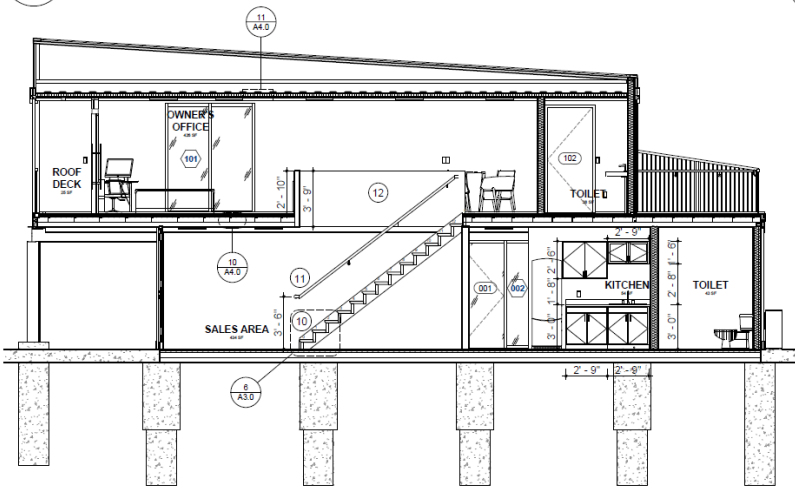
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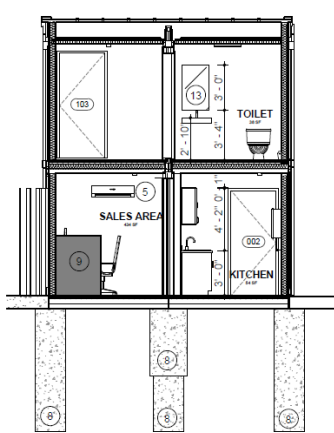
1 WEST-EAST SECTION
 A3.0 SCALE 1/4" = 1'-0"



2 WEST-EAST SECTION 2
 A3.0 SCALE 1/4" = 1'-0"



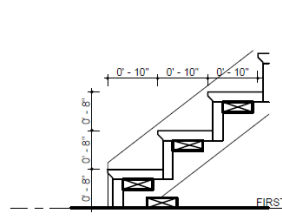
3 EAST-WEST SECTION
 A3.0 SCALE 1/4" = 1'-0"



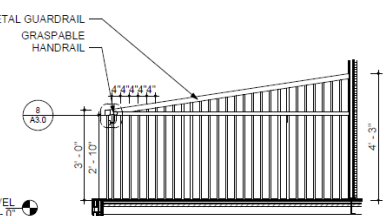
4 NORTH-EAST SECTION
 A3.0 SCALE 1/4" = 1'-0"



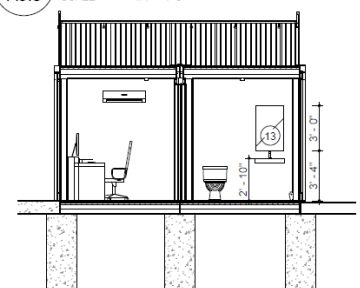
5 SOUTH-WEST SECTION
 A3.0 SCALE 1/4" = 1'-0"



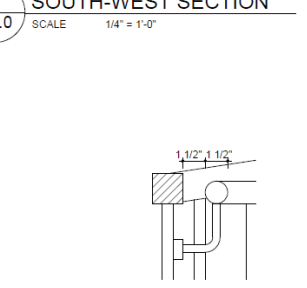
6 WD. STAIR DETAIL
 A3.0 SCALE 1" = 1'-0"



7 DECK RAILING DETAIL
 A3.0 SCALE 1/2" = 1'-0"



9 NORTH-EAST SECTION 1
 A3.0 SCALE 1/4" = 1'-0"



8 DET. GRASPABLE HANDRAIL
 A3.0 SCALE 3" = 1'-0"

GENERAL NOTES

- OWNER SHALL SELECT ALL NEW FINISHES, FURNITURE AND FIXTURES
- ALL GYP. BD. SURFACES SHALL HAVE SMOOTH NON-TEXTURED FINISH
- THE METHOD OF ATTACHMENT FOR ALL ITEMS THAT ARE TO BE SUSPENDED ARE TO BE SUSPENDED FROM THE JSTS. ABOVE. NO ATTACHMENTS TO THE DECKING ABOVE IS PERMITTED.
- REFER ARCH. DWGS. FOR LOCATION OF PLUMBING AND HEATING EQUIPMENT, FIXTURES AND OTHER ENGINEERING INSTALLATION COMPONENTS
- HVAC CONTRACTOR SHALL PROVIDE WITH ALL NECESSARY CALCULATIONS AND LAYOUT OF HVAC SYSTEM
- PLUMBING CONTRACTOR SHALL PROVIDE WITH ALL NECESSARY CALCULATIONS AND LAYOUT OF PLUMBING SYSTEM
- ALL FRAMING MEMBERS SHALL BE SPACED 6", UNLESS OTHERWISE INDICATED
- ALL LOAD BEARING HEADERS OVER WINDOW AND DOOR OPENINGS SHALL BE OF DBL 2 x 10, UNLESS OTHERWISE INDICATED
- ENTIRE PERIMETER WALL TO RECEIVE R-19 BATT INSULATION
- TENANT TO PROVIDE OPERABLE HOUSE DOORBELLS FOR EACH SUITE
- ALL EXISTING DOORS WILL BE REPLACED WITH NEW ONES
- ALL EXISTING WINDOWS WILL BE REPLACED WITH NEW ONES

PLAN CODED NOTES

- INDICATED BY
- NEW DECK RAILING
 - NEW ELECTRIC BASEBOARD HEATER
 - NEW GAS HEATER
 - NEW PLUMBING FIXTURE
 - NEW AIR CONDITIONER
 - NEW W SHAPED STEEL COLUMN
 - NEW W SHAPED STEEL BEAM
 - 24" DIAMETER CONCRETE PIER
 - NEW PARTITION H=4"
 - NEW WOOD STAIR
 - NEW RAILING
 - NEW PARTITION H=2" 10"
 - NEW MIRROR



Project Team:

UBIQUITOUS DESIGN, LTD.
 ARCHITECTS
 3443 LEE ROAD
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W. Daniel Bickelstaf
 W. Daniel Bickelstaf, E. License No. 12608
 Expires on December 31, 2024

PERMIT ISSUANCE	DATE
ISSUED	BY DATE

DREAMS CLASSIC AUTO SALES

NEW BUILDING AND SITE DEVELOPMENT

3815 EAST 93RD STREET
 CLEVELAND, OH 44105

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Author	Date
Checked By	Drawn By
Scale	Sheet No.
DB	WBD, 1

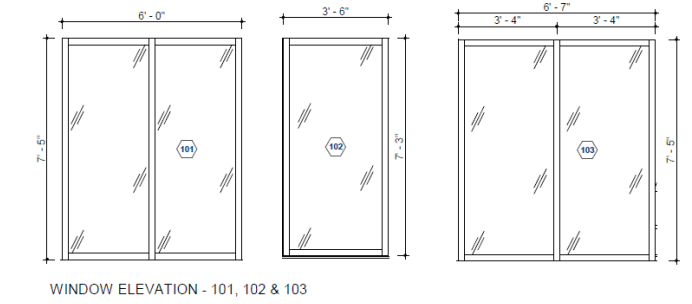
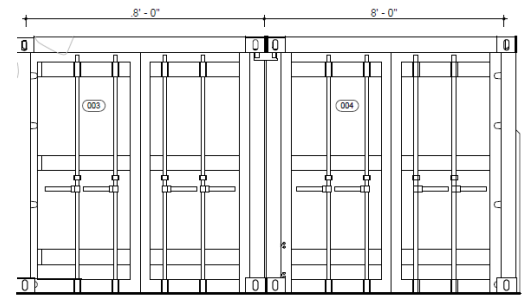
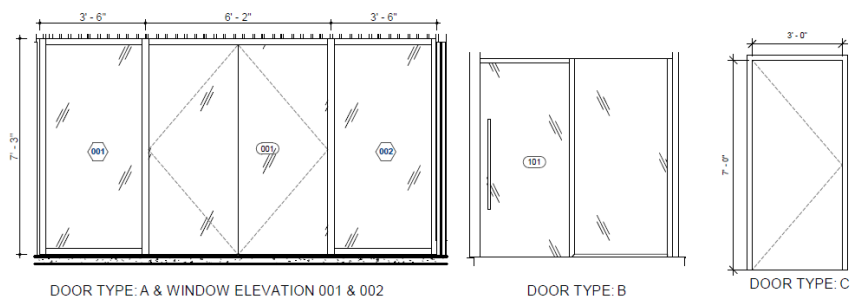
PROPOSED SECTIONS

Date	Sheet
As Indicated	A3.0
Date	05.07.2024

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HARDWARE NOTES

- ALL DOORS (UNLESS NOTED OTHERWISE) SHALL HAVE LEVER-OPERATED HARDWARE PER SECTION 4.13.9 ADAAG. ALLOWING FOR EASY OPERATION WITHOUT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER 1017.4.1 OBCC.
- DOOR OPENING FORCE SHALL COMPLY WITH ANSI A117.1(2009), SECTION 4.13.11
- PROVIDE COSMETIC SEALANT AT JOINT WHERE FRAMES MEET WALL (TYP.). COLOR TO MATCH WALL PAINT
- PROVIDE ACCEPTABLE HARDWARE FOR FIRE RATED DOORS AND FRAMES

HEAD AND JAMB DETAILS

DOORS SCHEDULE

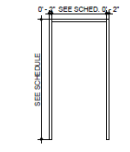
OPEN'G NO.	MARK	TYPE	MEASUREMENTS		MATERIAL	GLAZING
			Width	Height		
001	A	SLIDING	6'-0"	7'-0" 0'-1"	GLASS AND HOLLOW METAL	TEMPERED
002	B	SWING	3'-0"	7'-0" 0'-2"	WOOD	NO
101	C	SLIDING	6'-8"	7'-0" 0'-1"	GLASS AND HOLLOW METAL	TEMPERED
102	B	SWING	3'-0"	7'-0" 0'-2"	WOOD	NO
103	B	SWING	3'-0"	7'-0" 0'-2"	WOOD	NO

Grand total: 5

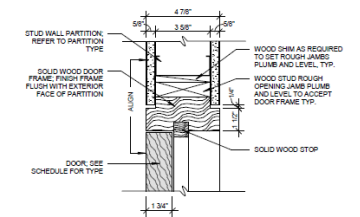
CUSTOM WINDOW SCHEDULE

OPENING	MATERIAL	GLAZING
001	ALUMINIUM AND GLASS	TEMPERED
002	ALUMINIUM AND GLASS	TEMPERED
101	ALUMINIUM AND GLASS	TEMPERED
102	ALUMINIUM AND GLASS	TEMPERED
103	ALUMINIUM AND GLASS	TEMPERED

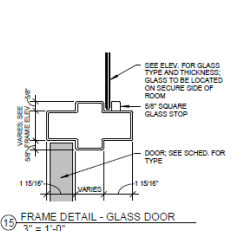
FRAME TYPE - DOOR TYPE C



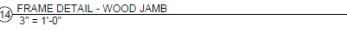
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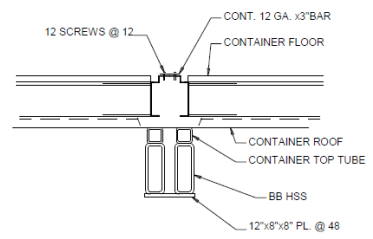
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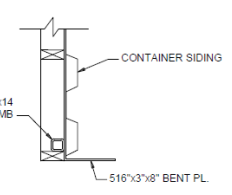
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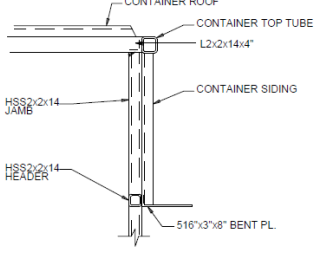
CONTAINER CONNECTOR



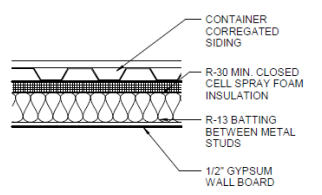
JAMB DETAIL



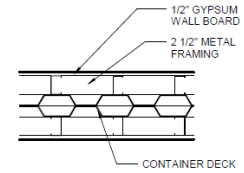
HEAD DETAIL



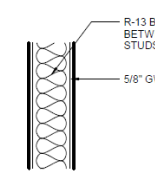
WALL 1



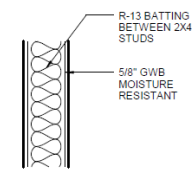
WALL 2



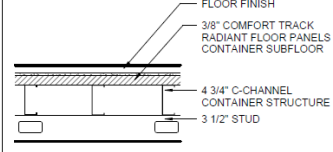
WALL 3



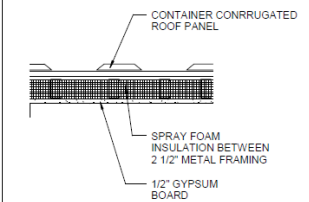
WALL 4



CONTAINER FLOOR SECTION



CONTAINER ROOF SECTION



Project Team:

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W. Daniel Bickerstaff, II License No. 126508
Expires on December 31, 2024

ISSUED BY DATE

DREAMS CLASSIC AUTO SALES

NEW BUILDING AND SITE DEVELOPMENT

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CLEVELAND, OH 44105

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Drawn by: X
 Date: _____
 Checked by: DB
 Date: _____
 Created by: WBD, II

DOORS, WINDOWS, WALL SCHEDULES

Scale: As indicated
 Date: 05.07.2024
A4.0

NOTES:

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Project Team:

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Expires on December 31, 2024

PROJECT ISSUANCE	ISS. / D.S.	
ISSUED	BY	DATE

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Approved:	Date:
X	
Drawn by:	Checked by:
DB	WBD, I

PERSPECTIVES

Issue:	Sheet:
Date:	A5.2
05.07.2024	

GENERAL SPECIFICATIONS (con.)

DIVISION 00
0000 GENERAL CONDITIONS OF THE CONTRACT
1.01 GENERAL
A. AA Document A01 General Conditions of the Contract for Construction is herein adopted as General Conditions for this Project.

DIVISION 01 0100 SUMMARY OF THE WORK
1.01 CONTRACTOR RESPONSIBILITIES
A. The contractor shall be responsible for the Owner's agents. The work will be sub-contracted for prime general trades and sub-trades at the Owner's discretion.

DIVISION 02 0200 TRENCHING
1.01 FIELD MEASUREMENTS & COORDINATION
A. Verify that survey bench mark and elevation elevations for the Work are as shown on drawings.

DIVISION 03 0300 CAST-IN-PLACE CONCRETE
1.01 REFERENCES
A. ACI 308.2 - Guide for Concrete Floor and Slab Construction
B. ACI 304 - Recommended Practice for Measuring, Mixing, Transporting and Placing Concrete.

DIVISION 04 0400 MORTAR AND GROUT
1.01 COORDINATION
A. Coordinate the placement of joint devices with election of concrete formwork and placement of form accessories.

DIVISION 05 0500 METAL FABRICATIONS
1.01 CONTRACTOR RESPONSIBILITIES
A. The contractor shall be responsible for the Owner's agents. The work will be sub-contracted for prime general trades and sub-trades at the Owner's discretion.

DIVISION 06 0600 ROUGH CARPENTRY
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 07 0700 FINISH CARPENTRY
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 08 0800 SUPPLEMENTAL CONDITIONS TO THE CONTRACT
0801 PROJECT COORDINATION
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 09 0900 MORTAR AND GROUT
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 10 1000 TOILET AND BATH ACCESSORIES
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 11 1100 WARRANTIES AND BONDS
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DIVISION 12 1200 TRENCHING
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DIVISION 13 1300 CAST-IN-PLACE CONCRETE
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 14 1400 MORTAR AND GROUT
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 15 1500 METAL FABRICATIONS
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DIVISION 16 1600 ROUGH CARPENTRY
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 17 1700 FINISH CARPENTRY
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DIVISION 18 1800 SUPPLEMENTAL CONDITIONS TO THE CONTRACT
0801 PROJECT COORDINATION
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DIVISION 19 1900 MORTAR AND GROUT
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 20 2000 TOILET AND BATH ACCESSORIES
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 21 2100 WARRANTIES AND BONDS
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DIVISION 22 2200 TRENCHING
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DIVISION 23 2300 CAST-IN-PLACE CONCRETE
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 24 2400 MORTAR AND GROUT
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 25 2500 METAL FABRICATIONS
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 26 2600 ROUGH CARPENTRY
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DIVISION 27 2700 FINISH CARPENTRY
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DIVISION 28 2800 SUPPLEMENTAL CONDITIONS TO THE CONTRACT
0801 PROJECT COORDINATION
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DIVISION 29 2900 MORTAR AND GROUT
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DIVISION 30 3000 TOILET AND BATH ACCESSORIES
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DIVISION 31 3100 WARRANTIES AND BONDS
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DIVISION 32 3200 TRENCHING
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 33 3300 CAST-IN-PLACE CONCRETE
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 34 3400 MORTAR AND GROUT
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 35 3500 METAL FABRICATIONS
1.01 CONTRACTOR RESPONSIBILITIES
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DIVISION 36 3600 ROUGH CARPENTRY
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DIVISION 37 3700 FINISH CARPENTRY
1.01 CONTRACTOR RESPONSIBILITIES
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Project Team:

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W. DANIEL BICKELMEIER, P.E.
No. 12606
Expires on December 31, 2024

W. DANIEL BICKELMEIER, P.E. LICENSE NO. 12606
Expires on December 31, 2024

DIVISION 01 0100 SUMMARY OF THE WORK
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DIVISION 05 0500 METAL FABRICATIONS
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DIVISION 06 0600 ROUGH CARPENTRY
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DIVISION 08 0800 SUPPLEMENTAL CONDITIONS TO THE CONTRACT
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1.01 CONTRACTOR RESPONSIBILITIES
A. The contractor shall be responsible for the Owner's agents. The work will be sub-contracted for prime general trades and sub-trades at the Owner's discretion.

DIVISION 11 1100 WARRANTIES AND BONDS
1.01 CONTRACTOR RESPONSIBILITIES
A. The contractor shall be responsible for the Owner's agents. The work will be sub-contracted for prime general trades and sub-trades at the Owner's discretion.

NOTES: 1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND ALL OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION. 2. PRIOR TO GENERAL NOTES AND SPECIFICATIONS AND ALL OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION. 3. DO NOT SCALE THIS DRAWING FOR ANY OTHER THAN DESIGNATED PROJECT. CHECK EXISTING CONDITIONS ON BUILDING SITE, AND VERIFY DATA AND INFORMATION IN THIS DRAWING. 4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.

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SPECIFICATIONS

Scale: 1" = 40'-0"
Date: 05.07.2024
A6.0

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1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION.
 2. PRIOR TO COMMENCING CONSTRUCTION WORK, OBTAINING NEW MATERIALS AND EQUIPMENT FOR THIS PROJECT, CHECK EXISTING CONDITIONS ON BUILDING SITE, AND VERIFY DATA AND INFORMATION IN THIS DRAWING.

NOTES:

GENERAL SPECIFICATIONS

2.03 MATERIALS
 A. Repair, clean & paint or clear finish existing removed and reinstalled hardware
 B. Match existing for replacement of existing damaged hardware
 C. Match existing as far as practical, by annotated adjacent, new hardware
 D. All door, window and misc. hardware is heavy included.

2.04 FINISHES
 A. Finishes: 1. Backsmead satin chrome
 2. Match existing materials surfaces and finishes

3.01 INSTALLATION
 A. Install hardware in accordance with manufacturer's instructions.
 B. Use templates provided by hardware item manufacturer.

3.02 FIELD QUALITY CONTROL
 A. Hardware Supplier to inspect installation and certify that hardware and installation has been furnished and installed in accordance with manufacturer's instructions and as specified.
 B. Adjust hardware for smooth operation.

3.03 PROJECT CLOSE-OUT
 A. Master keys shall be delivered by the hardware supplier directly to the architect who shall turn them over to the Owner.
 B. All other keys held by the General Contractor shall be properly tagged and identified, and delivered to the Owner at completion of the work.
 C. All rough hardware, including nails, bolts, screws, and miscellaneous items or fastenings shall be furnished and installed by the Contractor under the applicable Division of Specifications.

3.04 PROTECTION OF FINISHED WORK
 A. Provide temporary protective coverings.
 B. Do not permit adjacent work to damage hardware or finish.

09260 GYPSUM BOARD SYSTEMS

1.01 REFERENCES
 A. ASTM C56 - Gypsum Wallboard
 B. ASTM C79 - Gypsum Sheathing Board
 C. ASTM C42 - Gypsum Board and Core Board
 D. ASTM C475 - Joint Treatment Materials for Gypsum Wallboard Finishing
 E. ASTM C110 - Keys for the Application of Gypsum Wallboard
 F. ASTM C57 - Adhesive for Fastening Gypsum Wallboard to Wood Framing
 G. ASTM C502 - Water-Resistant Gypsum Sheathing Board
 H. ASTM C665 - Mineral Fiber Blank Thermal Insulation for Light Frame Construction and Manufactured Housing
 I. ASTM C510 - Approximate Gypsum Board by Weight
 J. ASTM E119 - Fire Tests of Building Construction and Materials
 K. ASTM C110 - Gypsum Board for Walls and Ceilings
 L. GA-20 - Recommended Specifications for the Application and Finishing of Gypsum Board

1.02 QUALITY ASSURANCE
 A. Perform in accordance with ASTM C56, GA-201, GA-216 and GA-600.

1.03 REGULATORY REQUIREMENTS
 A. Conform to applicable code for fire rated assemblies as follows:
 2. Fire Rated Ceiling and Soffits: Listed assembly by UL.

2.01 GYPSUM BOARD MATERIAL
 A. Standard Gypsum Board: ASTM C56, 1/2 inch thick, maximum permissible length: ends square out, tapered edges.
 B. 5/8 inch thick, maximum permissible length: ends square out, tapered edges.
 C. 1/2 inch thick, maximum permissible length: ends square out, tapered edges.
 D. 1/2 inch thick, maximum permissible length: ends square out, tapered edges.
 E. Gypsum board joint: ASTM C110, standard type, 1/8 inch thick, maximum permissible length: ends square out, square edges.

2.02 ACCESSORIES
 A. Acoustical Insulation: ASTM C665, preformed glass fiber, medium fit, type, unfaced.
 B. Acoustical Sealant: Non-hardening, non-skinning, for use in conjunction with gypsum board.
 C. Corner Beads: Metal.
 D. Edge Trim: Metal.
 E. Joint Material: ASTM C475, taping tape, joint compound, adhesive, and water.
 F. Fasteners: ASTM C110C, Type 512.
 G. Adhesive: ASTM C57.

3.01 GYPSUM BOARD INSTALLATION
 A. Install gypsum board in accordance with GA-201 and GA-216.
 B. Finish type shall be standard gypsum board with ends and edges scouring over firm backing.
 C. End single layer fire rated gypsum board (typically) with edges and ends scouring over firm backing.
 D. End exterior gypsum sheathing (typically) with edges buffed light and ends scouring over firm backing.
 E. Use screws when fastening gypsum board to wood framing or trussing.
 F. Double layer applications: Secure second layer to first with fasteners, adhesive and sufficient support to hold in place. Apply adhesive in accordance with manufacturer's instructions.
 G. Place end joints perpendicular to first layer. Other joints of second layer from joints of first layer.
 H. End exterior gypsum joint board perpendicular to wall, with staggered end joints over supports.
 I. Place control joints in lines of building spans as directed.
 K. Place trim beads at external corners with staggered joints. Place edge trim where gypsum board abuts dissimilar materials.

3.02 JOINT TREATMENT
 A. Tape, fill and sand recessed joints, edges, and corners to produce smooth surface ready to receive finishes.
 B. Feather coats onto adjoining surfaces to do camera in minimum 1/8 inch.
 C. Taping, filling and sanding is not required at surfaces behind adhesive applied ceramic tile.
 D. Tape joints and corners of cementitious backing board.
 E. All gypsum board walls, soffits, fascia and ceilings are to be smooth finish, flat and true.

3.03 TOLERANCES
 A. Maximum Variation of Finished Gypsum Board Surface from True Flatness: 1/8 inch in 10 feet in any direction.

09600 RESILIENT FLOORING

1.01 REFERENCES
 A. ASTM F1064 - Vinyl Composition Floor Tile

1.02 SUBMITTALS
 A. Product Data: Provide data on specified products, describing physical and performance characteristics; sizes, patterns and colors available.
 B. Samples: Submit two samples, 12 x 24 inches in size illustrating color and pattern for each floor material for each color specified.
 C. Manufacturer's installation instructions: Indicate special procedures and perimeter conditions requiring special attention.
 D. Maintenance Data: Include maintenance procedures, recommended maintenance materials, and suggested schedule for cleaning, stripping, and re-waxing.

1.03 REGULATORY AND ENVIRONMENTAL REQUIREMENTS
 A. Conform to applicable code for flame-spread rating requirements in accordance with ASTM E84.
 B. Store materials for three days prior to installation in area of installation to achieve temperature stability.
 C. Maintain ambient temperature required by adhesive manufacturer: three days prior to, during, and 24 hours after installation of materials.

1.04 EXTRA MATERIALS
 A. Provide 20 percent of each material selected.

2.01 MATERIALS - TILE FLOORING
 A. Vinyl Composition Tile: ASTM F1066
 B. Size: 12 x 12 inch
 C. Thickness: 1/8 inch
 D. Color and style as per Finish Schedule.

2.02 ACCESSORIES
 A. Subfloor Filler: White premix latex type, or as recommended by adhesive manufacturer.
 B. Primer and Adhesive: Waterproof types recommended by flooring manufacturer.
 C. Edge Strip: Flooring material.
 D. Caul: Strip: wood, oil, or per drawings and finish schedules.
 E. Sealer and Wax: Types recommended by flooring manufacturer.

3.01 EXAMINATION
 A. Verify floor surfaces are free of substances that may impair adhesion of new adhesive and finish materials.

3.02 PREPARATION
 A. Remove surface irregularities and bumps. Fill minor or local low spots, cracks, joints, holes, and other defects with sub-floor filler to achieve smooth, flat, tight surface.
 B. Vacuum clean substrate.
 C. Vacuum clean substrate.

3.03 INSTALLATION
 A. Apply primer to surface.
 B. Apply adhesive to surface.

3.03 INSTALLATION - TILE FLOORING
 A. Install in accordance with manufacturer's instructions.
 B. Mix tile into container to ensure shade variations are consistent when tile is placed.
 C. Grout only enough adhesive to permit installation of materials before tile is set.
 D. Set flooring in place, press with heavy roller to obtain full adhesion.
 E. Lay flooring with joints and beveled surfaces to produce symmetrical pattern.
 F. Lay tile in grid pattern with grain exposed every other tile. Allow minimum 1/2 inch size tile width at corner of area perimeter.
 G. Terminate flooring at corners of door openings where adjacent floor finish is dissimilar, or as indicated on the drawings.
 H. Install edge strips at ungrouted or exposed edges, and where flooring terminates.
 I. Grout flooring to walls, columns, baseboard, floor outlets, and other appurtenances to produce tight joints.
 J. Install flooring in pan type floor access covers. Maintain floor pattern.

3.04 CLEANING
 A. Remove excess adhesive from floor, base, and wall surfaces without damage.
 B. Clean, seal, and wax floor and base surfaces in accordance with manufacturer's instructions.

2.01 MANUFACTURERS
 1. Zenith Williams
 2. Benjamin Moore
 3. Pratt & Lambert
 B. Manufacturers' Transparent Finishes
 1. Minwax
 2. Manufacturers' Stain
 1. Minwax
 2. Benjamin Moore
 1. Zenith Williams
 2. Benjamin Moore

2.02 MATERIALS
 A. Coatings: Ready mixed, except field casted coatings. Process pigments to a soft paste consistency, capable of being readily and uniformly dispersed to a homogeneous paint and brushing properties, capable of drying or curing free of streaks or lap.
 B. Accessory Material: Labeled oil, enamel, urethane, paint thinners and other materials not specifically indicated but required to achieve the finishes specified, of commercial quality.
 C. Packing Material: Latex filler.
 D. Finisher Cover Material: Latex filler.

2.03 FINISHES
 A. Ceiling: DW # 1900, flat latex
 B. Walls: DW #1002, eggshell, latex
 C. Wet Locations: color as scheduled above, satin, oil
 D. E. Trim: all woodwork, doors, windows, misc. color as scheduled above, semi-gloss, oil
 E. F. Doors: stain sheen, clear polyurethane

1.01 REFERENCES
 A. ASTM D3559 - Test Method for Flammability of Finished Textile Floor Covering Materials.
 B. ASTM E84 - Surface Burning Characteristic of Building Materials.

1.02 SUBMITTALS
 A. Product Data: Provide data on specified products, describing physical [and performance] characteristics; sizes, patterns, colors available, and method of installation, [and layout of flat wire systems].
 B. Samples: Submit two samples, 12 x 24 inch size illustrating color and pattern for each carpet and custom material specified.
 C. Maintenance Data: Include maintenance procedures, recommended maintenance materials, and suggested schedule for cleaning.

1.03 REGULATORY AND ENVIRONMENTAL REQUIREMENTS
 A. Conform to applicable code for flame-spread rating requirements of in accordance with ASTM E84.
 B. Conform to ASTM D3559 for surface burning characteristic ignition test.
 C. Store materials for one day prior to installation in area of installation to achieve temperature stability.

09610 CARPET AND PAD

1.01 REFERENCES
 A. ASTM D3559 - Test Method for Flammability of Finished Textile Floor Covering Materials.
 B. ASTM E84 - Surface Burning Characteristic of Building Materials.

1.02 SUBMITTALS
 A. Product Data: Provide data on specified products, describing physical [and performance] characteristics; sizes, patterns, colors available, and method of installation, [and layout of flat wire systems].
 B. Samples: Submit two samples, 12 x 24 inch size illustrating color and pattern for each carpet and custom material specified.
 C. Maintenance Data: Include maintenance procedures, recommended maintenance materials, and suggested schedule for cleaning.

1.03 REGULATORY AND ENVIRONMENTAL REQUIREMENTS
 A. Conform to applicable code for flame-spread rating requirements of in accordance with ASTM E84.
 B. Conform to ASTM D3559 for surface burning characteristic ignition test.
 C. Store materials for one day prior to installation in area of installation to achieve temperature stability.

2.01 MATERIALS - CARPET
 A. Carpet: TYPE "A" as indicated on the finish schedule key.

2.02 MATERIALS - CUSHION
 A. Cushion: Carpet fiber type:
 1. Nominal Thickness: 1/2 inch
 2. Weight: 30 lbs/sq yd
 3. Density: 100 lbs/cu yd

2.03 ACCESSORIES
 A. Sub-Floor Filler: White premix latex type, as recommended by cushion manufacturer.
 B. Carpet Gripper: Type recommended by carpet manufacturer to suit application, with attachment devices.
 C. Edge Strip: Vinyl type, match finish, color per finish schedule.
 D. Adhesive: Compatible with cushion material.

3.01 PREPARATION
 A. Remove sub-floor ridges and bumps. Fill minor or local low spots, cracks, joints, holes, and other defects with sub-floor filler.
 B. Vacuum clean substrate.
 C. Vacuum clean substrate.

3.02 INSTALLATION - CUSHION
 A. Install in accordance with manufacturer's instructions.
 B. Secure by fast adhesive to sub-floor.
 C. Lay out cushion so that carpet seams will not align directly over cushion seams.
 D. Butt edges together and tight to edge of carpet gripper. Tape all joints.
 E. Remove all pockets and ridges and slightly overlap. Anchor cushion securely around projections and contours.
 F. Install cushion on stair treads and on lower landing.
 H. Install edge strips using maximum length pieces. Secure to sub-floor.

3.03 INSTALLATION - CARPET
 A. Install in accordance with manufacturer's instructions.
 B. Verify carpet match before cutting to ensure minimal variation between the lot.
 C. Double cut carpet, to allow finished seams and pattern match. Make each straight, true, and unfrayed.
 D. Locate seams in area of least traffic.
 E. Join seams by hot adhesive tape method. Form seams straight, not overwaxed or peaked, and free of gaps.
 F. Lay carpet on floors with run of pile in same direction as anticipated traffic.
 G. Do not change run of pile in any room where carpet is continuous through a wall opening into another room. Locate change of color or pattern between rooms under door certificate.
 H. Cut and separate into sections.
 I. Bind cut edges where not concealed by edge strips.
 J. Where wall bases are scheduled, cut carpet 1/4 inch from walls to allow re-retching. Fit carpet tight to vertical interruptions, leaving no gaps.
 K. Lay carpet tight and flat on subfloor, well fastened to edges, with a uniform appearance. Provide monolithic color, pattern, and texture match within any one area.
 L. Install the piece prior to cutting strips where carpet terminates at other floor openings. Where splicing cannot be avoided, seam ends tight and flush.
 M. Install carpet continuously to stair treads, full width. Install in one piece. Adhere carpet on treads and risers and butt tight to nosing.

3.04 CLEANING
 A. Correct wax material which may constitute a fire hazard, place in closed metal containers and remove daily from site.
 B. Clean and vacuum carpet surfaces.

3.01 PREPARATION
 A. Remove electrical shades, hardware, light fixture trim, auto-catchers, and fittings prior to preparing surfaces or finishing.
 B. Confirm details and clean surfaces which affect work of this section. Remove existing coatings that exhibit loose surface defects.
 C. Seal with sealer; seal and mark which may bleed through surface finishes.
 D. Improve surfaces. Remove mill scale by scrubbing with solution of 10% sodium phosphate and bleach. Rinse with clean water and allow surface to dry.
 E. Concrete Floors: Remove contamination, oil, and grease floors with clean water with sealer. Verify required acid/alkali balance is achieved. Allow to dry.
 F. Gypsum Board Surfaces: Fill minor defects with filler compound. Spot prime defects after repair.
 G. Concrete and Unit Masonry Surfaces: Schedule to Receive Paint Finish. Remove dirt, loose mortar, scale, salt or alkali powder, and other foreign matter. Rinse and grease with a solution of 10% sodium phosphate, rinse well and allow to dry. Remove stains caused by washing of coating metals with a solution of sodium metasilicate after thoroughly wetting with water. Allow to dry.
 H. Plaster Surfaces: Fill hair cracks, small holes, and imperfections with latex patching plaster. Make smooth and flush with adjacent surfaces. Wash and neutralize high alkali surfaces.
 I. Uncoated Steel and Iron Surfaces: Remove grease, mill scale, weld spatter, dirt, and rust. Wash heavy coatings of scale and rust; remove by [hand] power tool wire brushing or sandblasting; clean by washing with solvent. Apply a treatment of phosphoric acid solution, ensuring wet joints, bolts, and nuts are similarly cleaned. Spot prime paint after repair.
 J. Shop Primed Steel Surfaces: Sand and scrape to remove loose primer and rust. Feather edges to make touch-up patches inconspicuous. Clean surfaces with solvent. Prime steel surfaces. Prime metal items including shop primed frames.
 K. Interior Wood Items Scheduled to Receive Paint Finish: Wipe off dust and grit prior to priming. Seal knots, patch streaks, and apply sections with sealer. Fill nail holes and cracks after primer has dried, sand between coats.
 L. Interior Wood Items Scheduled to Receive Transparent Finish: Wipe off dust and grit prior to washing, seal knots, patch streaks, and apply sections with sealer. Fill nail holes and cracks after sealer has dried, sand lightly between coats.
 M. Exterior Wood Surfaces: Remove dirt, grime, and foreign matter. Seal knots, patch staining, and apply sections with sealer. Fill nail holes with tinted exterior caulking compound after primer coat has been applied.
 N. Exterior Wood Scheduled to Receive Transparent Finish: Remove dirt, grime, and foreign matter; seal knots, patch streaks, and apply sections with sealer. Fill nail holes with tinted exterior caulking compound after sealer has been applied.
 O. Wood and Metal Doors Scheduled for Painting: Seal top and bottom edges with primer.

3.02 APPLICATION
 A. Apply products in accordance with manufacturer's instructions.
 B. Do not apply finishes to surfaces that are not dry.
 C. Apply each coat to uniform finish.
 D. Apply each coat of paint slightly darker than preceding coat unless otherwise approved.
 E. Coat wood and metal lightly between coats to achieve required finish.
 F. Wash clean surfaces free of loose particles. Use light touch just prior to applying next coat.
 G. Allow applied coat to dry before next coat is applied.
 H. Prime concealed surfaces of interior and exterior woodwork to receive paint.
 I. Prime concealed surfaces of interior woodwork scheduled with primer coat in varnish finish with gloss varnish reduced 25 percent with mineral spirits.

3.03 CLEANING
 A. Correct wax material which may constitute a fire hazard, place in closed metal containers and remove daily from site.

1.02 SUBMITTALS
 A. Product Data: Provide data on all finishing products.
 B. Samples: Submit two samples illustrating range of colors and textures available for each surface finishing product scheduled.
 C. Manufacturer's instructions: Indicate special preparation procedures and substrate conditions requiring special attention.

1.03 DELIVERY, STORAGE, AND HANDLING
 A. Deliver products to site in sealed and labeled containers; inspect to verify acceptability.
 B. Consider label to include manufacturer's name, type of paint, brand name, coverage, surface preparation, drying time, cleanup requirements, color designation, and instructions for mixing and reworking.
 C. Store paint materials at minimum ambient temperature of 45 degrees F. (7 degrees C.) and a maximum of 90 degrees F. (32 degrees C.), in ventilated area, and as required by manufacturer's instructions.

1.04 ENVIRONMENTAL REQUIREMENTS
 A. Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by the paint product manufacturer.
 B. Do not apply finishes during rain or snow, or when relative humidity is outside the humidity ranges required by the paint product manufacturer.
 C. Minimum application temperatures for Latex Finishes: 45 degrees F. (7 degrees C.) for interiors, 35 degrees F. (10 degrees C.) for exterior. Unless Required otherwise by manufacturer's instructions.
 D. Minimum application temperatures for Varnish and Stained Finishes: 65 degrees F. (19 degrees C.) for interior or exterior, unless required otherwise by manufacturer's instructions.
 E. Provide lighting level of 50 fc candles measured midheight at substrate surface.

1.05 EXTRA MATERIALS
 A. Provide 1 gallon of each color type to Owner.
 B. Label each container with color, type, texture and room locations.

1.03 ENVIRONMENTAL REQUIREMENTS
 A. Do not install adhesives in an unventilated environment.
 B. Maintain 50 degrees F degrees during installation of mortar materials.
 C. Maintain 50 degrees F degrees during curing of mortar materials.

1.04 EXTRA MATERIALS
 A. Provide 10 ft. of each size, color, and surface finish of the specified.

2.01 CERAMIC TILE MATERIALS
 A. Ceramic [Glazed] Floor Tile: ANSI A117.1, conforming to the following:
 1. Moisture Absorption: 0.1 to 0.3 percent
 2. Size: 4 x 4
 3. Shape: square
 4. Edge: square
 5. Surface Finish: Floor Tile: Matte glazed
 6. Color: gully, submit three (3) sample options
 7. Cove Base to match floor tile and per drawings for profile, typical.

2.02 MORTAR AND GROUT MATERIALS
 A. Mortar Materials: ANSI A118.1, Dry Mix and water.
 B. Grout: ANSI A118.6, Dry Mix, color as per drawings.
 C. Mix and proportion per tile and grout materials in accordance with manufacturer's instructions.

2.03 ACCESSORIES
 A. Reinforcing Mesh: expanded metal mesh, galvanized.
 B. Thresholds: Marble, color and type to match existing, smooth finish, sized to fit opening, beveled one side for adjacent to the applications, both sides for the tile and similar.
 C. Mix and proportion per tile and grout materials in accordance with manufacturer's instructions.

3.01 PREPARATION
 A. Protect surrounding work from damage or degradation.
 B. Install tile, thresholds and grout in accordance with manufacturer's instructions and to TCA Handbook.
 C. Confirm installation schedule with Architect prior to the execution of work of this section. Do not interrupt the pattern through opening.
 D. Place thresholds at exposed tile edges and at locations indicated and/or scheduled.
 E. Cut and finish tiles to penetrations through tile. Form corners and bases as scheduled neatly. Align floor, base, ceiling and wall joints.
 F. Seal joints uniform in width, subject to tolerance allowed in the size. Make joints watertight, without voids, cracks, excess mortar, or excess grout.
 G. Seal substrate surface cracks with filler, mesh tape and thin-set mortar as necessary. Level existing substrate surface to acceptable flatness tolerance.
 H. Keep control joints free of accumulation of grout. Apply sealer to joints.
 I. Allow tile to set for 24 hours of minimum of 48 hours prior to grouting.
 J. Grout the tile.

3.02 INSTALLATION - THINSET METHOD
 A. Install tile, thresholds and grout in accordance with manufacturer's instructions and to TCA Handbook.
 B. Confirm installation schedule with Architect prior to the execution of work of this section. Do not interrupt the pattern through opening.
 C. Place thresholds at exposed tile edges and at locations indicated and/or scheduled.
 D. Cut and finish tiles to penetrations through tile. Form corners and bases as scheduled neatly. Align floor, base, ceiling and wall joints.
 E. Seal joints uniform in width, subject to tolerance allowed in the size. Make joints watertight, without voids, cracks, excess mortar, or excess grout.
 F. Seal substrate surface cracks with filler, mesh tape and thin-set mortar as necessary. Level existing substrate surface to acceptable flatness tolerance.
 G. Keep control joints free of accumulation of grout. Apply sealer to joints.
 H. Allow tile to set for 24 hours of minimum of 48 hours prior to grouting.
 I. Grout the tile.

3.03 CLEANING
 A. Clean tile and grout surfaces.

3.04 PROTECTION OF FINISHED WORK
 A. Do not permit traffic over finished floor surface for 4 days after installation.

10000 TILE AND BATH ACCESSORIES

1.01 REFERENCES
 A. ASTM A467 - Stainless and Heat-Resisting Chromium-Nickel-Copper Flat Plate, Sheet, and Strip.
 B. ASTM A469 - Stainless and Heat-Resisting Austenitic Stainless Steel Tubing for General Service.
 C. ASTM A468 - Steel, Carbon, Cold-Rolled Sheet, Commercial Quality.
 D. ASTM A466 - Electrodeposited Coatings of Copper Plus Nickel Plus Chromium and Nickel Plus Chromium.

1.02 SUBMITTALS
 A. Product Data: Provide data on accessories describing finish, form, details of function, attachment methods.
 B. Manufacturer's installation instructions: Indicate special procedures and perimeter conditions requiring special attention.

1.03 COORDINATION
 A. Coordinate the work with the placement of internal wall reinforcement to receive anchor attachments.

2.01 PRODUCTS
 A. All products identified in schedule below are as manufactured by Borker.
 B. Architect approved substitutes only.

2.02 ACCESSORIES
 A. Fasteners, Screws, and Bolts: Hot dip galvanized, tamper/rot and security type.
 B. Expansion Shields: Flare, wax, or rubber as recommended by accessory manufacturer for component and substrate.

2.03 FINISHES
 A. GARDING: ASTM A123 to 1.25 oz/sq yd. Galvanize ferrous metal and fastening devices.
 B. Shop Primed Ferrous Metals: Preheat and clean, spray apply one coat primer and bake.
 C. Enamel: Preheat to clean condition, apply one coat primer and minimum two coats electrocoat baked enamel.
 D. Chrome/Nickel Plating: ASTM B466, Type DC 2, satin or polished finish.
 E. Stainless Steel: US200
 F. Back panel components where contact is made with building finishes to prevent electrolysis.

3.01 INSTALLATION
 A. Deliver materials and rough-in frames to site for timely installation.
 B. Provide templates and rough-in measurements as required.
 C. Install accessories in accordance with manufacturer's instructions and ANSI A117.1.
 D. Install pump and valve, security and gully anchors to substrate.

3.02 SCHEDULE
 A. ITEM PRODUCE MODEL # FINISH
 1. Toilet Flush Dispenser B-2886 US200
 2. Soap Dispenser B-262 US200
 3. Soap Dispenser B-4112 US200
 4. Napkin Dispenser B-2630 US200
 5. Mirror B-2633-1630 US200
 6. Hand Drier B-709 white
 7. Hook B-1630 US200
 8. Waste Receptacle B-271 US200
 9. Grid Bars B-4105 US200



Project Team:

UBIQUITOUS DESIGN, LTD. ARCHITECTS

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 INVERHILLS, OHIO 44120
 P: 216.763.4446 F: 216.763.5011 MAILING: UBD@UBIQUITOUS.COM



W. Daniel Blankenship, P. License No. 12605
 Expires on December 31, 2024

PERMIT NUMBER	REV.	DATE

DREAMS CLASSIC AUTO SALES

NEW BUILDING AND SITE DEVELOPMENT

3815 EAST 93RD STREET
 CLEVELAND, OH 44105

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Revision	Date

SPECIFICATIONS

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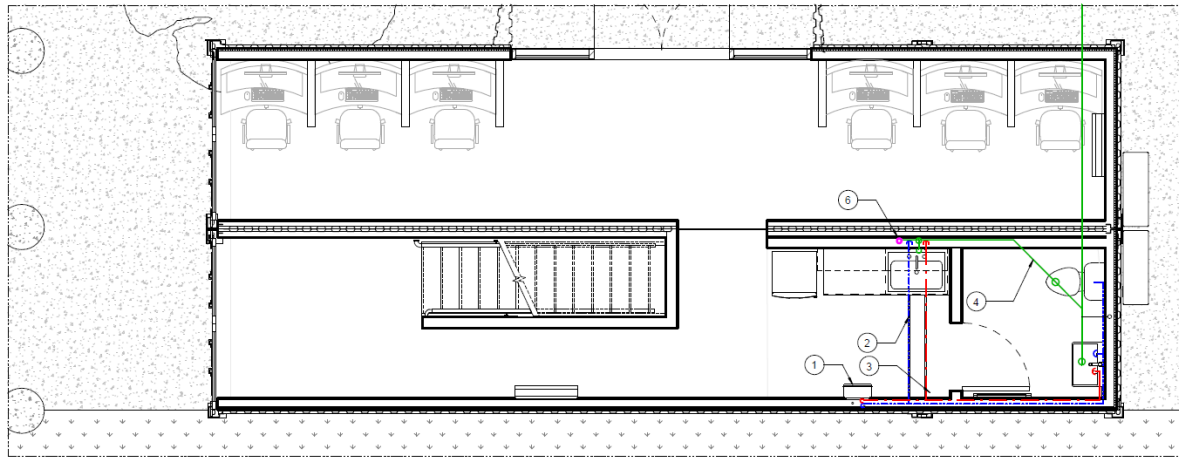
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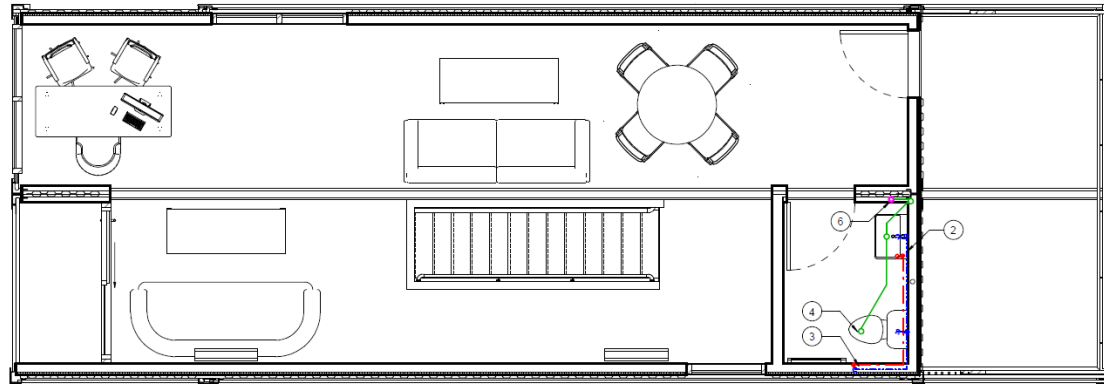
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1 PLUMBING FIRST LEVEL
E.1.1 SCALE 3/8" = 1'-0"



2 PLUMBING SECOND LEVEL
E.1.1 SCALE 3/8" = 1'-0"

GENERAL PLUMBING NOTES

1. PLUMBING CONTRACTOR TO DETERMINE THE LOCAL PLUMBING AUTHORITY REGULATIONS FOR GREASE INTERCEPTORS AND FLOOR DRAINS REQUIRING TRAP PRIMERS. NOTIFY THE ARCHITECT IF REQUIREMENTS ARE IN CONFLICT WITH DESIGN INDICATED ON THE DRAWINGS.
2. THE PLUMBING CONTRACTOR SHALL FIELD VERIFY THE SIZE AND LOCATION OF THE EXISTING CW, SAN & GAS. NOTIFY THE ARCHITECT IF THE EXISTING CONDITIONS PREVENT INSTALLATION OF NEW PIPING AS INDICATED.
3. THE PLUMBING CONTRACTOR SHALL REUSE THE EXISTING SANITARY SEWER VENT, HW AND CW PLUMBING LINES TO THE MAXIMUM EXTENT POSSIBLE UNDER THE FOLLOWING CONDITIONS: PROVIDE VISUAL INSPECTION TO DETERMINE ACCEPTABLE CONDITION OF ALL EXISTING PIPING. IF THE EXISTING PIPING IS FOUND TO BE IN GOOD CONDITION AND ABLE TO PASS THE PRESSURE TEST AS REQUIRED BY THE OHIO PLUMBING CODE AND THE LOCAL PLUMBING INSPECTOR, THEN THEY MAY BE REUSED. CONTRACTOR SHALL INCLUDE A ONE YEAR GUARANTEE OF ALL REUSED EXISTING PIPING.
4. THE PLUMBING CONTRACTOR SHALL SNAKE OUT ALL REUSED SANITARY SEWERS FROM THE TERMINATION POINT IN THE BUILDING TO THE MAIN SEWER TIE-IN CONNECTION IN THE STREET. THE CONTRACTOR SHALL THEN DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THAT THE SEWERS ARE FREE-FLOWING.
5. PROVIDE DEMOLITION OF ALL UNUSED EQUIPMENT, ELECTRICAL PIPING, DUCTWORK AND PIPING AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK. VERIFY THE SCOPE OF DEMOLITION WORK WITH THE OWNER.
6. DOMESTIC WATER PIPING SHALL BE TYPE "L" AND INSULATED WITH 1" GLASS FIBER AND ALL PURPOSE JACKET. LABEL PIPING, WASTE AND VENT PIPING SHALL BE SCHEDULE 40 CAST IRON (ABOVE CEILING IS PLENUM). INSTALL VALVE STOPS AT ALL FIXTURES.
7. VERIFY EXACT LOCATION FOR CONNECTION TO LANDLORDS DOMESTIC WATER TAP AND SANITARY TAP.
8. ALL WORK AT TENANT'S EXPENSE UNLESS NOTED OTHERWISE IN LEASE.
9. ANY EXPOSED GAS PIPING SHALL BE PAINTED TO MATCH BUILDING / PER LL CRITERIA.
10. ANY EXPOSED GAS PIPING SHALL BE PAINTED TO MATCH BUILDING / PER LL CRITERIA.
11. THE WATER SUB METER IS REQUIRED TO MATCH EXISTING TYPES AS ALREADY INSTALL ON THE PROPERTY. IF ONE DOES NOT CURRENTLY EXIST, CONFIRM WITH THE LANDLORD REPRESENTATIVE BEFORE PURCHASING AND FOR LOCATION OF THE READER.
12. NO PEX AND/OR PLASTIC WATER PIPING PERMITTED ABOVE OR BELOW SLAB.
13. ALL WATER LINES SHALL BE INSULATED FROM END TO END. INCLUDES ANY ABOVE CEILINGS OR IN WALLS.
14. ALL METERS ARE BY TENANT AND AT TENANT'S EXPENSE.

PLUMBING FIXTURE SCHEDULE						
COUNT	DESCRIPTION	MODEL	HW	CW	SAN	VENT
1	NEW KITCHEN SINK	DRIP IN BOWL	1/2"	1/2"	1-1/2"	1-1/2"
2	NEW LAVATORY		1/2"	1/2"	3"	1-1/2"
2	NEW WATER CLOSET	1'CADET, 1.6 GPF, ADA HEIGHT	-	1/2"	3"	2-1/2"

PLAN CODED NOTES INDICATED BY ○

- 1 NEW HOT WATER HEATER
- 2 NEW COLD WATER PIPE 1/2"
- 3 NEW HOT WATER PIPE 1/2"
- 4 NEW SANITARY PIPE 3"
- 5 NEW SANITARY PIPE TO JOIN EXISTING WATER LINE
- 6 NEW VENT



Project Team:

UBIQUITOUS DESIGN, LTD.
ARCHITECTS

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SHAKER HEIGHTS, OHIO 44122
P: 216.762.4444 F: 216.762.8111 ARCHITEX@UBIQUITOUS.COM



W. Daniel Bickelstaf, P.E.
W. DANIEL BICKELSTAF, II LICENSE NO. 12608
Expires on December 31, 2024

REVISION	DATE

**DREAMS CLASSIC
AUTO SALES**

NEW BUILDING AND
SITE DEVELOPMENT

3815 EAST 93RD STREET
CLEVELAND, OH 44105

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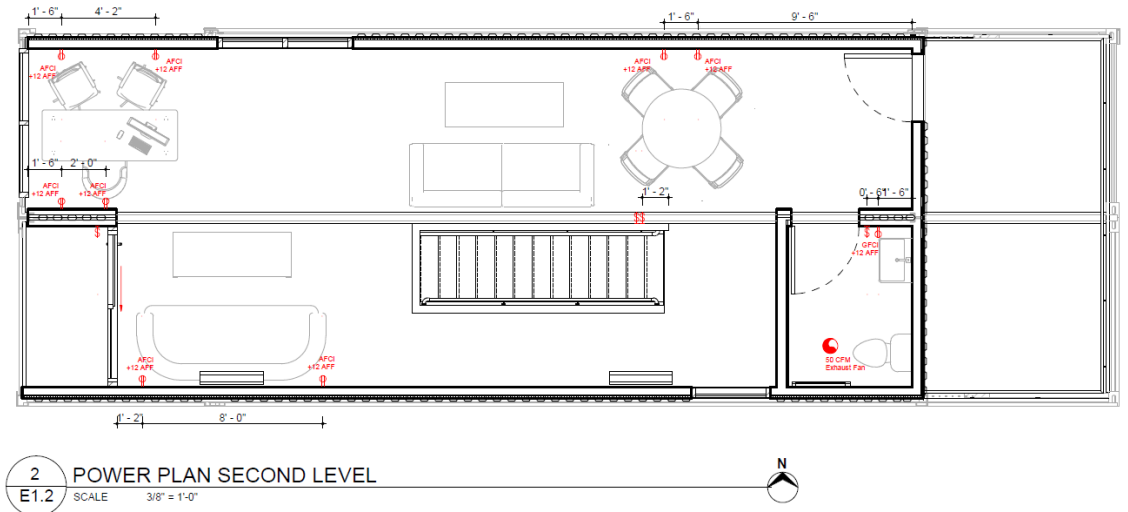
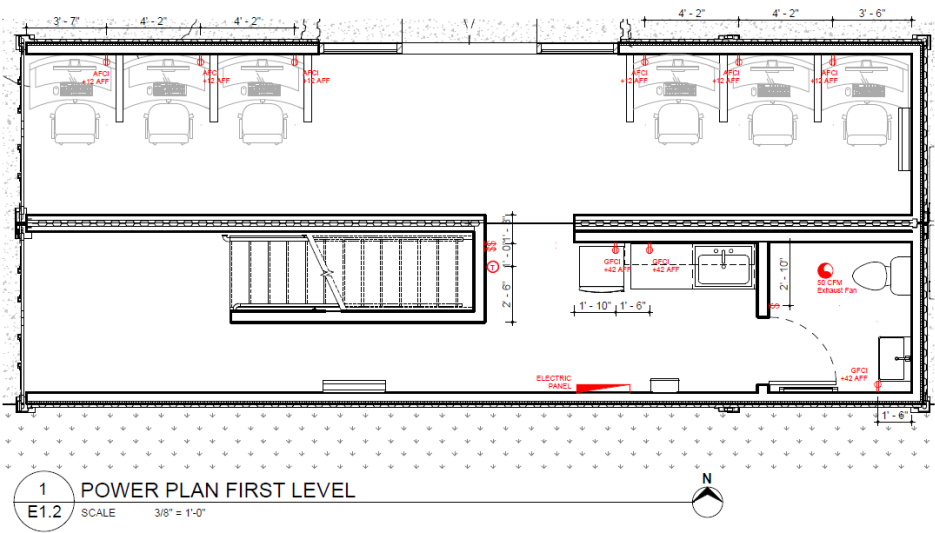
Author	Date
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PROPOSED PLUMBING

Date: As indicated
Date: 05.07.2024
E.1.1

NOTES:

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4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.



GENERAL ELEC. NOTES

1. ALL DEVICES, EQUIPMENT, LUMINAIRES, ETC., MUST BE GROUNDED BY USE OF A PROPERLY SIZED GROUNDING CONDUCTOR. MECHANICAL/ELECTRICAL BONDS OF THE METALLIC RACEWAY SYSTEM SHALL ALSO BE MAINTAINED.
2. BRANCH CIRCUIT WIRE SIZES (AND CONDUITS) SHALL BE INCREASED FROM THESE INDICATED ON THE PLANS TO PREVENT EXCESSIVE VOLTAGE DROP. BRANCH CIRCUITS SHALL BE INSTALLED WITH WIRES OF SUFFICIENT SIZE SO THAT VOLTAGE DROP BETWEEN THE PANEL AND THE LOADS DOES NOT EXCEED A LIMIT OF 3%.
3. CIRCUITS MAY BE COMBINED IN CONDUIT PROVIDED WIRE IS PROPERLY DE-RATED AND CONDUIT SIZED PER CODE. UNDER NO CIRCUMSTANCES SHALL MORE THAN NINE (9) CURRENT CARRYING CONDUCTORS BE RUN IN A SINGLE CONDUIT.
4. ALL CONDUITS SHALL CONTAIN A GROUND WIRE SIZED PER NEC TABLE #250-122. WHERE CIRCUIT CONDUCTORS ARE INCREASED IN SIZE FOR VOLTAGE DROP, THE GROUND WIRE SIZE SHALL BE INCREASED PROPORTIONATELY (ACCORDING TO CIRCULAR MIL AREA) FROM THE SIZE REQUIRED BY NEC TABLE #250-122.
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6. ALL DEVICES SHALL BE WHITE WITH MATCHING COVERPLATES, UNLESS NOTED OTHERWISE.
7. ALL EXIST SIGNS, EMERGENCY LIGHTING BATTERY PACKS, EMERGENCY LUMINAIRES (ON GENERATOR OR EMERGENCY LIGHTNING BATTERY PACKS INTEGRAL TO LUMINAIRE), AND NIGHT LIGHTS (DENOTED 'NL') SHALL BE CONNECTED TO THE LOCAL LIGHTING CIRCUIT AHEAD OF ANY CONTROLS SUCH AS: SWITCHES (DEVICE), OCCUPANCY SENSORS AND/OR RELAY CONTROLS.
8. THE CEILING INSTALLATION PRIORITY IS LIGHTS, HVAC DIFFUSER AND FIRE ALARM DEVICES.
9. ALL RECEPTACLES IN TOILETS AND SHAMPOO STATIONS SHALL BE GFCI.
10. ALL ELECTRIC FIXTURES SHALL BE SUSPENDED EXCEPT IN TOILET AND VIP ROOM, WHERE WILL BE.

LEGEND

- GYPSUM BOARD CEILING
- LIGHT FIXTURES TYPICAL: REFER TO ELECTRICAL DRAWINGS
- MECHANICAL DIFFUSERS: REFER TO MECHANICAL DRAWING
- EMERGENCY AND EXIT LIGHTS
- SMOKE DETECTOR
- EXHAUST FAN
- DUPLEX RECEPTACLE
- SWITCH



Project Team:

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ARCHITECTS

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W. Daniel Eichenstaft
W. Daniel Eichenstaft, E License No. 12608
Expires on December 31, 2024

PROJECT ORIGINATOR	SCALE	DATE
ISSUED	BY	

**DREAMS CLASSIC
AUTO SALES**

NEW BUILDING AND
SITE DEVELOPMENT

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CLEVELAND, OH 44105

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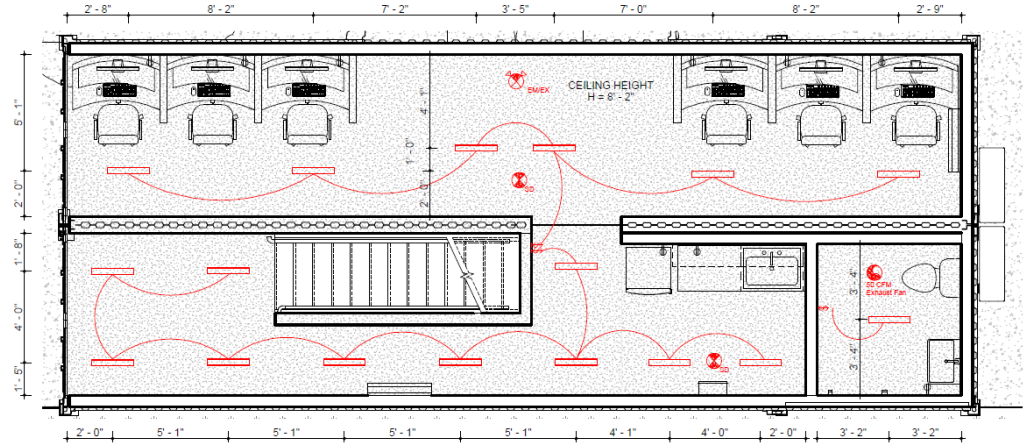
Author	Date
X	
Checker/Project #	Drawn by
	DB
Reviewed by	Project No.
	WBD, II

**PROPOSED POWER
PLAN**

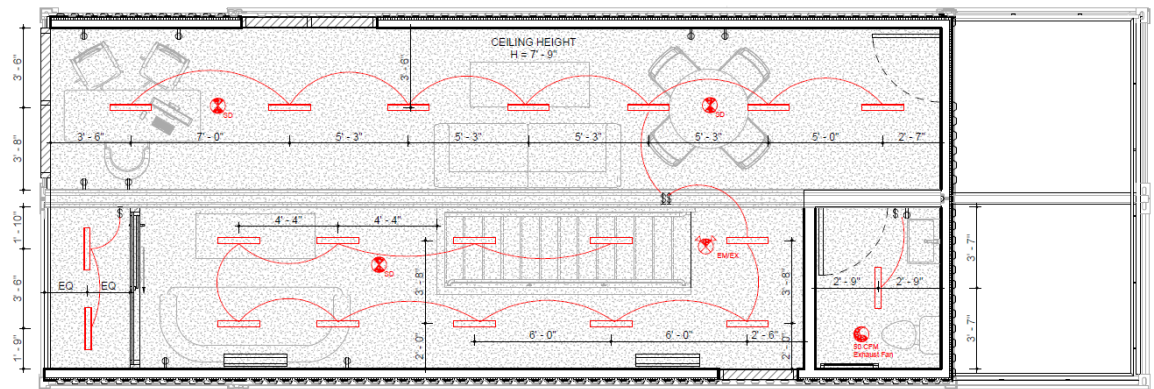
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As Indicated	
Date	E1.2
05.07.2024	

NOTES:

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1 LIGHTNING PLAN FIRST LEVEL
E1.3 SCALE 3/8" = 1'-0"



3 LIGHTNING PLAN SECOND LEVEL
E1.3 SCALE 3/8" = 1'-0"

GENERAL ELEC. NOTES

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- EMEX EMERGENCY AND EXIT LIGHTS
- SD SMOKE DETECTOR
- EF EXHAUST FAN
- DUPLEX RECEPTACLE
- SWITCH



Project Team:

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 W. Daniel Bickelstaf, E License No. 12605
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ISSUED	BY	DATE

DREAMS CLASSIC
AUTO SALES

NEW BUILDING AND
 SITE DEVELOPMENT

3815 EAST 93RD STREET
 CLEVELAND, OH 44105

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Approval	Date
X	

Consultant Report #	Drawn by	Checked by
	DB	WBD, II

PROPOSED LIGHTNING
 PLAN

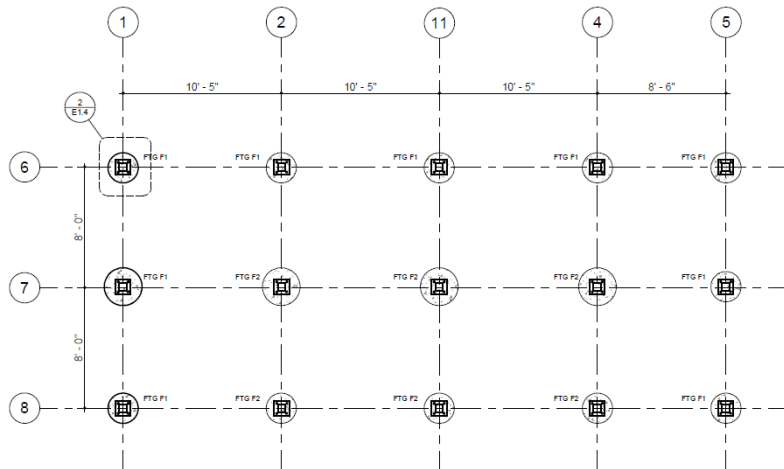
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As indicated	E1.3
05.07.2024	

NOTES:

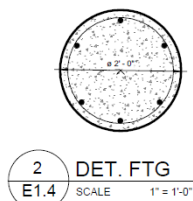
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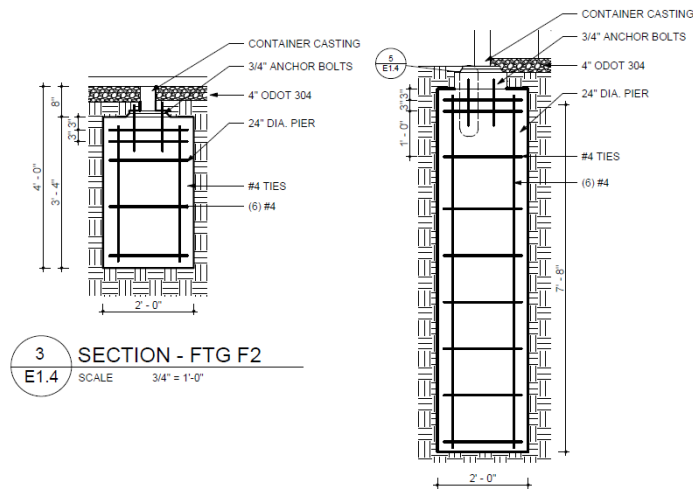
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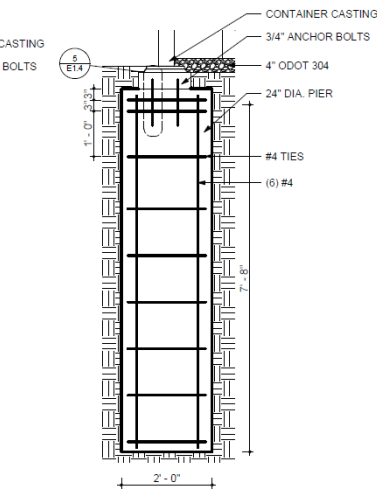
1
E1.4 PROPOSED STRUCTURAL PLAN
SCALE 1/4" = 1'-0"



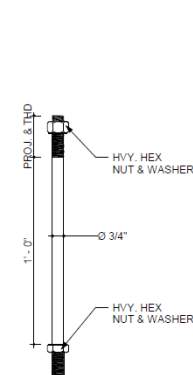
2
E1.4 DET. FTG
SCALE 1" = 1'-0"



3
E1.4 SECTION - FTG F2
SCALE 3/4" = 1'-0"



4
E1.4 SECTION - FTG F1
SCALE 3/4" = 1'-0"



5
E1.4 ANCHOR BOLT DETAIL
SCALE 3" = 1'-0"

GENERAL NOTES

1. T/FTG ELEVATIONS ARE REFERENCED FROM TOP OF FIN. GRADE ELEV 0'-0"
2. BOTTOM OF ALL PERIMETER FTGS TO BE MIN 3'-6" BELOW ADJACENT FINISH GRADE
3. FROST SLAB SIZE & LOCATION COORD. W/ ARCH
4. G.C. TO VERIFY GFTG. DEPTH IN FIELD
5. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN IN PLAN
6. ALL COLUMN BASE PLATES TO BE PLACED ON TOP OF FOOTINGS BELOW
7. DIMENSIONS SHOWN ARE TO CENTER LINE OF FOOTINGS



Project Team:

UBIQUITOUS DESIGN, LTD.
ARCHITECTS

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W. Daniel Bickelstaf
W. Daniel Bickelstaf, E License No. 12608
Expires on December 31, 2024

PERMIT NUMBER	REV. D.S.
ISSUED	BY DATE

DREAMS CLASSIC
AUTO SALES

NEW BUILDING AND
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Author	Date
X	
Consultant	Drawn by
WBD, II	DB

PROPOSED
STRUCTURAL PLAN

Scale	Sheet
As indicated	E1.4
Date	
05.07.2024	

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

NW2023-036 – Brevier Townhomes New Construction: Seeking Schematic Design Approval

May 17, 2024

Project Address: 1831 Brevier Avenue

Project Representative: Stephen Cicoretto, Architect

Note: the Planning Commission granted this item Conceptual Approval on February 16, 2024.

Ward 3- Councilmember McCormack | SPA: Tremont



City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F:

216/664-3281

www.planning.clevelandohio.gov

Planning Commission/Design Review Application

DATE: 4/2/24

PROJECT NAME: Brevier Place Townhomes (Final Name TBD)

PROJECT ADDRESS: 1831 Brevier Avenue, Cleveland, OH 44113 (1830 Brevier Avenue, Clev

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review): Casey Marks

COMPANY: 1080 Development

PHONE: 4402890707

EMAIL: casey@marksbuilding.com

OWNER: 1080 Development

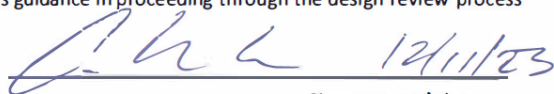
ARCHITECT/ CONTRACTOR: SteveCiciretto

PROJECT TYPE: New Building Rehabilitation Addition Sign Fence Parking

USE TYPE: Residential Commercial Industrial Institutional Mixed-Use

Review Level: Storefront Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project.


Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

This project includes the development of two undeveloped, treeless parcels on Brevier Avenue, 1830 and 1831, which sit across the street from each other. The concept is to provide two residential products, which includes 5, 3 bedroom townhomes on the south side of the street, and, 8-10 flats in a common building structure on the north side. The intent is to develop the streetscape on either side of the street to blend, along with the building colors and siding elements, acting as a singular development, and, serving as a transitional zone between the 1-2 family structures on Brevier to the east, to the larger townhome and apartment buildings being constructed to the west. The Townhome project on the south side will be completed first, and, the north side project will be considered phase 2, to be constructed after phase 1 is completed.

There are a total of 13-15 units, and, the properties share common elements such as the pocket parks on the street and a total of up to 24 parking spaces, with 2 car garages for each town home, and, 12 spaces for the flats, not including street parking. There are also 2 additional spaces included as an anticipated, that are attained by working with the neighboring developer in a shared concept, which allowed their parking layout to change from directional angled parking, to head in, allowing their parking to work better as cars enter their site from either direction.

The south side of the street is zoned for 2 family housing, while the north side of the street is zoned multifamily housing. It is anticipated that the south side of the street will require zoning consideration. No other variances are anticipated for the project.

We anticipate a preliminary cost of the townhome construction to be around \$235,000 per unit totaling around \$1,175,000 for 5 units. Each townhome will have 1,668 sq foot of finished living space with a rooftop deck. The anticipated final value for each unit is \$450,000 for each of the 5 townhomes at 1831 Brevier Avenue, Cleveland, OH. We anticipate a mid/high end rental product .

There will also be a roof top communal space in phase 2 at 1830 Brevier, Cleveland, OH which is still under preliminary design and additional parking. Blending into the Lincoln Heights community plan is important as we view this as the gateway to the much larger development occurring next door to the west. Visually we hope to leave a product that appears to have always been part of the community, and serve as a transitional element from the smaller scale housing, to the larger development to the west.

Casey Marks, COO

Marks Building Company

440-289-0707

www.marksbuilding.com

December 26, 2023

Casey Marks, COO
Marks Building Company
346 Hale Road
Painesville, OH 44077

**Re: 1830 & 1831 Brevier Avenue - Cleveland, Ohio
Title IV Review Applicability Determination**

Dear Mr. Marks,

The Title IV Combined Sewer Code of the Northeast Ohio Regional Sewer District's (NEORS) Code of Regulations provides the NEORS with the authority to control combined sewer overflows (CSOs) from the combined sewer system and to control peak flows from local combined sewer systems at the point of connection into sewers owned by the NEORS or a member community. Therefore, the NEORS has the authority to review all requests for connection approval within the combined sewer system.

Based on preliminary information, the referenced project:

- Will be subject to review by the NEORS under Title IV – Combined Sewer Code. The proposed stormwater management design for the site must meet the current NEORS Title IV Combined Sewer Code requirements, detailed in the attached guidance document, **Submittal Requirements for Connections to the Combined Sewer System – Guidelines for Review and Approval.**
- Will not be subject to review by the NEORS under Title IV – Combined Sewer Code.

If you have any questions, please feel free to contact me at ext. 6466.

Kind Regards,

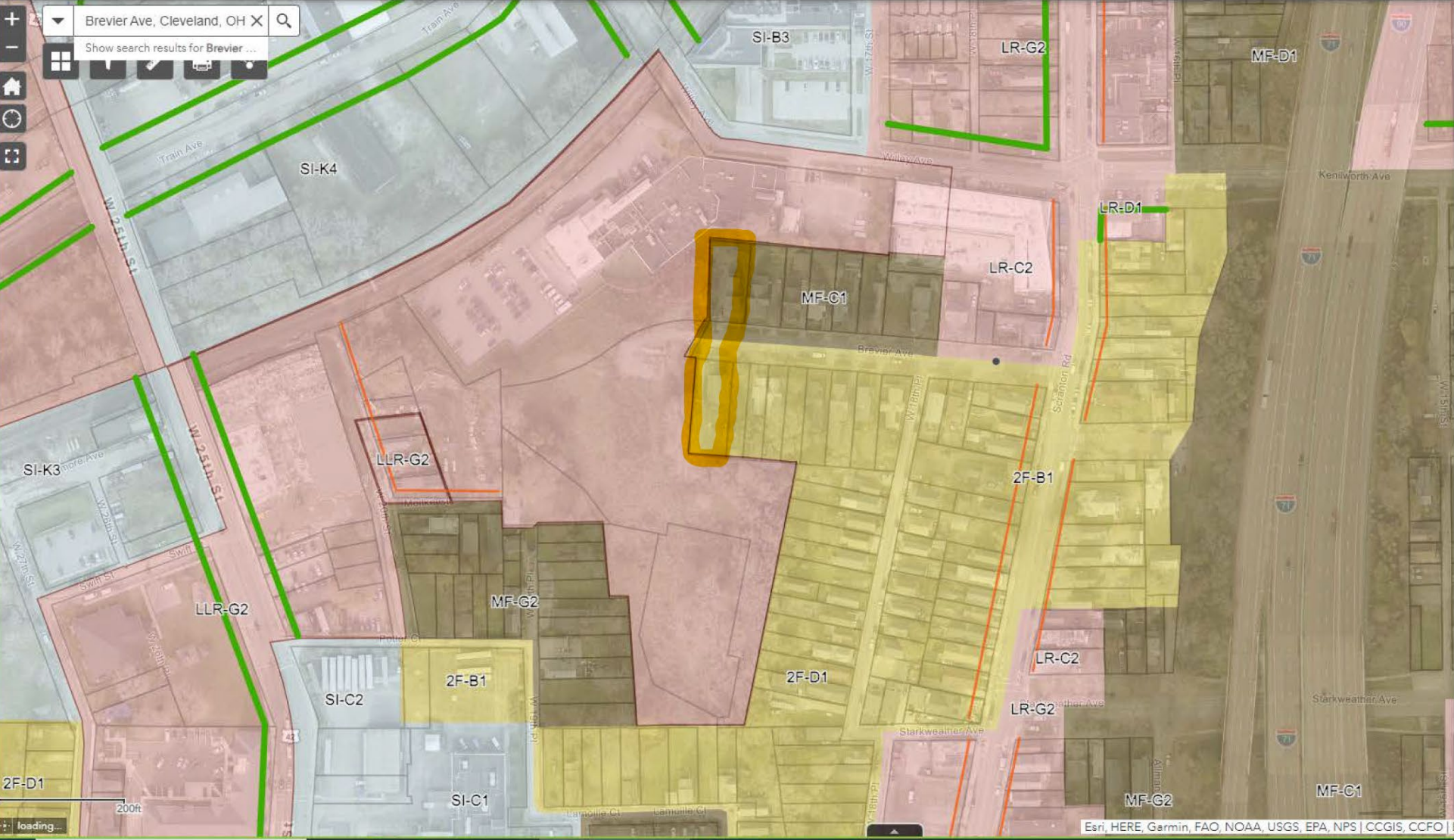


Jeff Jowett
Community Discharge Permit Program Manager

cc:
Elie Ramy, Cleveland WPC
Adam Davenport, Cleveland Planning Commission

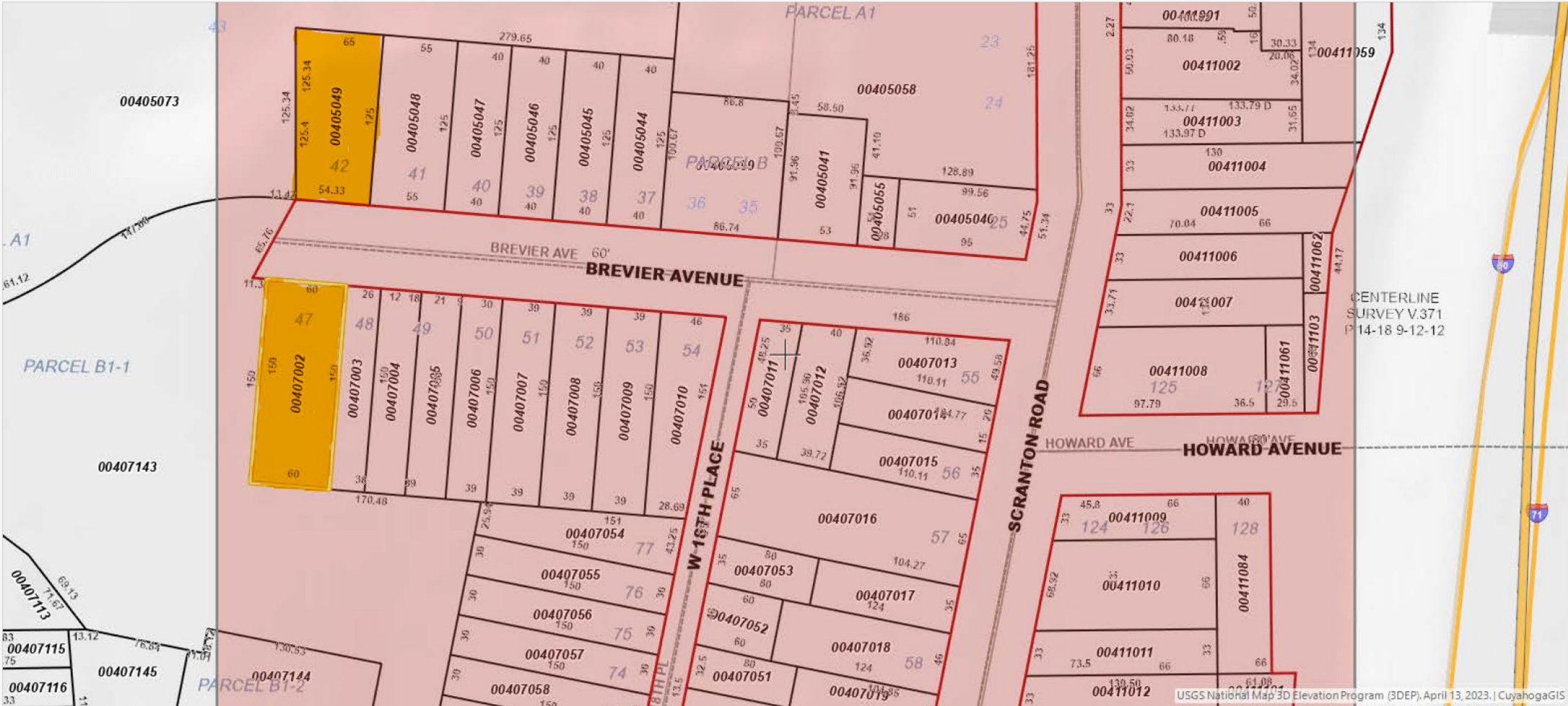
Cleveland City Planning Commission Zoning Viewer

Cleveland | GIS



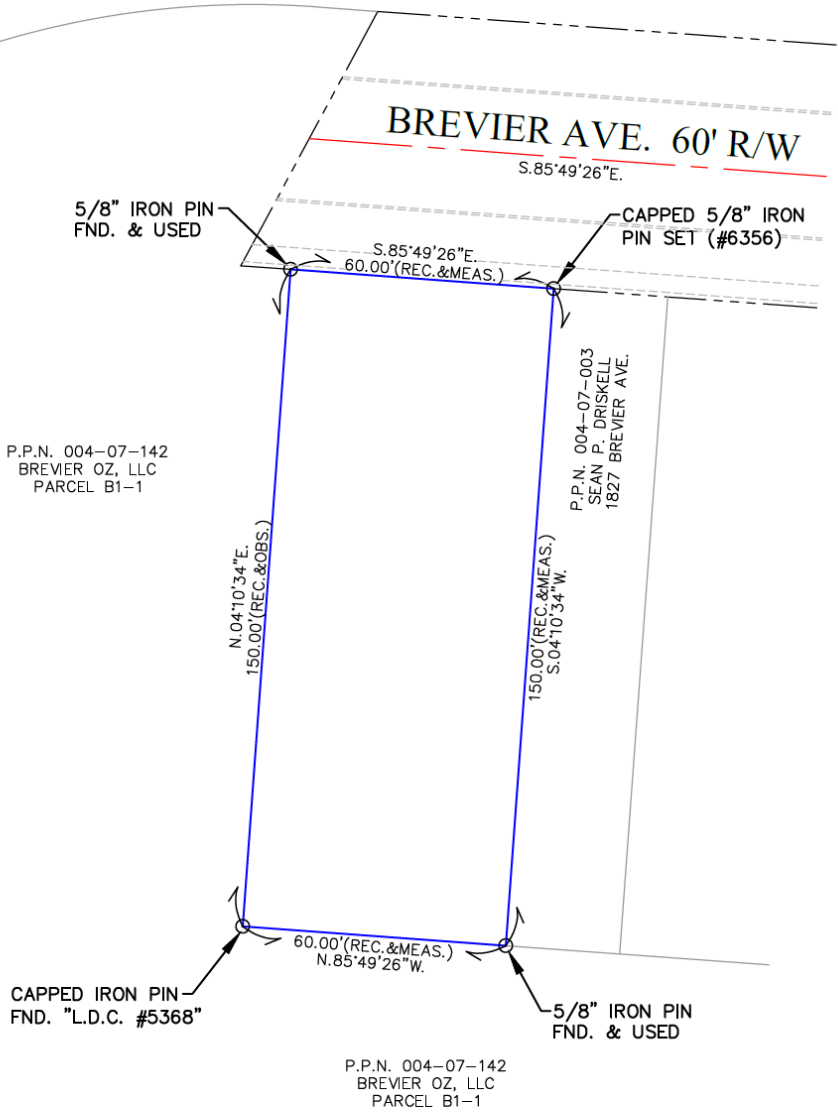
Legend

- Planner Assignment Areas**
 - [Blue square icon]
- Specific Setbacks**
 - Active: [Orange line]
- Overlay Frontage Lines**
 - Frontage Type
 - PRO Special Sign Provision: [Purple line]
 - PRO Street Frontage: [Red line]
 - Urban Frontage Line: [Green line]
- Zoning**
 - Downtown Residential: [Pinkish-brown polygon]
 - General Industry: [Purple polygon]
 - General Retail Business: [Light pink polygon]
 - Institutional-Research District: [Grey polygon]
 - Limited One Family: [Yellow polygon]
 - One Family: [Light yellow polygon]
 - Limited Retail Business: [Red outline polygon]
 - Local Retail Business: [Light pink polygon]
 - Limited Multi-Family: [Brown polygon]
 - Multi-Family: [Dark brown polygon]
 - Midtown Mixed-Use District: [Orange polygon]
 - Open Space Recreation: [Light green polygon]
 - Parking District: [Grey polygon]
 - Residence Office: [Light purple polygon]
 - Residence-Industry: [Light yellow polygon]
 - Semi-Industry: [Light blue polygon]



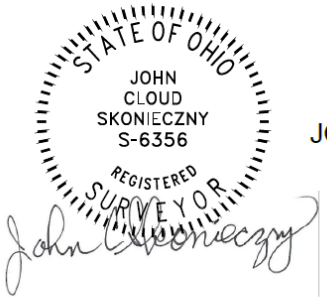
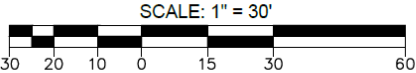
**SURVEY FOR: 1080 DEVELOPMENT LLC
1831 BREVIER AVE.**

BEING SUBLOT No. 47 OF ALFRED KELLOGG'S SUBDIVISION OF PART OF ORIGINAL BROOKLYN TOWNSHIP LOT No. 87, AS RECORDED IN VOLUME 11, PAGE 48 OF CUYAHOGA COUNTY RECORDS.
SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
P.P.N. 004-07-002

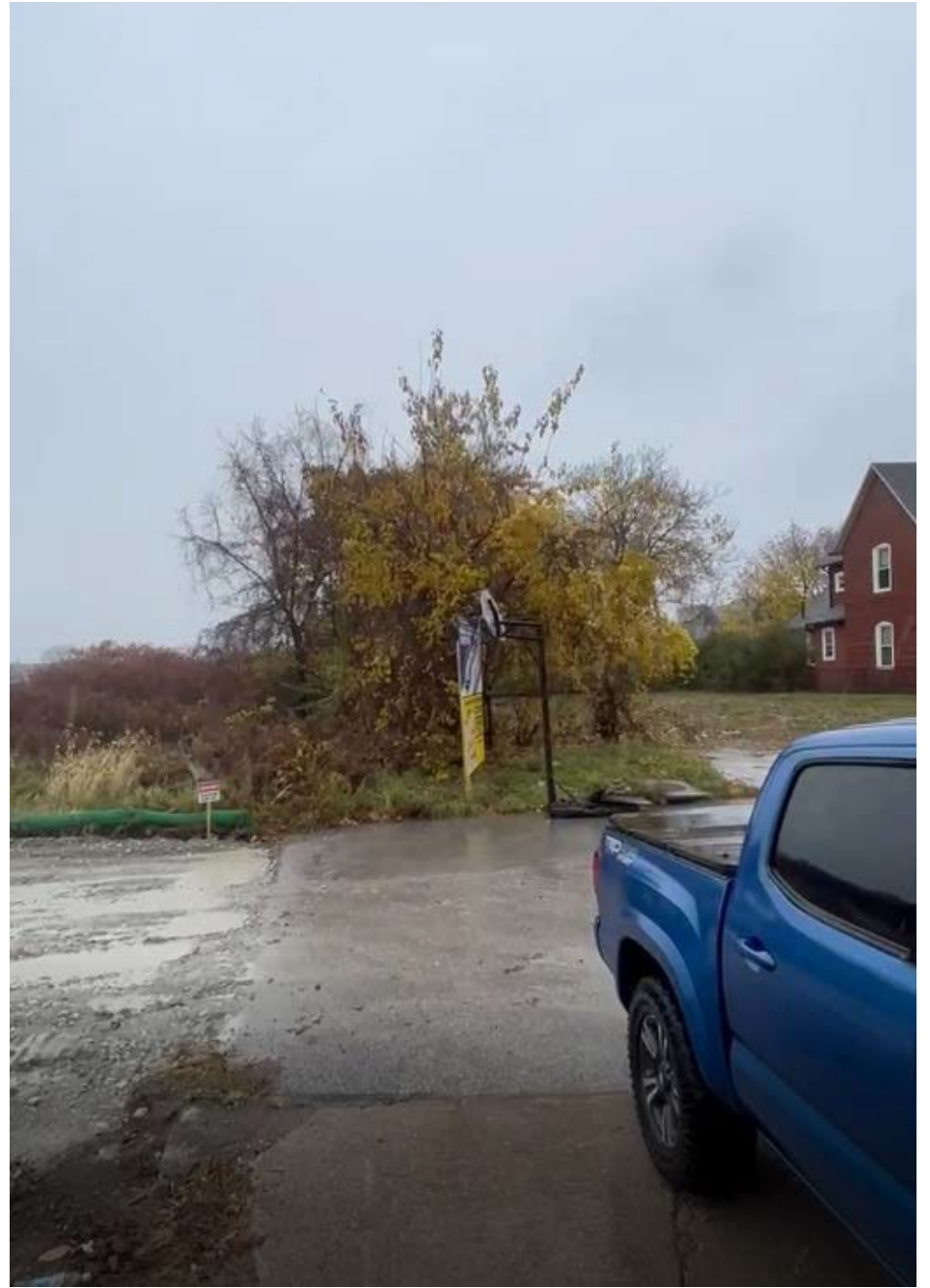


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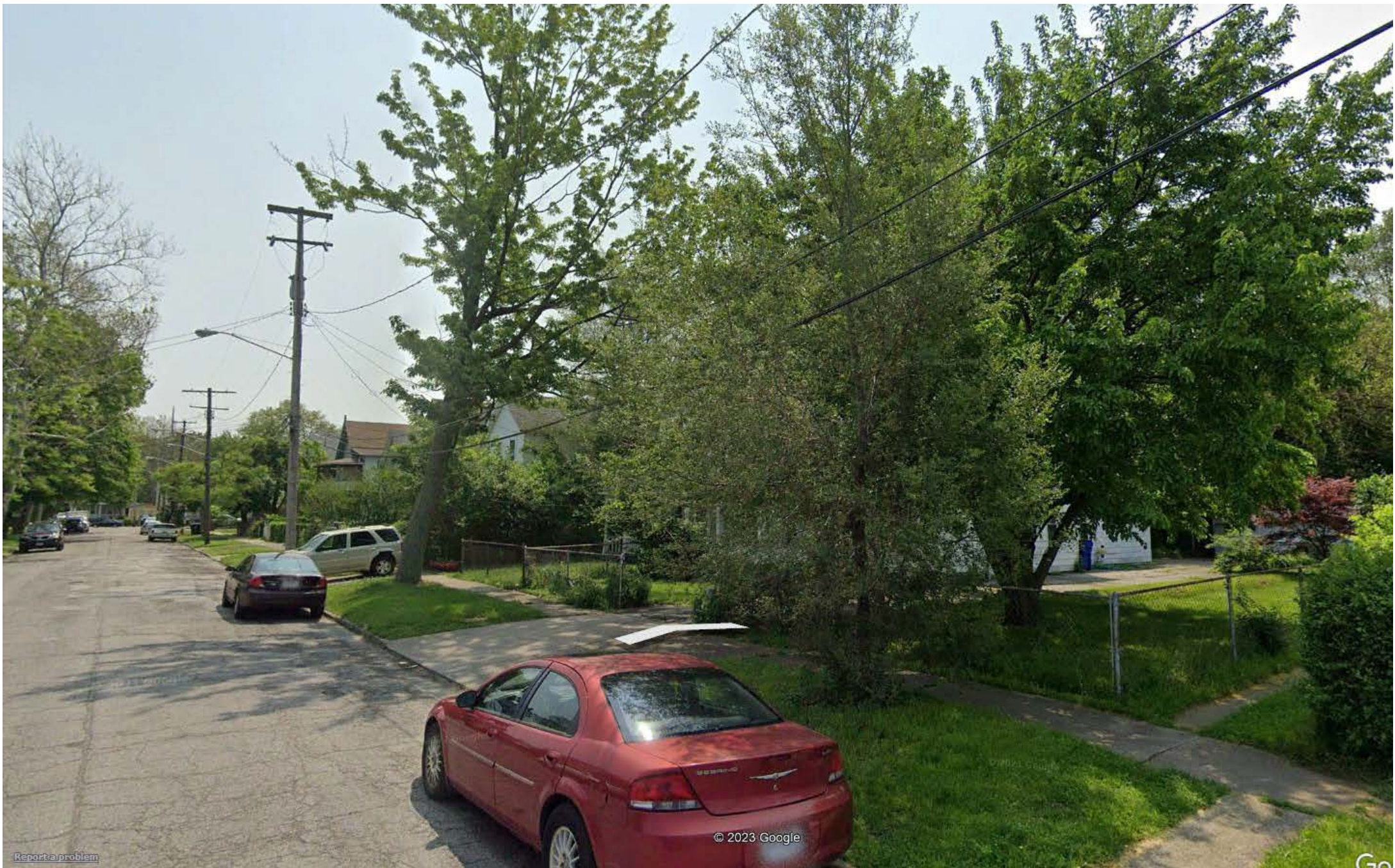
- P.P.N. : INDICATES PERMANENT PARCEL NUMBER
- S/L : INDICATES SUB-LOT
- S/B : INDICATES SETBACK
- S/Y : INDICATES SIDE YARD
- FND. : INDICATES FOUND
- REC. : INDICATES RECORD
- OBS. : INDICATES OBSERVED
- CALC. : INDICATES CALCULATED
- MEAS. : INDICATES MEASURED
- MON. : INDICATES MONUMENT
- ⊙ : IRON PIN
- ⊗ : IRON PIPE
- : MONUMENT BOX
- (blue) : SUBJECT PROPERTY LINE
- (grey) : PROPERTY LINE
- - - (grey) : RIGHT-OF-WAY LINE
- - - (red) : CENTERLINE



JOHN C. SKONIECZNY, P.S.
7739 VIEWMOUNT DR.
CONCORD TWP. OHIO 44077
440-537-4111
DATE: DECEMBER 13, 2023







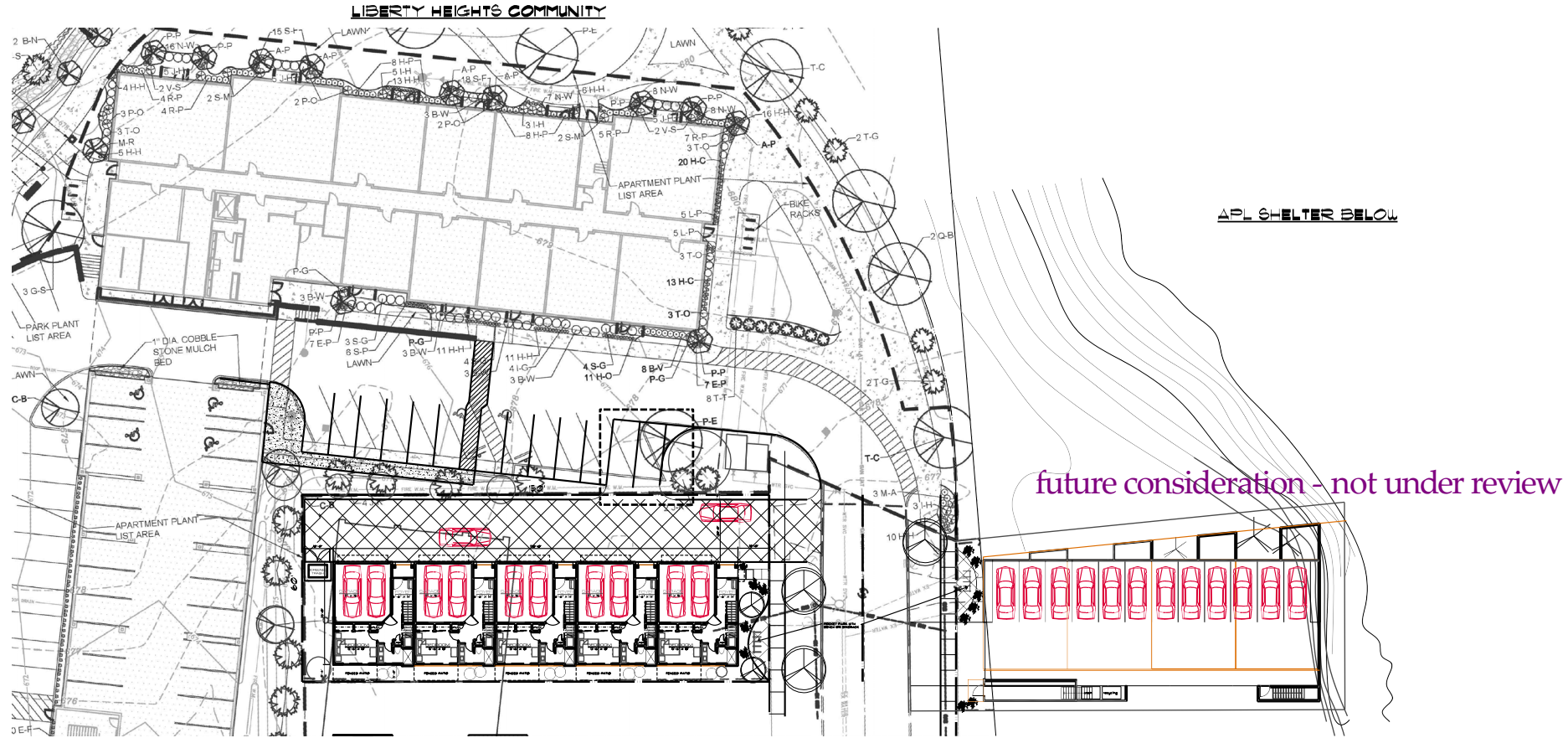
[Report a problem](#)

© 2023 Google

Go

NEW TOWNHOUSE PROJECT

BREVIER AVENUE
CLEVELAND, OHIO



future consideration - not under review

SITE PLAN
SCALE: 1/8" = 1'-0"
NORTH

SHEET TITLE: **X-1** SITE PLAN

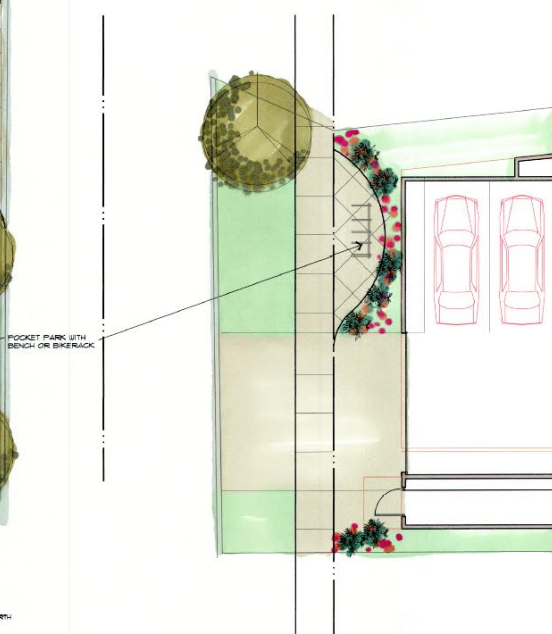
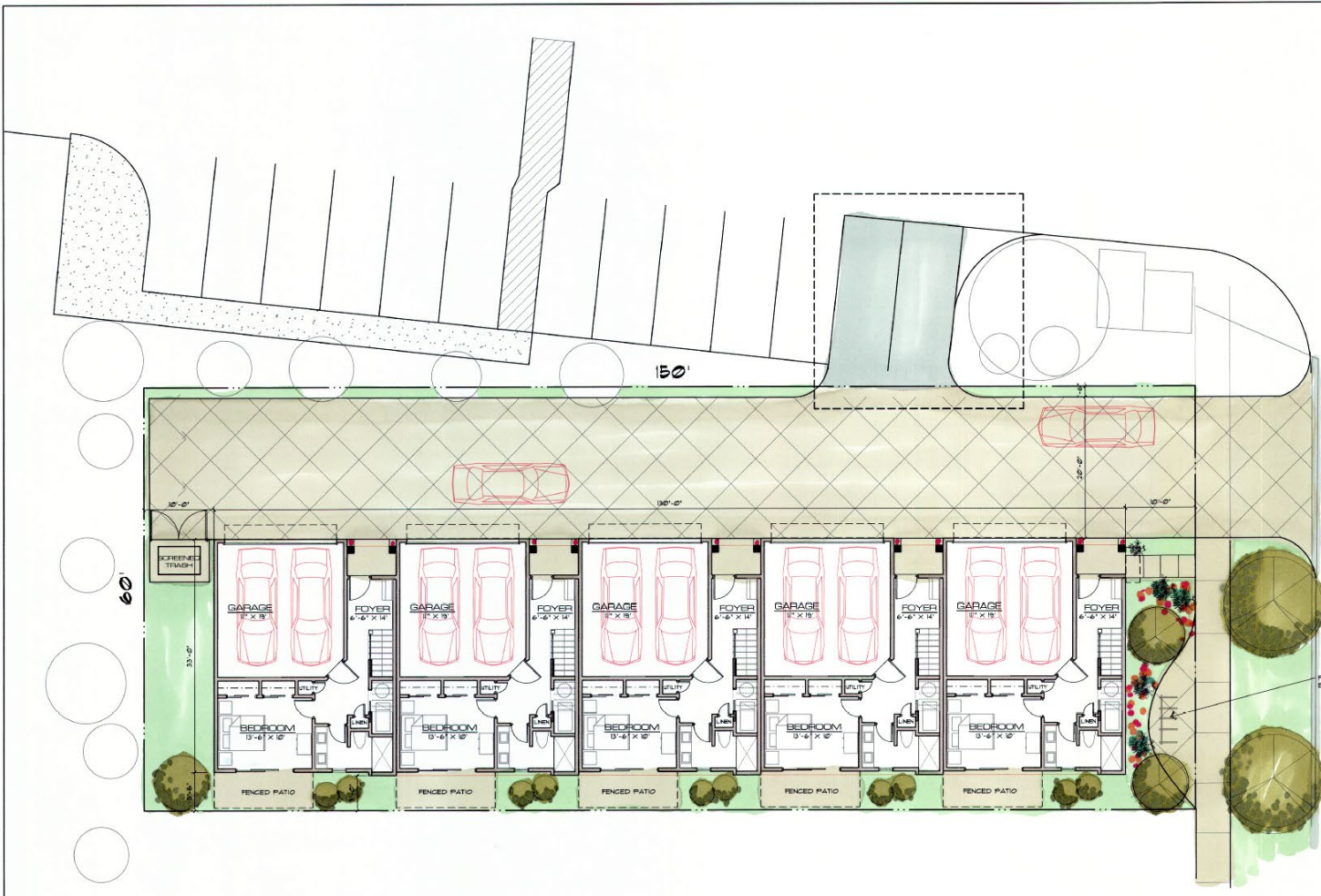
PROJECT TITLE: BREVIER PLACE BREVIER AVENUE CLEVELAND, OHIO

DATE: 2/5/2024

DRAWN BY:

REMARKS:

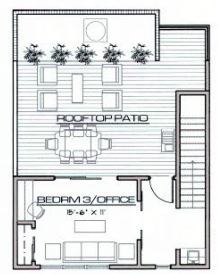
STEPHEN CICRETTO, A.I.A. ARCHITECT
270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000 · sc-ajia@sbcglobal.net



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

AREA CALCULATIONS

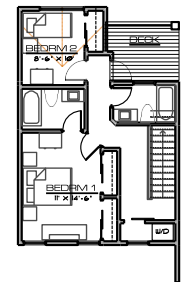
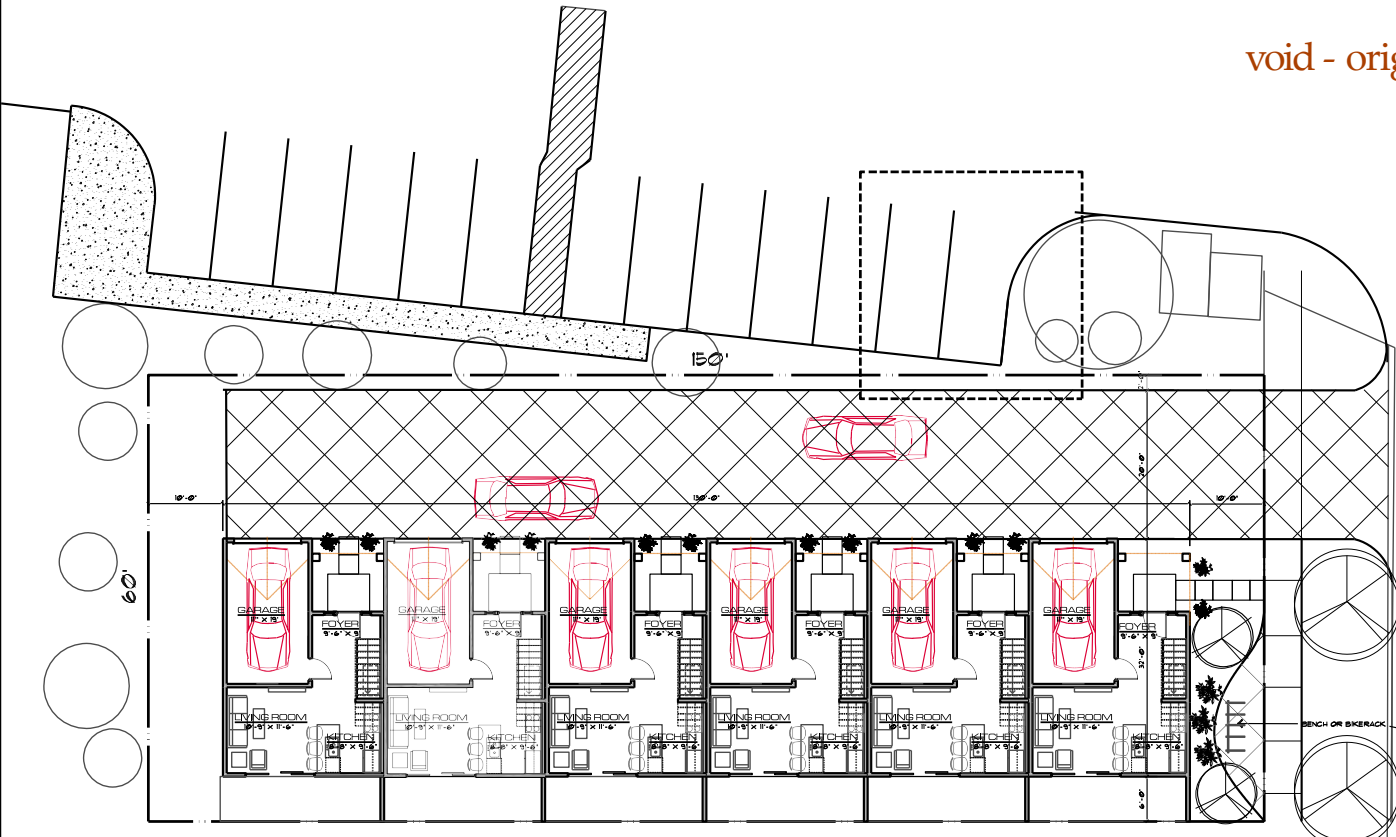
TOTAL LOT AREA = 3000 SF.
TOTAL BUILDING COVERAGE = 4111 SF.
FIRST FLOOR = 464 SF.
SECOND FLOOR = 846 SF.
ROOF BONUS ROOM = 358 SF.

SHEET TITLE: FLOOR PLANS	PROJECT TITLE: BREYER PLACE BREYER AVENUE CLEVELAND, OHIO	REMARKS:
	DATE: 2/5/2024	
	DRAWN BY:	

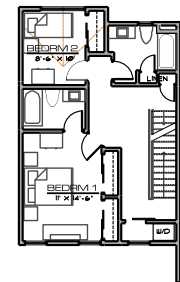
STEPHEN CICIRETTO, A.I.A. • ARCHITECT
270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000



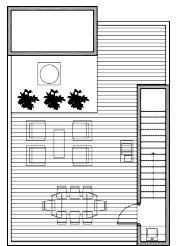
void - original submission for record



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



ALTERNATE SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



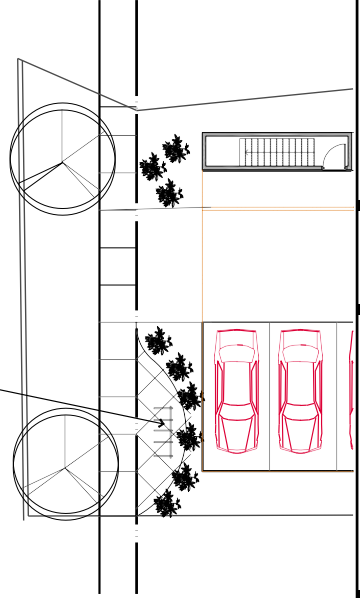
ALTERNATE ROOF PLAN
SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

AREA CALCULATIONS

TOTAL LOT AREA: 3,000 SF.
TOTAL BUILDING COVERAGE: 35% SF.

FIRST FLOOR: 311 SF.
SECOND FLOOR: 686 SF.



REMARKS:

DATE: 8/27/2013

DRAWN BY:

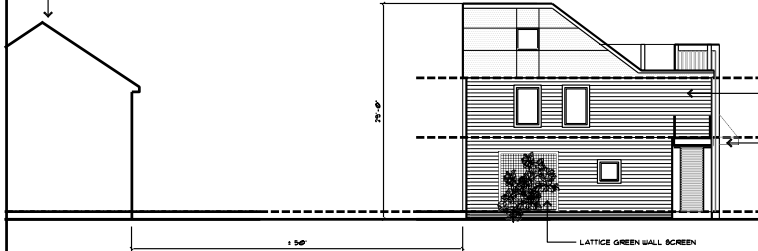
PROJECT TITLE:
NEW TOWNHOUSE PROJECT
SREVA ROAD UNIT
CLEVELAND, OHIO

SHEET TITLE:
FLOOR PLANS





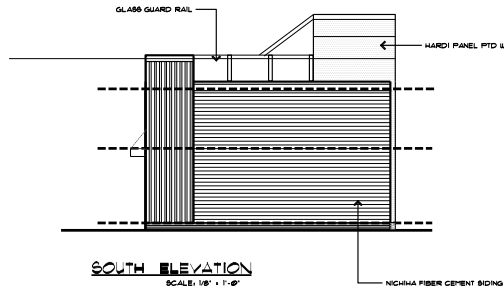
APPROXIMATE HEIGHT OF HORSES ON THE STREET



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

REMARKS:

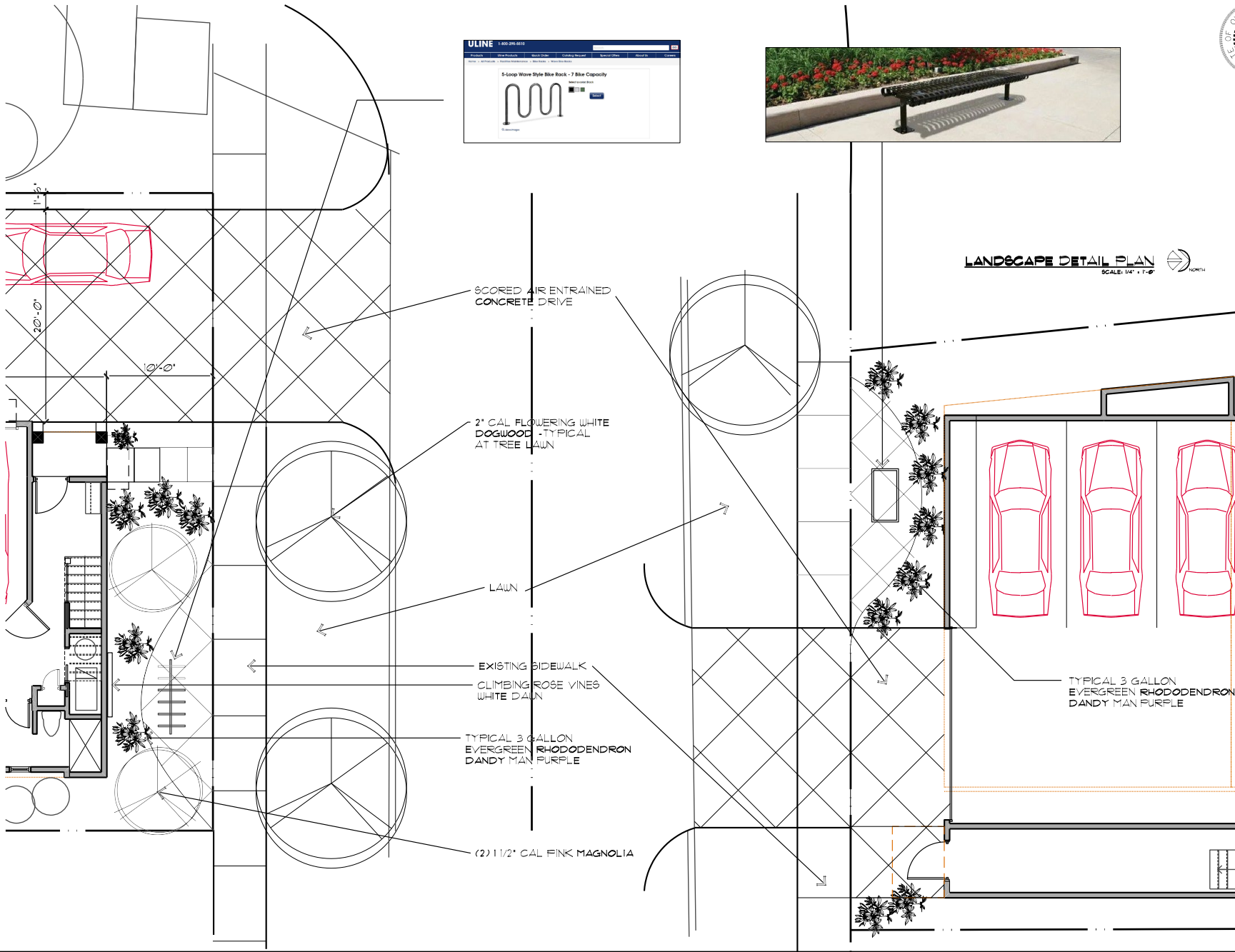
DATE: 2.5.2014
DRAWN BY:

PROJECT TITLE:
BRICKS PLACE
270 PARK AVENUE
CLEVELAND, OHIO

SHEET TITLE:
ELEVATIONS

STEPHEN CICIRETTO, A.I.A. · ARCHITECT
270 PARK PLACE · CHAGRIN FALLS, OHIO 44022 · (440) 247-1000





LANDSCAPE DETAIL PLAN
 SCALE: 1/4" = 1'-0"



X-2 SHEET TITLE: **LANDSCAPE DETAIL PLAN**
 PROJECT TITLE: **BEVERLY PLACE**
270 PARK AVENUE
CLEVELAND, OHIO
 DATE: 7/5/2014
 DRAWN BY:

REMARKS:

STEPHEN CICRETTO, A.I.A. ARCHITECT
 270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000 • sc-ala@sbcglobal.net

apartment building not under consideration at this time. -shown only for reference. when design for this building is complete we will submit for review.



WEST ELEVATION
SCALE: 3/16" = 1'-0"



	PROJECT TITLE	REVISIONS
	270 PARK PLACE BEVER AVENUE CLEVELAND, OHIO	DATE: 2/5/2014 DRAWN BY:

STEPHEN CICIRETTO, A.I.A. • ARCHITECT
270 PARK PLACE • CHAGRIN FALLS, OHIO 44022 • (440) 247-1000

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024



CITY OF CLEVELAND
Mayor Justin M. Bibb

Near West Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: Virtual

Case Number: NW 2023-036

Meeting Date: 04/10/2024

Project Name: Brevier Townhome Project

Project Address: 1830 and 1831 Brevier

Contact Person: Casey Marks, Stephen Ciciretto

Architect/Contractor: _____

General Description: Townhome and apartment development

Motion by Design Review Committee:

Schematic Approval W/Conditions

Approve: Contreras, Gallagher, Gardin, Hart, Jurca, Rakauskas, Sandoval

Disapprove:

Abstain:

Non-Voting Members: Tremont CDC, Planner/administrator Britany Pabon

Motion to approve and consider the back area as an "opp. Corridor" for the residents. Consider surrounding context, and street side elevation to align developments.

Look into adding additional details to first units to face the street to enhance design and pedestrian consideration for safety.

Have a rendering of the front unit and pocket park to visualize the street view.

Cleveland City Planning Commission

Northeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

NE2024-007 – Proposed Demolition of a Two-Story Mixed-Use Building: Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

May 17, 2024

Project Addresses: 12408-12412 Superior Avenue

Project Representative: Beth Mackey, City of Cleveland

Ward 9- Councilmember Conwell | SPA: Glenville

12408-12412 SUPERIOR AVE.

Proposal for a demolition in the Northeast Design Review area

PROPOSED DEMOLITION OF 12408-12412 SUPERIOR AVE.



12408-12412 SUPERIOR AVE.

- **Demolition:** We are seeking the approval of the complete demolition of three structures contained on PPN 120-12-010. All structures are zoned local retail, with land use of store with walk-up apartments. All structures built in 1910.
- **Current Owner:** Gregory Patrick. Date of ownership listed as 11/23/1979.
- **Condemnation:** issued 04/12/2010.
- **Vacant:** No Vacate Order issued.
- **Complaints:** The City has received no formal complaints.
- **Board-ups:** The city has not had to board up this property.
- **Back Taxes:** \$0.00.
- **Site Plan:** The structures will be demolished and area to be cleared, graded, and seeded.



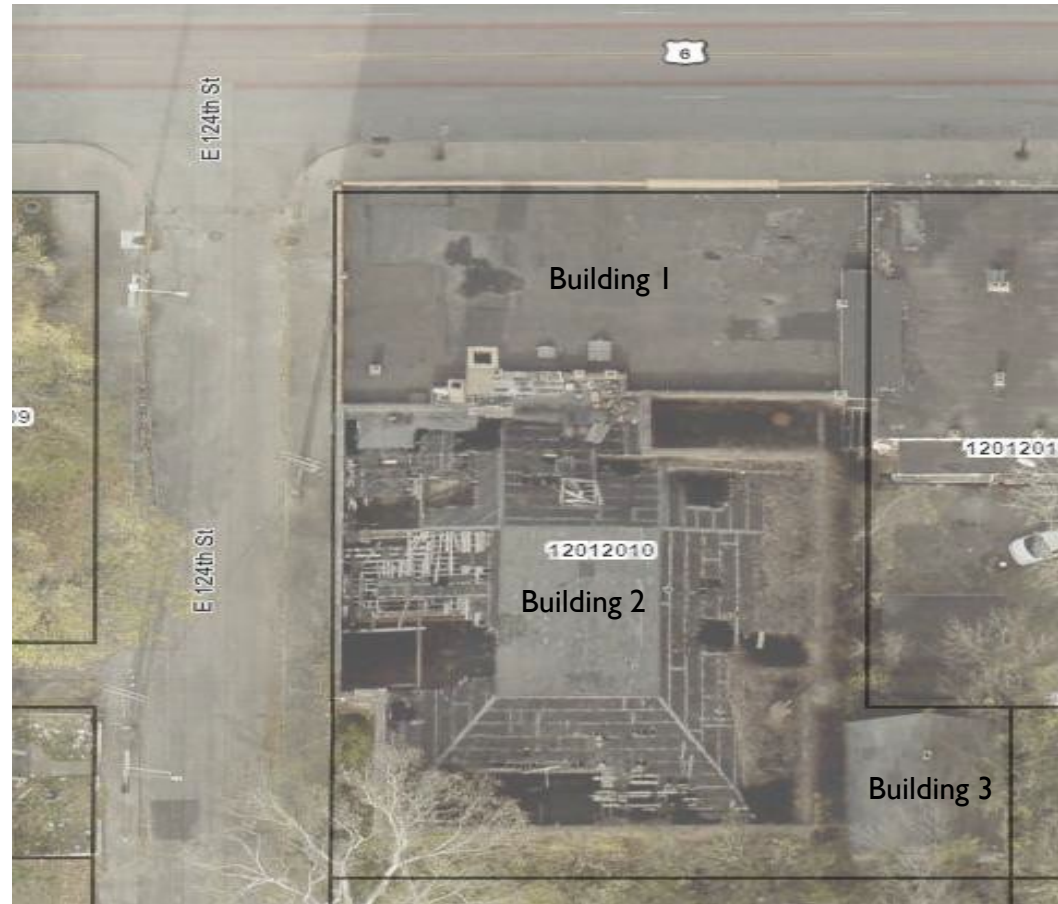
12408-12412 SUPERIOR AVE. SITE LOCATION AND CONTEXT



12408-12412 SUPERIOR AVE. SITE LOCATION AND CONTEXT



12408-12412 SUPERIOR AVE. SITE LOCATION AND CONTEXT



12408-12412 SUPERIOR AVE.
STRUCTURES ONE AND TWO (1, 2) (ARROW
INDICATES APPROXIMATE SEPARATION LINE
OF STRUCTURES)



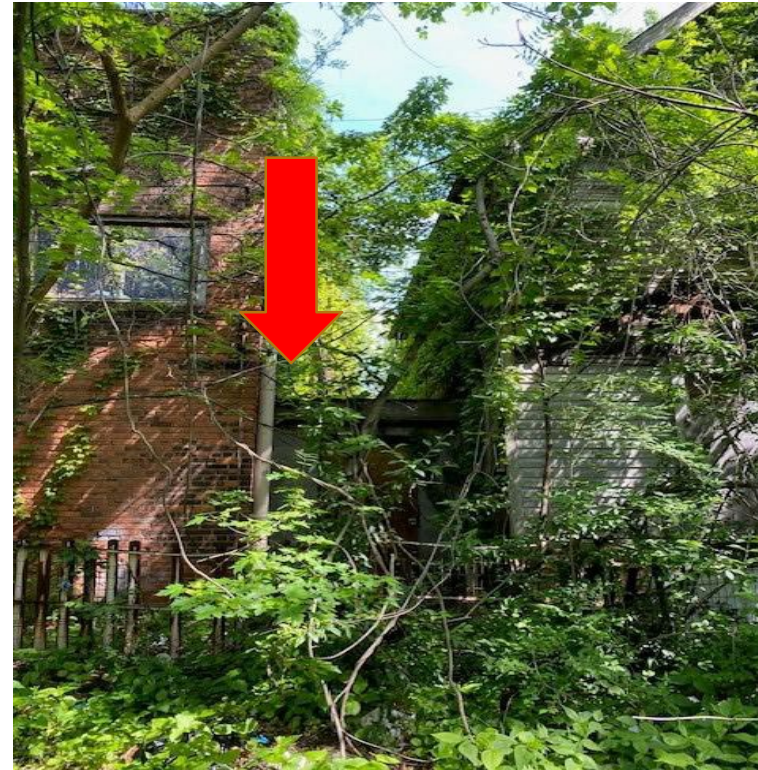
12408-12412 SUPERIOR AVE.
STRUCTURES ONE AND TWO (1, 2) (ARROW
INDICATES APPROXIMATE SEPARATION LINE OF
STRUCTURES)



12408-12412 SUPERIOR AVE. STRUCTURES TWO AND
THREE (2,3) (ARROW INDICATES APPROXIMATE
SEPARATION LINE OF STRUCTURES)



12408-12412 SUPERIOR AVE. STRUCTURES TWO AND
THREE (2,3) (ARROW INDICATES APPROXIMATE
SEPARATION LINE OF STRUCTURES)







12408-12412 SUPERIOR AVE. ORIENTATION

South on E. 124th.

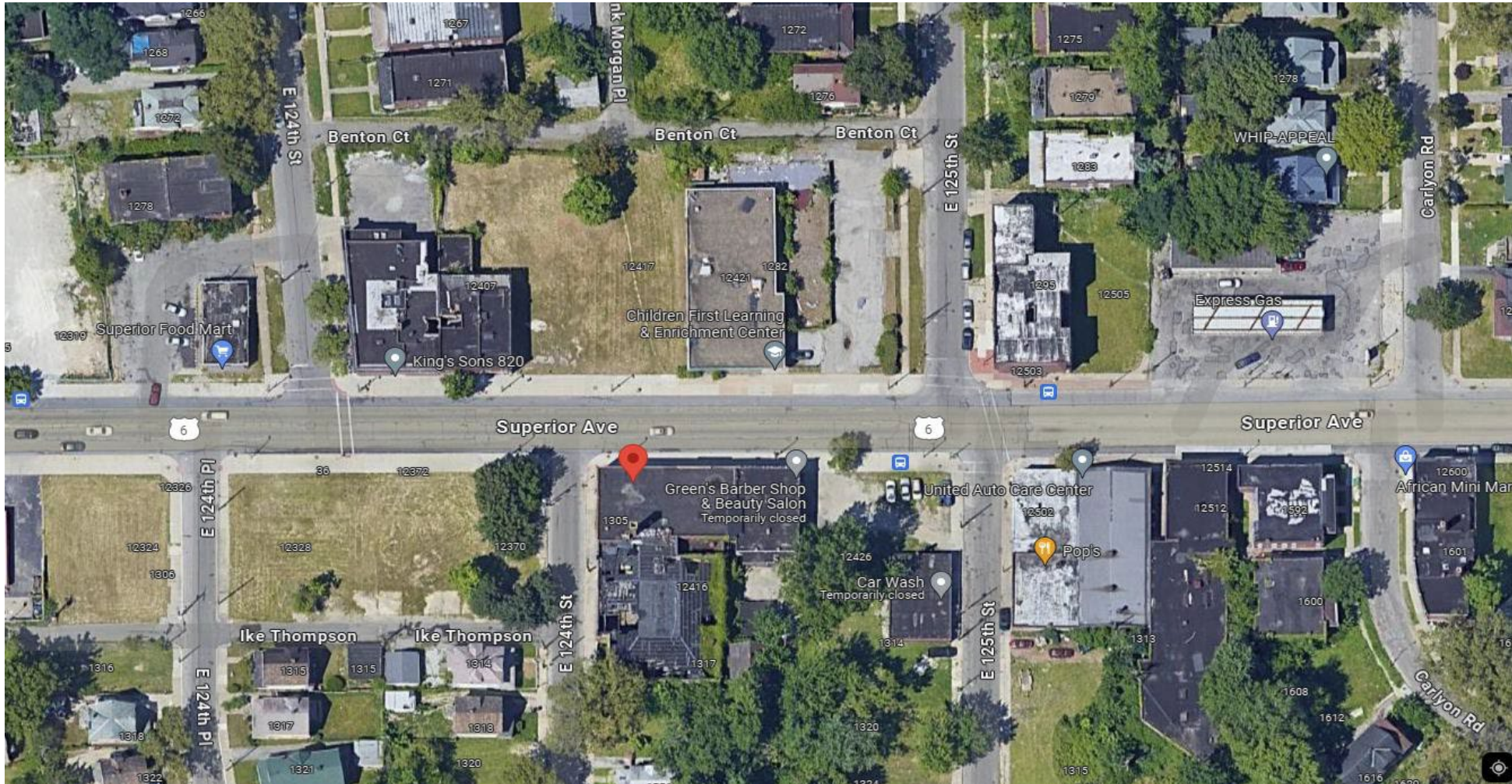


East. On
Superior Ave.



West on
Superior Ave.

12408-12412 SUPERIOR AVE. SITE PLAN



- Demolish all structures. Level to grade with clean backfill, topsoil, seed, and straw.

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024



Northeast Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 8:00 AM

Case Number: NE 2024-007

Meeting Date: 05/07/2024

Project Name: 12408-12412 Superior Avenue - Demolition Ward #: 9

Project Address: 12408-12412 Superior Avenue

Project Rep. : Jillian Bolino, City of Cleveland, Department of Building & Housing, Demolition Bureau

Existing Use: Dilapidated building

Proposed Use: Vacant land

Project Scope: The structures will be demolished and area to be cleared, graded, and seeded.

Design Review Level Applied For:

Motion by Design Review Committee:

Approve (as presented) Approve (with stated conditions) Disapprove Table

Conditions:

Approved as presented the demolition of 12408-12414 Superior.

Committee Action:		(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)			
Brown (C)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Veider	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
White	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Bandy-Zalatoris 2	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		
Farina 1	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Lukacsy-Love	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Nieswander (VC)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Reich	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.				

Applicant Signature & Date: _____ Virtual Meeting – No Signature Required

Cleveland City Planning Commission

Downtown | Flats Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

DF2024-019 – Public Square Parking Garage Signage: Seeking Final Approval

May 17, 2024

Project Address: 200 Public Square

Project Representative: Laura Higgins-Woyma, Brilliant Electric Sign

Ward 3- Councilmember McCormack

SPA: Downtown

Parking Garage Signage

200 Public Square

City Planning Commission Hearing

May 17, 2024

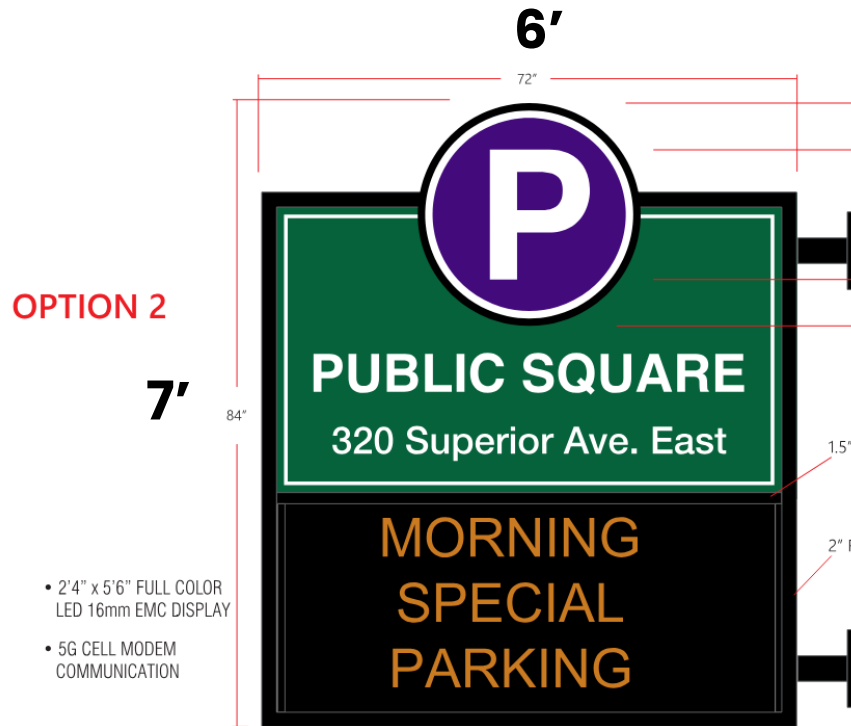


CITY OF CLEVELAND
Mayor Justin M. Bibb

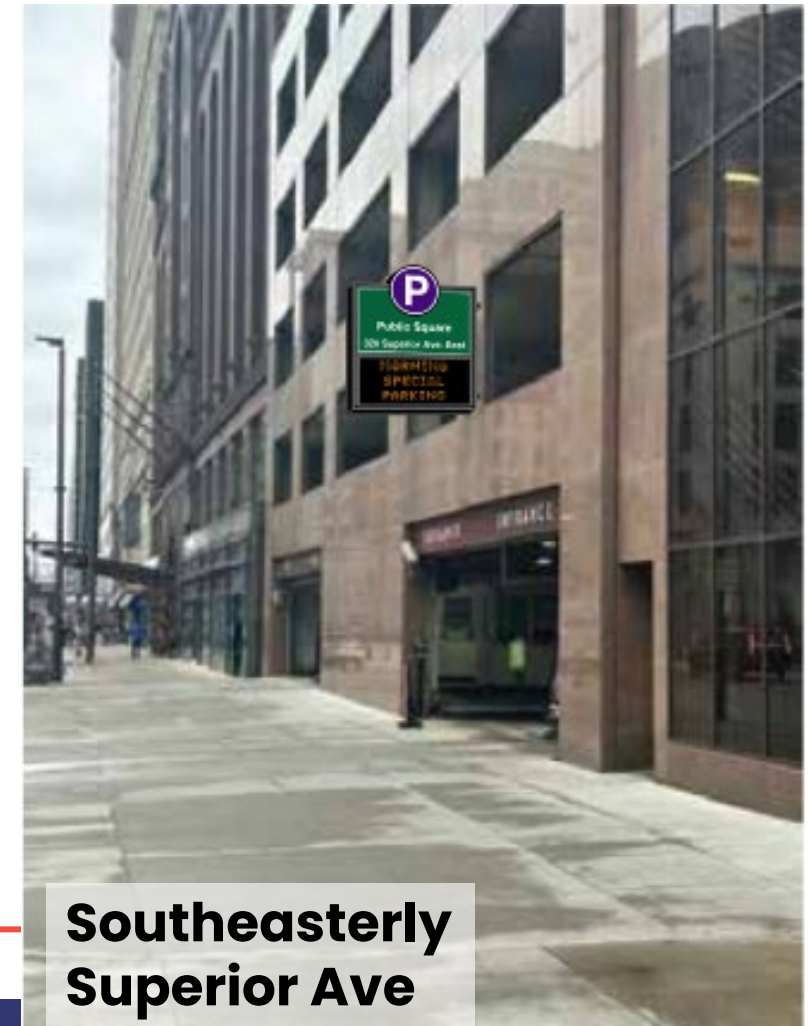
CITY PLANNING COMMISSION

Proposal

Applicant is proposing two 42 sf projecting sign.



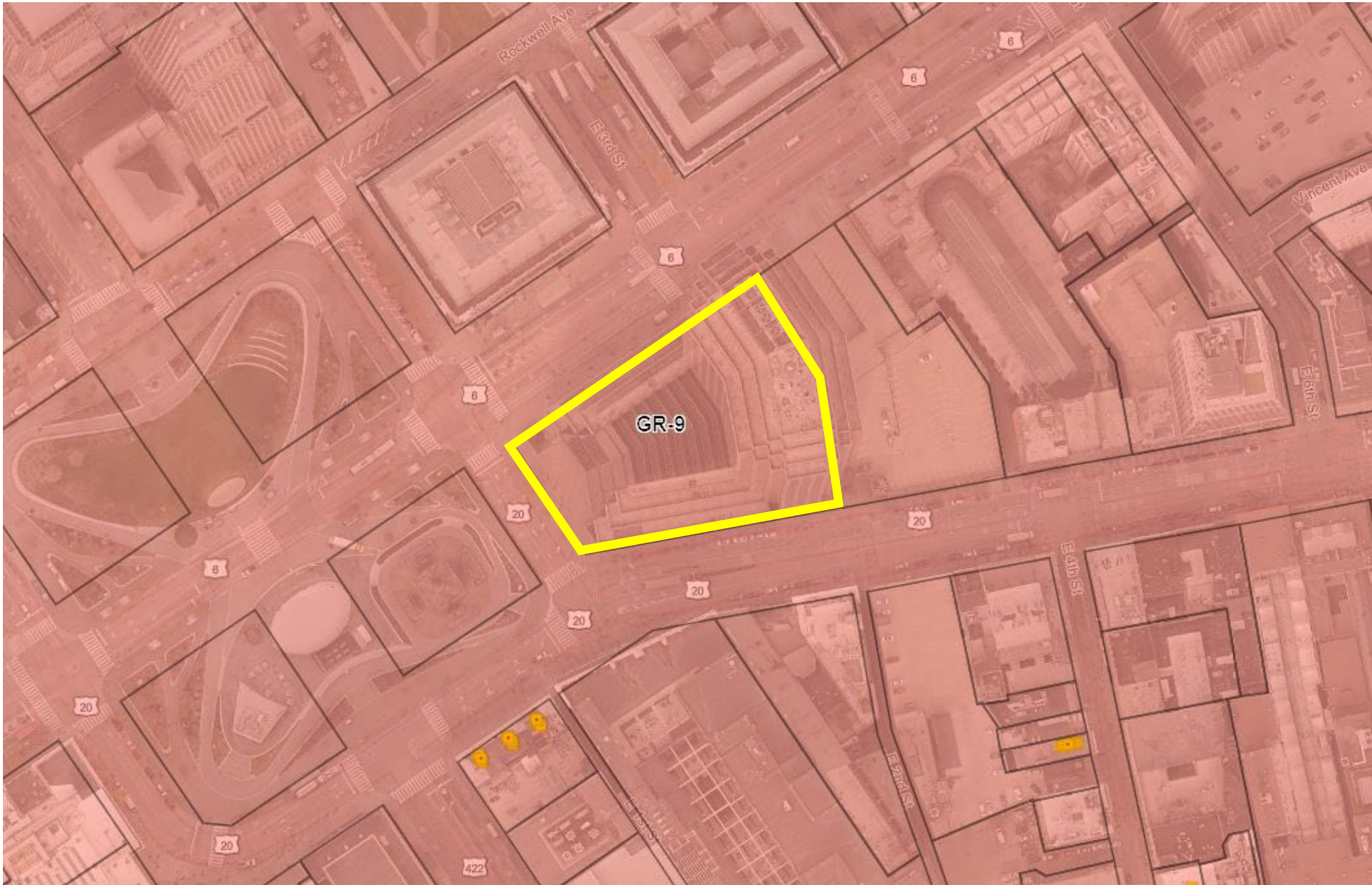
**Northwesterly
Euclid Ave**



**Southeasterly
Superior Ave**

Existing Zoning

General Retail Business-9



Why City Planning Commission?

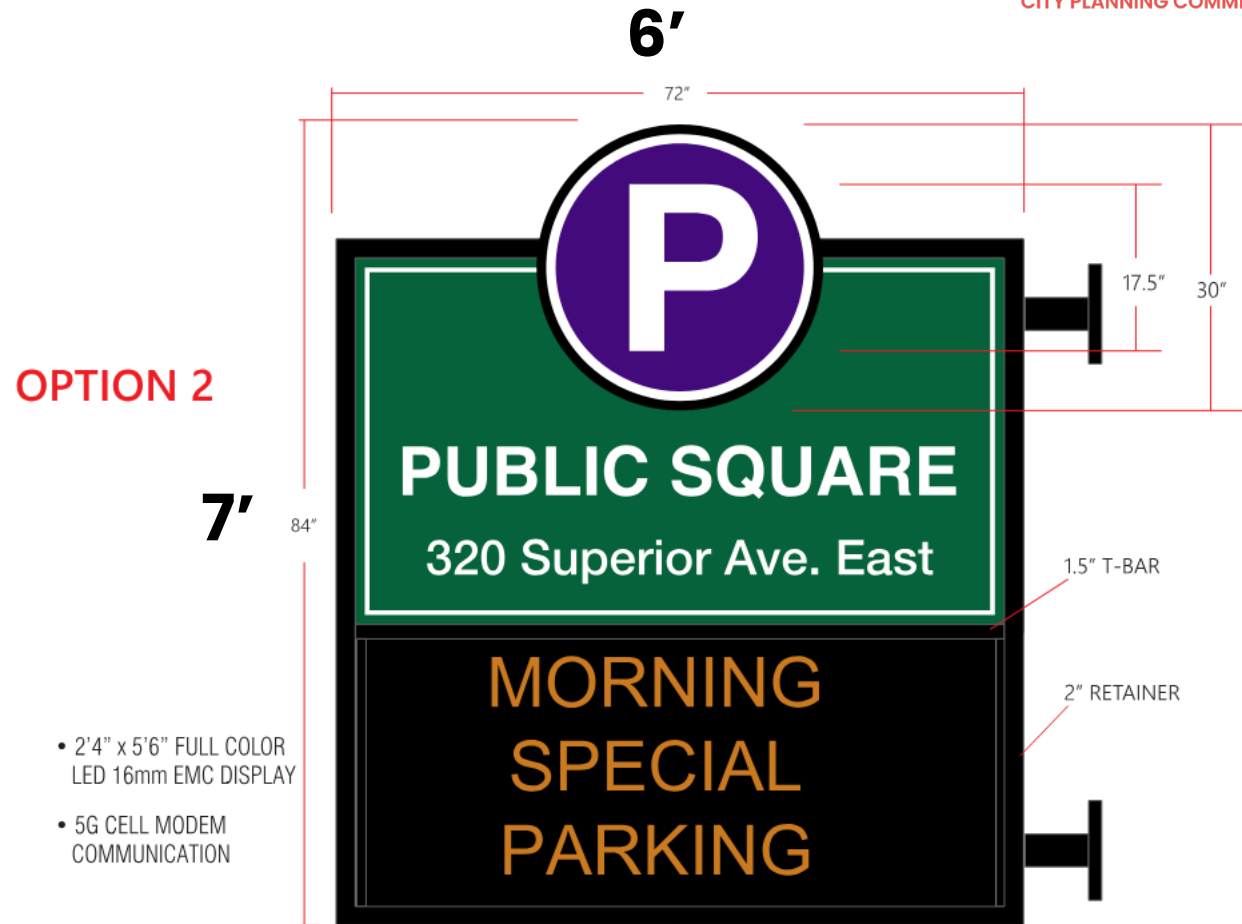
- §457.04 – In the case of a proposed sign which does not meet the requirements of this section, the City Planning Commission may approve the sign if it determines that such sign meets the standards of division (e)(7) of this section.: *(Administrative approval does not apply)*
 - **A. The sign is attached to the wall of a building and is better suited to the design of such building than a conforming sign would be; or**
 - **B. The sign meets a higher standard of design quality than would result from minimal conformance to the standards of this section; or**
 - **C. The sign has been designed so that it is more appropriate to its environs or the uses which it serves than a conforming sign would be; or**
 - **D. The sign is part of a comprehensive signage system for a large-scale complex of facilities, and such system meets the standards of division (e)(4); and**
 - **E. In the case of a new sign, the deviation from the otherwise applicable regulations of this section is the minimum necessary to meet one (1) or more of the special standards established for approval of nonconforming signs.**

Parking Facility Sign

- **Primary Sign:** A parking facility's principal signs identifying the parking facility and/or its rates. A primary sign may display other permitted information in addition to the identification and rate information.
 - **Identification Sign:** A sign identifying or naming of business, building, use, etc.
 - **Projecting Sign:** A sign erected on the outside wall of a building and projecting out at an angle therefrom.
-

Variances Required

- **32 sf max** permitted for primary signs. § 457.04 (d)(5)
 - Proposing 42 sf
 - **Two signs require variance for 10 sf (Superior Ave & Euclid Ave)**
- **5 feet max** projection from building wall. § 457.04 (d)(2)
 - Proposing projection of 6 feet from wall
 - **No sign shall extend farther than 5 feet from a building wall.**



Signage Represents 42 sf

Standards for Approval of Nonconforming Signs.

- ❖ A. The sign is attached to the wall of a building and is better suited to the design of such building than a conforming sign would be; or
- ❖ B. The sign meets a higher standard of design quality than would result from minimal conformance to the standards of this section; or
- ❖ C. The sign has been designed so that it is more appropriate to its environs or the uses which it serves than a conforming sign would be; or
- ❖ D. The sign is part of a comprehensive signage system for a large-scale complex of facilities, and such system meets the standards of division (e)(4); and
- ❖ E. In the case of a new sign, the deviation from the otherwise applicable regulations of this section is the minimum necessary to meet one (1) or more of the special standards established for approval of nonconforming signs.

§ 457.04 (e)(7)

Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ **Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?**



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

DF2024-023 – Glamper Signage: Seeking Final Approval

May 17, 2024

Project Address: 1052 Old River Road

Project Representative: Mark Banovic, Advanced Installation & Signage Service

Ward 3- Councilmember McCormack

SPA: Downtown

Parking Garage Signage

1052 Old River Road

City Planning Commission Hearing

May 17, 2024



CITY OF CLEVELAND
Mayor Justin M. Bibb

CITY PLANNING COMMISSION

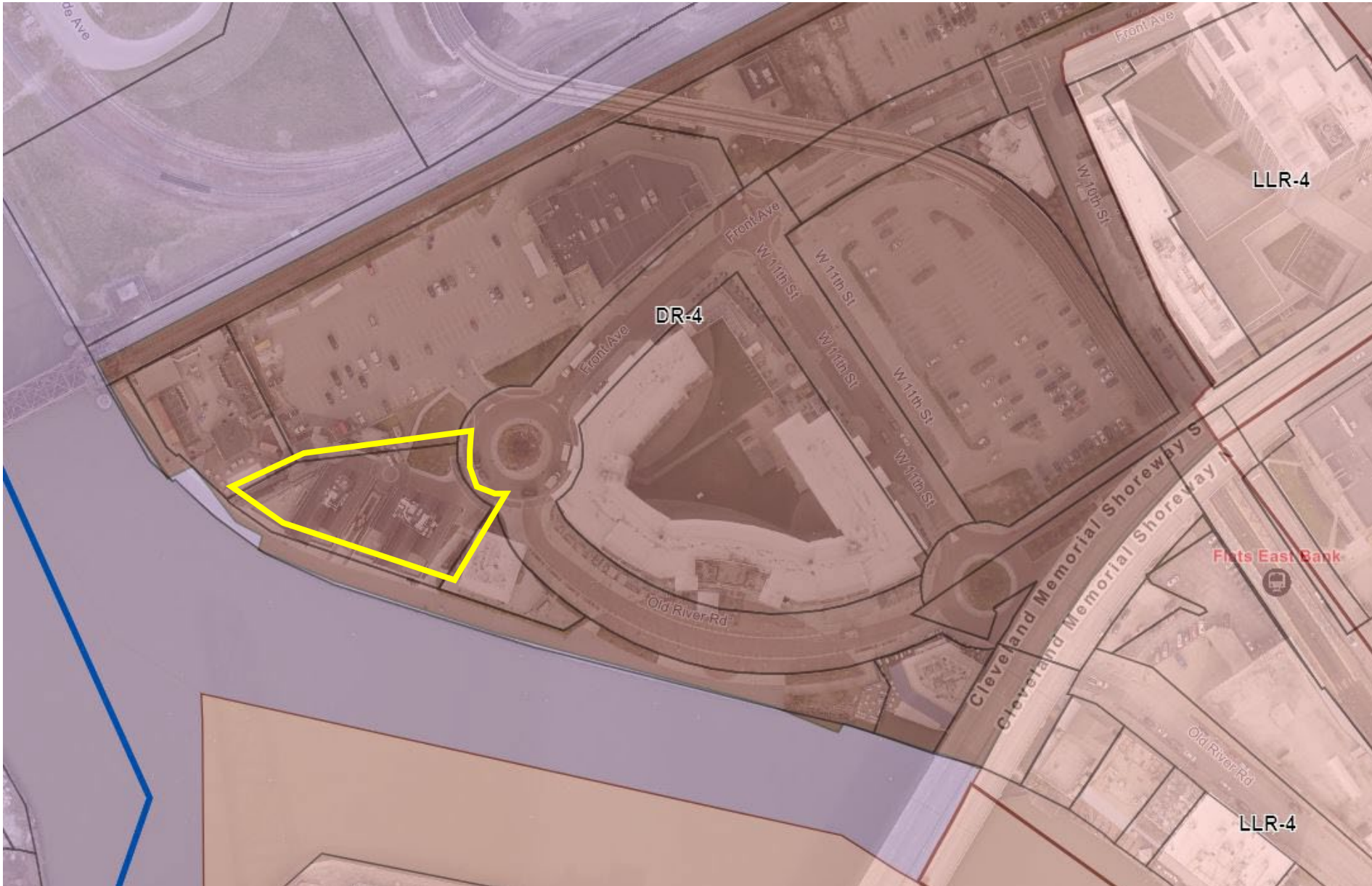
Proposal

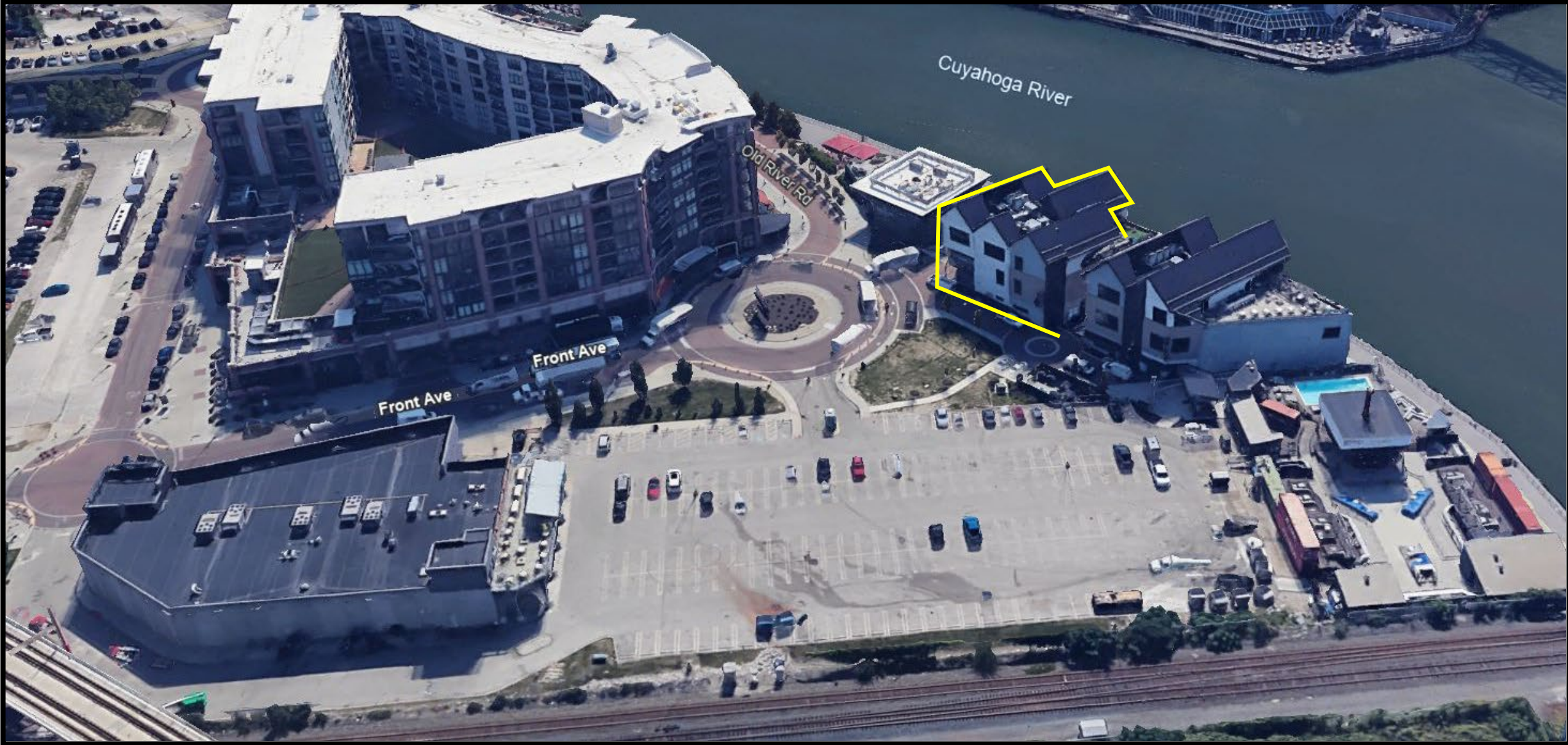
Applicant occupying 3rd floor at 1052 Old River Rd is proposing one 77 square foot business identification wall sign.



Existing Zoning

Downtown Residential-4





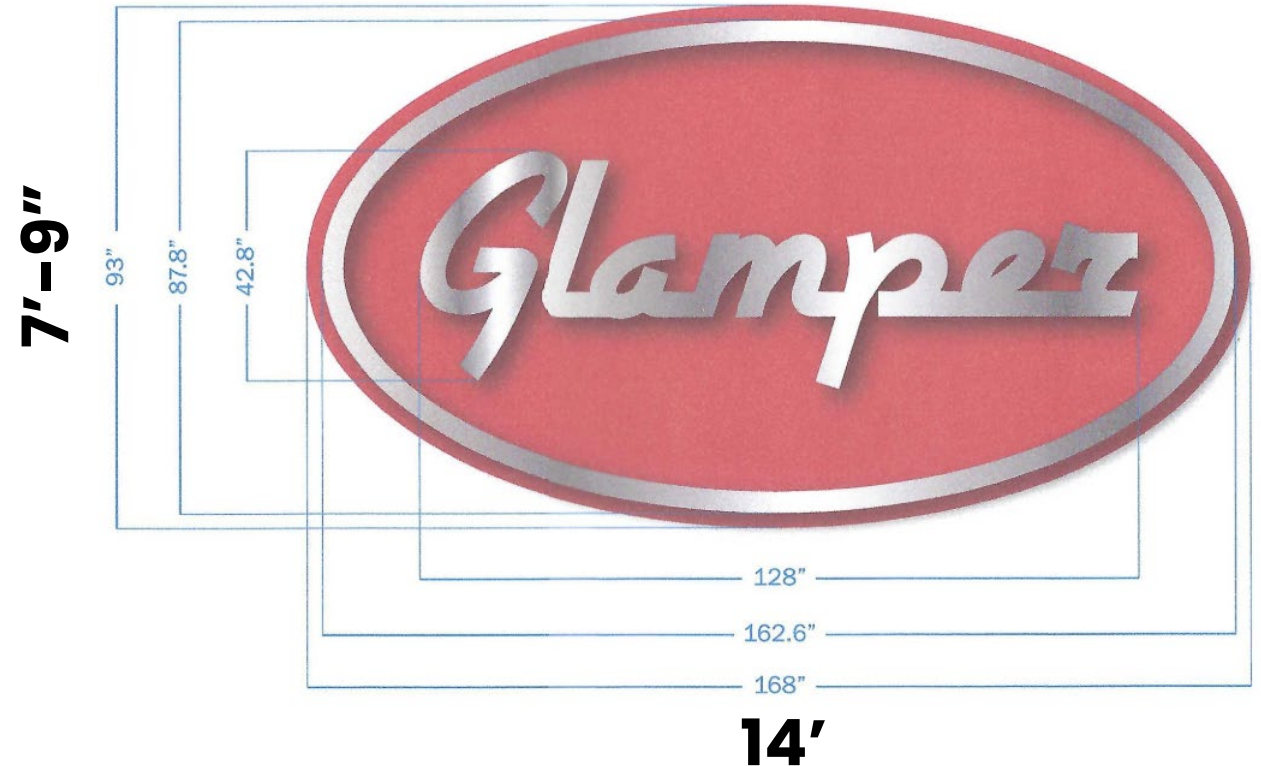
Why City Planning Commission?

- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: (*Administrative approval does not apply*)
 - **Design Compatibility:** may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
 - **Design Guidelines:** any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
 - **Minimum Variation:** Any variation shall be the **MINIMUM** necessary to ensure design compatibility
-

Variances Required

Business Identification Wall Signage:

- 12 sf max permitted for non-ground floor uses.
 - Proposing 108 sf
 - **Require variance for 96.5 sf**



Signage Represents 108 sf

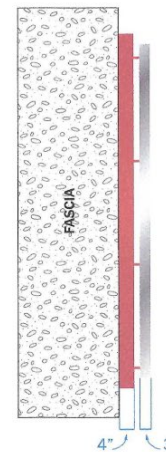
Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ **Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?**



I. OVERVIEW S/S N/I cabinet w/ rear-illuminated channel letters & border

DIRECT SIDE VIEW



7'-9"

ORTHOGRAPHIC VIEW



14'

* ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.

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City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Cleveland City Hall
601 Lakeside Avenue, Room 501
Cleveland, Ohio 44114
T: 216/664-2210 F:
216/664-3281
www.planning.clevelandohio.gov

Planning Commission/Design Review Application

DATE: 4/24/24

PROJECT NAME: Glampet

PROJECT ADDRESS: 1052 Old River Rd.

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review): Mark Branovic

COMPANY: Advanced Installation & Sign Service

PHONE: 440-520-0429 EMAIL: joeadvancedsignsandlighting@gmail.com

OWNER: Cleveland Riverfront Retail LLC


ARCHITECT/ CONTRACTOR: Advanced Installation & Sign Service

PROJECT TYPE: New Building Rehabilitation Addition Sign Fence Parking

USE TYPE: Residential Commercial Industrial Institutional Mixed-Use

Review Level: Storefront Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project.

 4/24-24
Signature and date

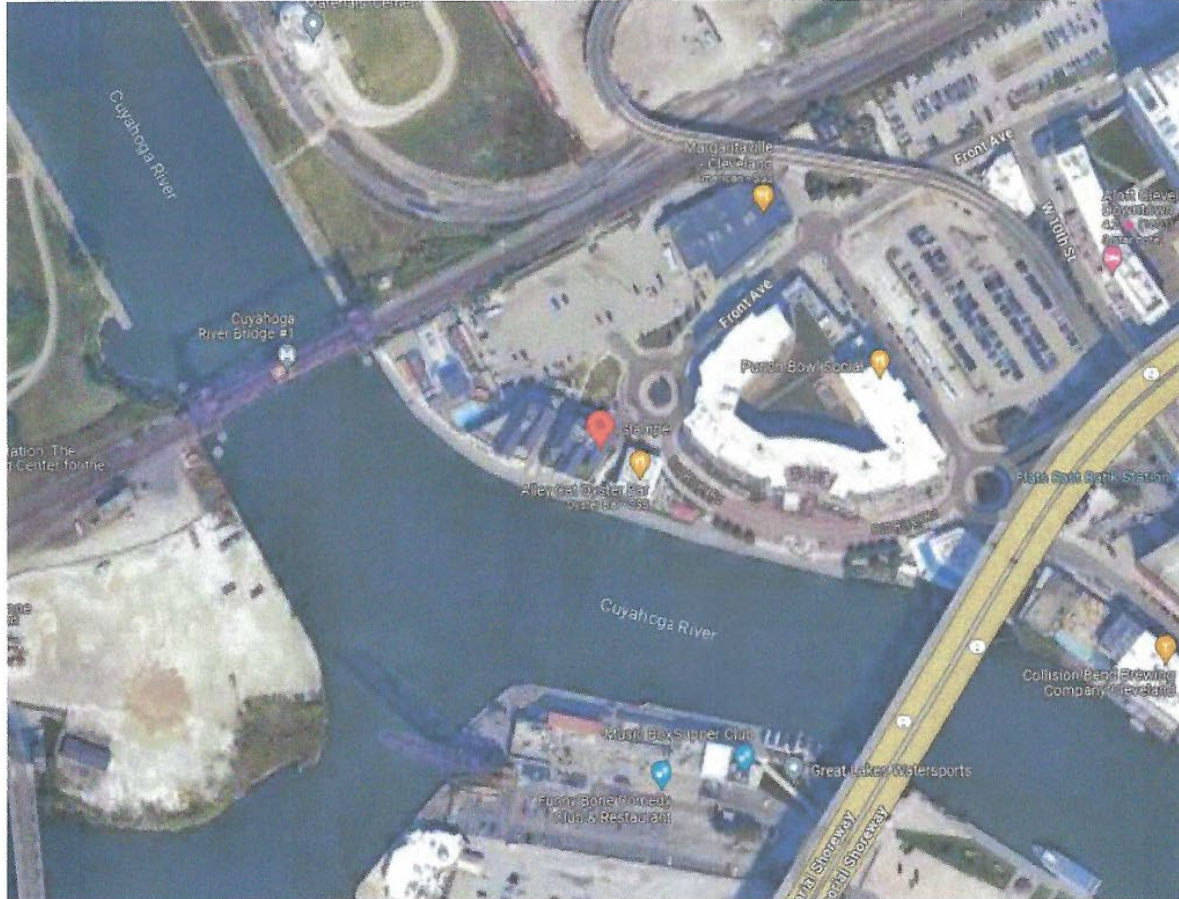
(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

GLAMPER



SCOPE OF PROJECT

i. S/S N/I cabinet w/ rear-illuminated channel letters & border



COLORS

 Pantone 186 C

 Brushed Aluminum

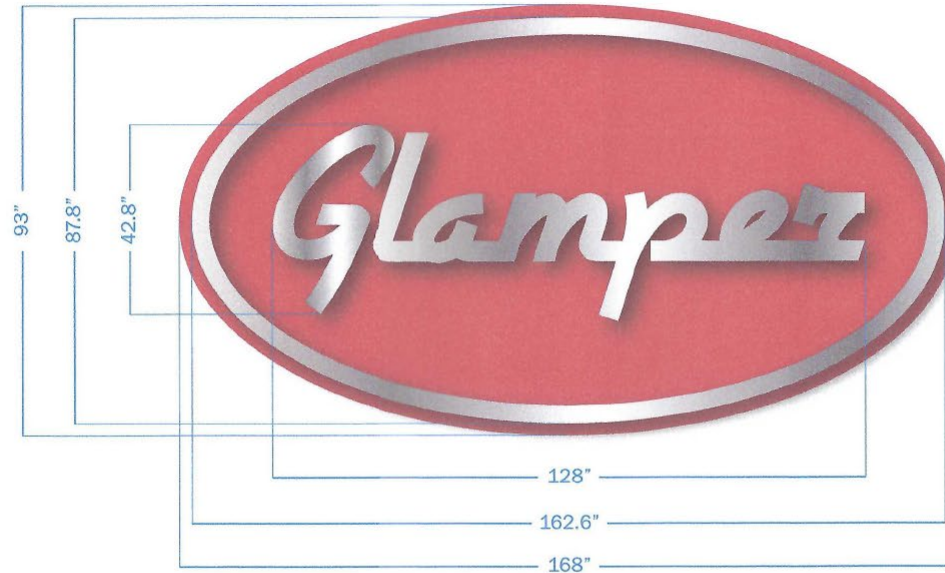
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<p>GLAMPER 1052 OLD RIVER RD, CLEVELAND, OH 44113</p>	<p>VERSIONS V1: 04/29/24</p>	<p>DATE 04/29/24</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION OVERVIEW</p>	<p>PAGE NO. 1 OF 5</p>
--	---	---------------------------------	---	---	-----------------------------------

i. OVERVIEW S/S N/I cabinet w/ rear-illuminated channel letters & border

FRONT VIEW



COLORS	MATERIALS
<p> PMS 186 C</p> <p> Brushed Aluminum</p>	<p>CABINET BODY: 4" D aluminum fabrication, painted red</p> <p>COPY & BORDER: 3" D rear-illuminated channel letters w/ aluminum faces, aluminum returns & clear polycarbonate backs, painted silver; Border to be made in four (4) sections; "Glampet" to be made in three (3) sections</p> <p>PAINTS: PMS 186 C & Brushed Aluminum, all satin</p> <p>LIGHTING: Channel letters & border to be rear-lit w/ 7500K white LEDs & 12V internal power supplies; UL listed; Power to be brought to point of install (at least 6 ft) by customer</p> <p>MOUNTING: Channel letters & border to be mounted to cabinet w/ threaded aluminum studs & 1.5" spacers; Cabinet to be mounted flush to fascia (hardware by installers)</p>

***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

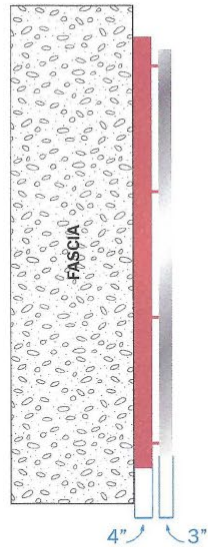
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<p>GLAMPER 1052 OLD RIVER RD, CLEVELAND, OH 44113</p>	<p>OVERALL DIMENSION: 14' - 0" W x 7' - 9" H x 8.5" D</p> <p>SQUARE FOOTAGE 108.5 ft.²</p>	<p>SCALE 1 : 20</p>	<p>DATE 04/29/24</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION FRONT VIEW</p>	<p>PAGE NO. 2 OF 5</p>
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i. OVERVIEW S/S N/I cabinet w/ rear-illuminated channel letters & border



SIDE VIEWS

DIRECT SIDE VIEW



ORTHOGRAPHIC VIEW



COLORS	MATERIALS
 PMS 186 C	CABINET BODY: 4" D aluminum fabrication, painted red
 Brushed Aluminum	COPY & BORDER: 3" D rear-illuminated channel letters w/ aluminum faces, aluminum returns & clear polycarbonate backs, painted silver; Border to be made in four (4) sections; "Glamper" to be made in three (3) sections
	PAINTS: PMS 186 C & Brushed Aluminum, all satin
	LIGHTING: Channel letters & border to be rear-lit w/ 7500K white LEDs & 12V internal power supplies; UL listed; Power to be brought to point of install (at least 6 ft) by customer
	MOUNTING: Channel letters & border to be mounted to cabinet w/ threaded aluminum studs & 1.5" spacers; Cabinet to be mounted flush to fascia (hardware by installers)

***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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GLAMPER 1052 OLD RIVER RD, CLEVELAND, OH 44113	OVERALL DIMENSIONS: 14' - 0" W x 7' - 9" H x 8.5" D SQUARE FOOTAGE: 108.5 ft.²	SCALE 1 : 20	DATE 04/29/24	PROJECT MANAGER ANNA A.	PAGE DESCRIPTION SIDE VIEWS	PAGE NO. 3 OF 5
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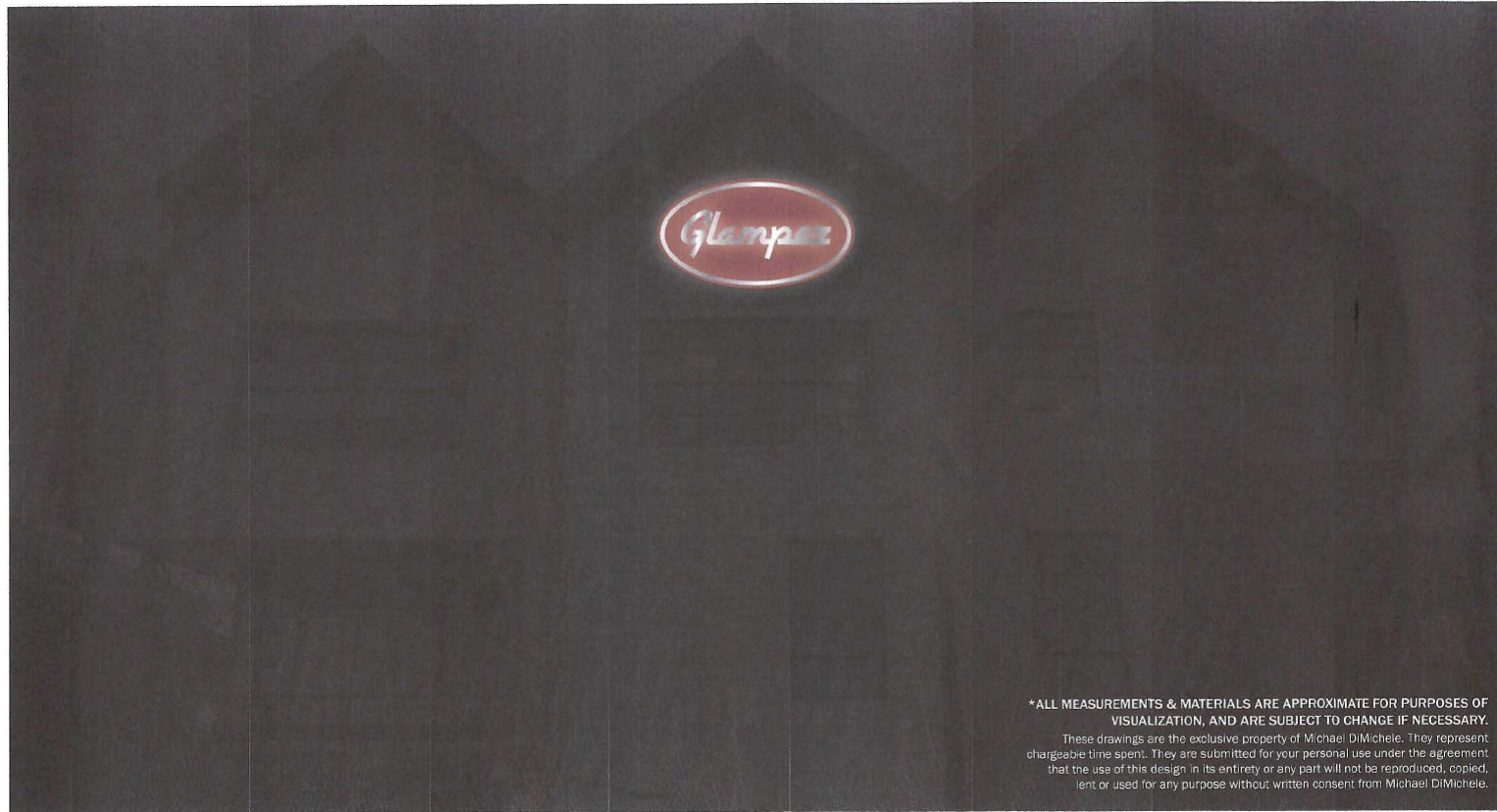


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<p>GLAMPER 1052 OLD RIVER RD, CLEVELAND, OH 44113</p>	<p>OVERALL DIMENSIONS: 14' - 0" W x 7' - 9" H x 8.5" D SQUARE FOOTAGE 108.5 ft.²</p>	<p>SCALE AS NOTED</p>	<p>DATE 04/29/24</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION MOCK-UP ON SITE - DAY</p>	<p>PAGE NO. 4 OF 5</p>
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i. OVERVIEW S/S N/I cabinet w/ rear-illuminated channel letters & border

MOCK-UP ON SITE - NIGHT TIME

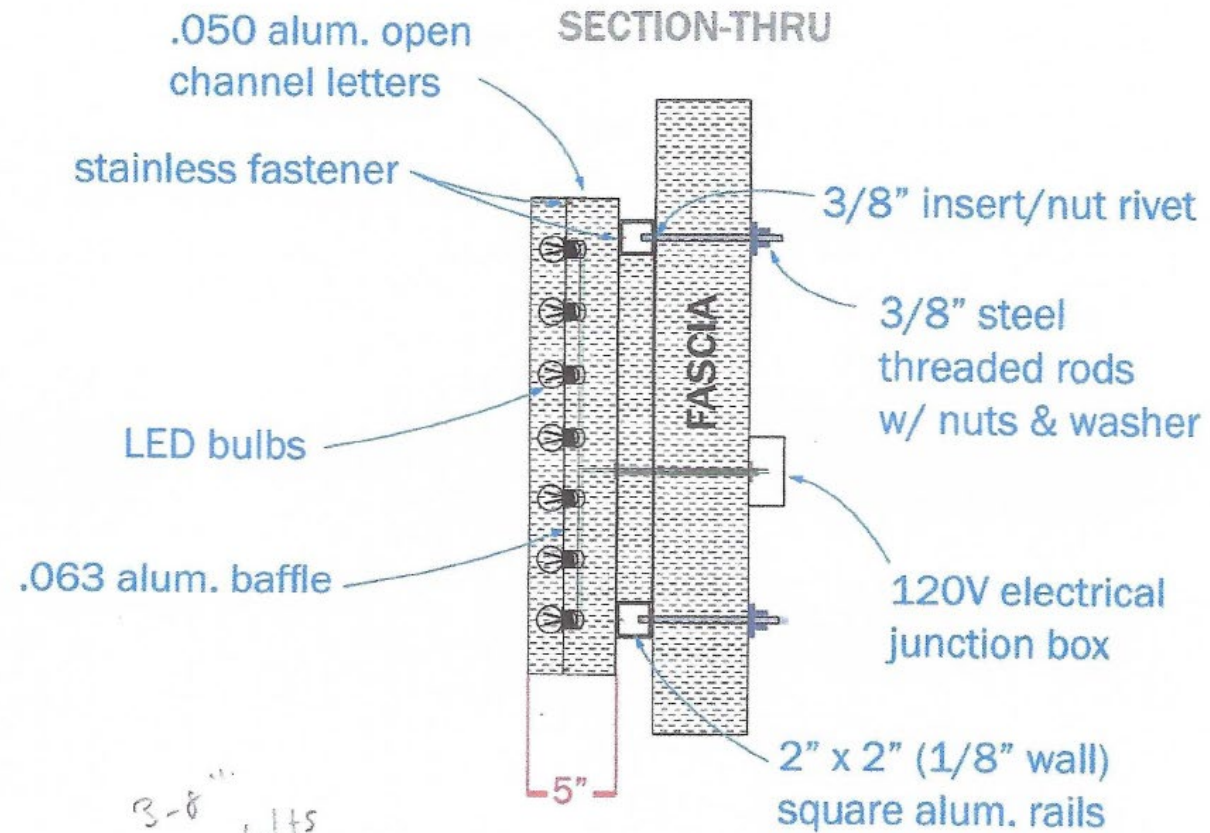


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GLAMPER 1052 OLD RIVER RD, CLEVELAND, OH 44113	OVERALL DIMENSIONS: 14' - 0" W x 7' - 9" H x 8.5" D SQUARE FOOTAGE: 108.5 ft.²	SCALE AS NOTED	DATE 04/29/24	PROJECT MANAGER ANNA A.	PAGE DESCRIPTION MOCK-UP ON SITE - NIGHT	PAGE NO. 5 OF 5
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OVERVIEW: Open-faced channel letters w/ LED bulbs, mounted to rails



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

DF2024-026 – The Beacon Skyline Signage: Seeking Final Approval

May 17, 2024

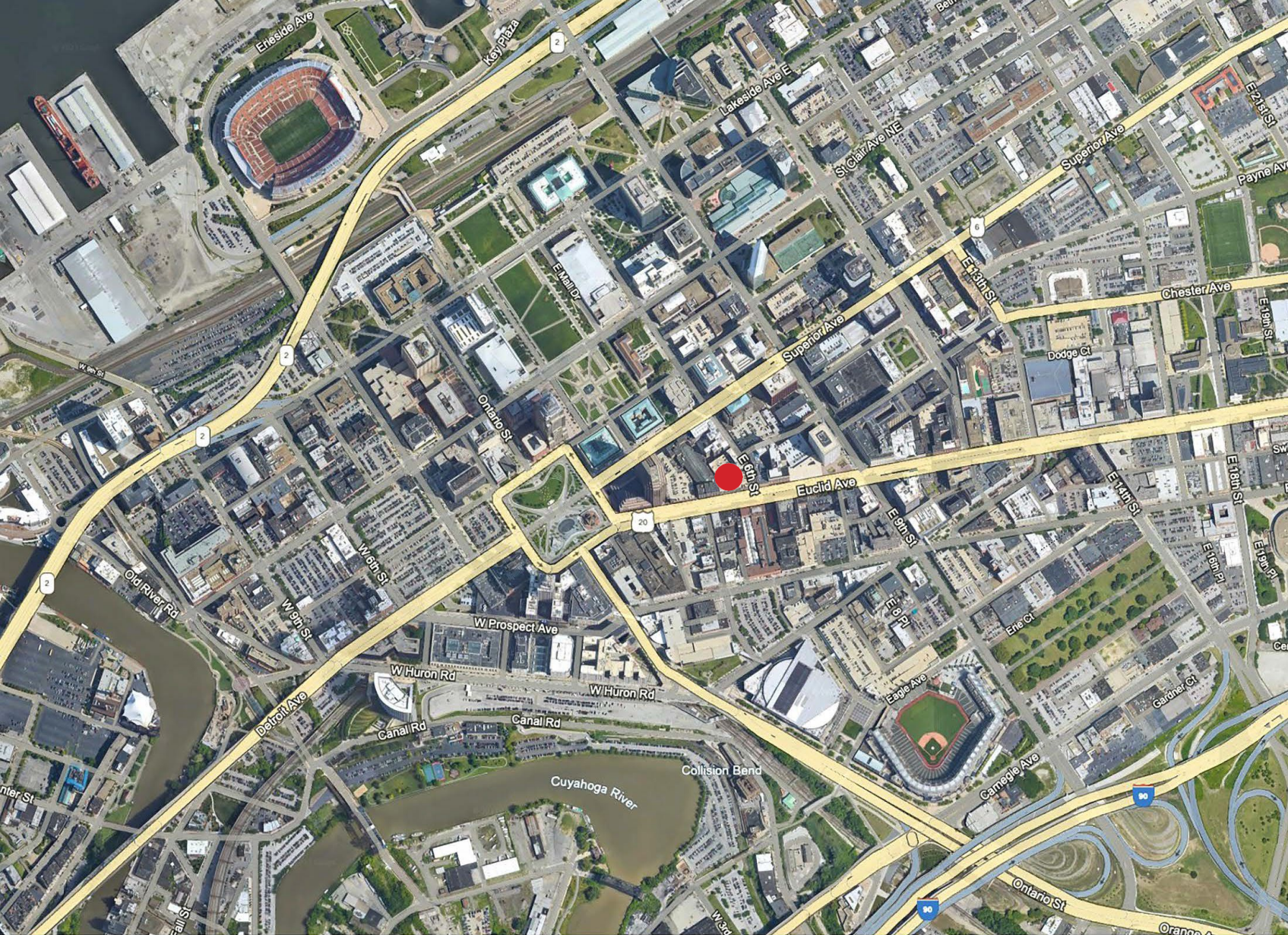
Project Address: 515 Euclid Avenue

Project Representative: Travis Jeric, Stark Enterprises

Ward 3- Councilmember McCormack

SPA: Downtown

Building Location



Rooftop Location





DECAL MATERIAL:
 3M 1080 Colored Vinyl - 6-7 years warranty
 Arlon - 3220 Gloss Lamination

Each Letter is approx. 30" w x 105" t of vinyl.
 Altogether, with Space between letters: 37.8 feet Wide

Print & Install Decal

CONTACT: Mike Rini,
Mike.rini@reprosinco.com
 440-376-3465

3001 Superior Avenue
 Cleveland, OH 44114

Lighting Install

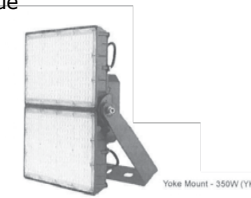
CONTACT: Damien Harburn
dharburn@tricityelectric.com
 (440) 542-0735 Office
 (216) 389-3314 Cell

Tri-County Electric Service, Inc.
 4900 Neo Parkway
 Garfield Heights, OH 44128

LIGHTING:
 4 Lights - Commercial Grade

TRACE LITE
 commercial & industrial lighting

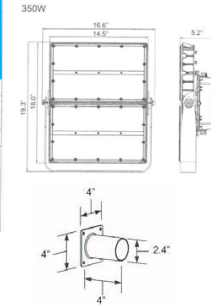
FXA 70-350W Series
 Large Square Back LED Flood



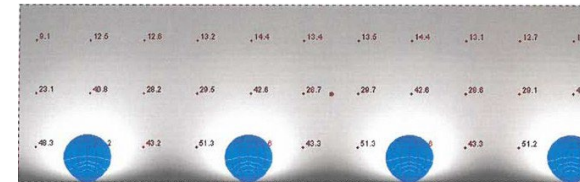
Specs at a Glance*					
Model	FXA-70	FXA-100	FXA-135	FXA-200	FXA-350
Wattage (W)	70W	100W	135W	200W	350W
Lumens (lm)	890	13,300	18,000	26,200	50,000
Efficacy (LPW)	127	133	133	131	137
Equivalency (HID)	250W	250W-400W	400W	400W	750W-1000W
Distribution	Medium Narrow (4°x4°), Wide (7°x6°)				
Mounting	Trunnion, Gaffer (Yoke - 320W Only)				
CCT (K)	4000K, 5000K				
CRI	≥70				
Input Voltage	120-277VAC, 50/60Hz, 347-480VAC Option, 1-10V Dimming				
Operating Temp	-40° C to 40° C (-40° F to 104° F)				
Certifications	cULus Listed for Wet Locations				
Warranty	5 Years				
Weight*	7.4 lbs	9.2 lbs	13.4 lbs	14.4 lbs	31.3 lbs

* Nominal wattage. Tested at 6000K CCT. Values at 100077VAC.
 See performance table for more detailed lumen information.
 Note: Environment and application will affect performance. Typical values and 25° C used for testing. Specifications subject to change without notice.

* Operating temperatures: -40° C to 40° C (-40° F to 104° F)



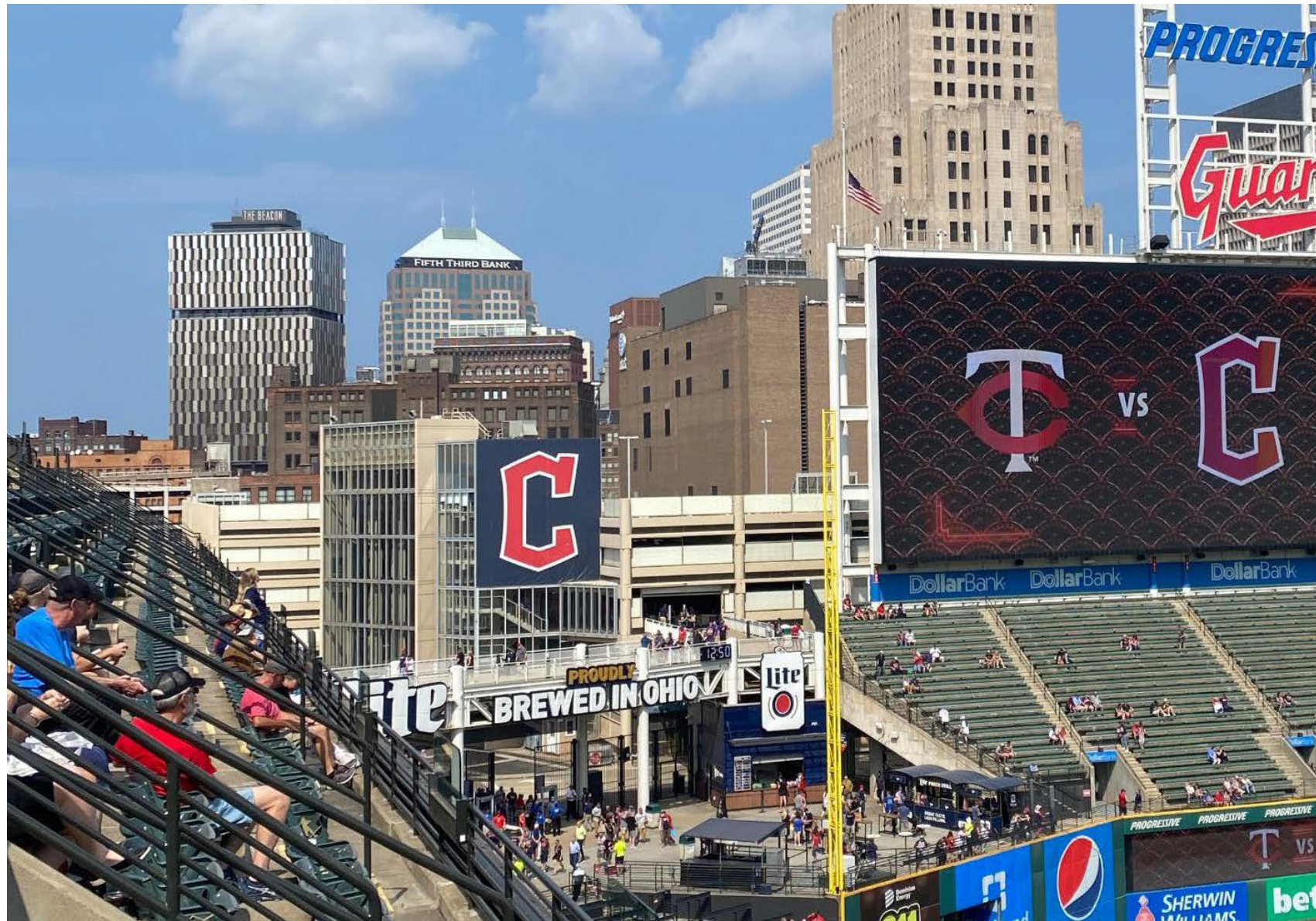
Wall Mounting Bracket
 AXL2-80/280-VV



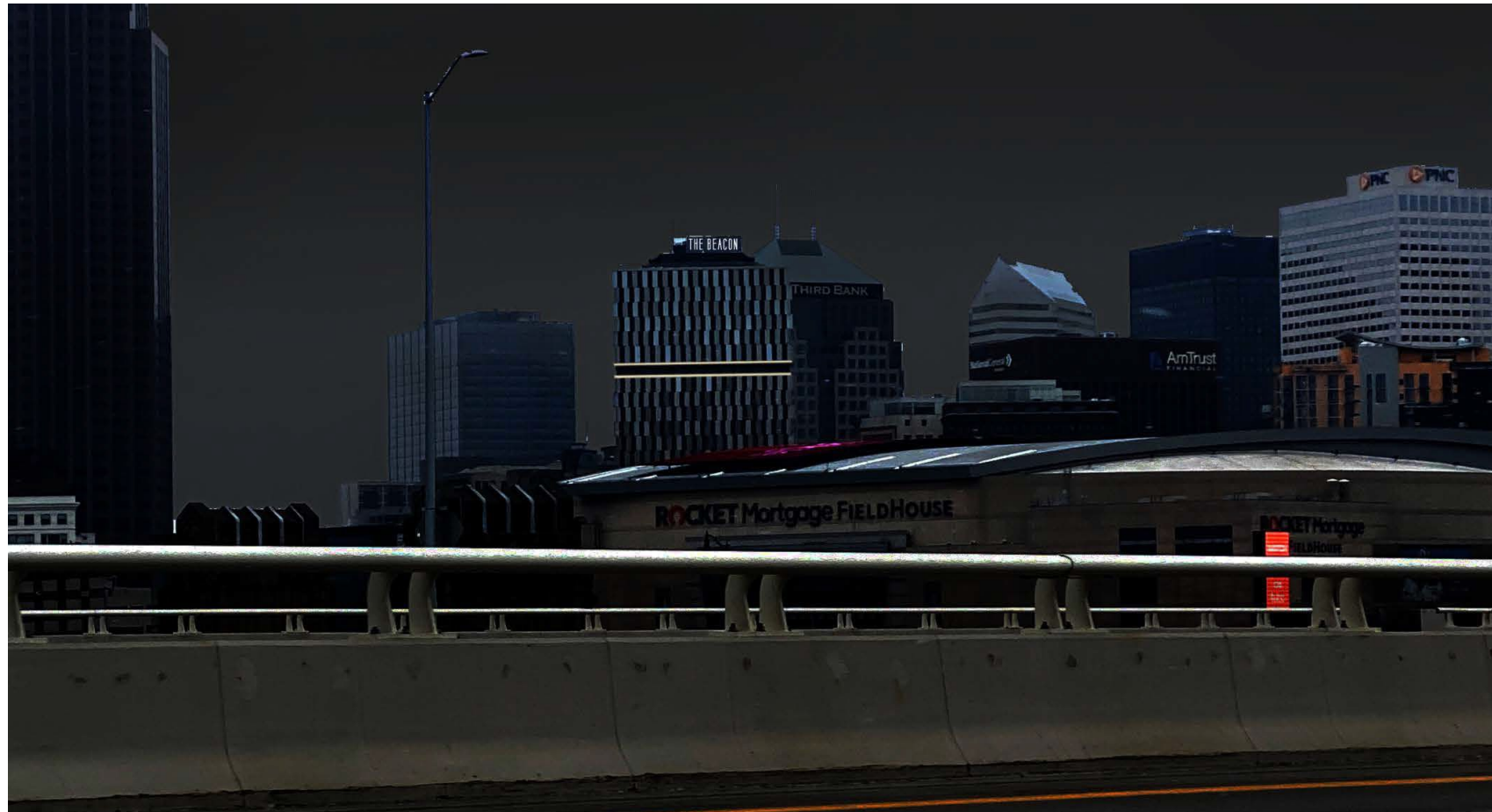
View From Highway



View From Progressive Field



View at Night



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Cleveland City Planning Commission

Special Presentations – Public Art



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Westin Cleveland Mural: Seeking Final Approval

May 17, 2024

Location: 777 St Clair Avenue

Representative: Alex Sanchioni, Ground Level

AP

WESTIN CLEVELAND

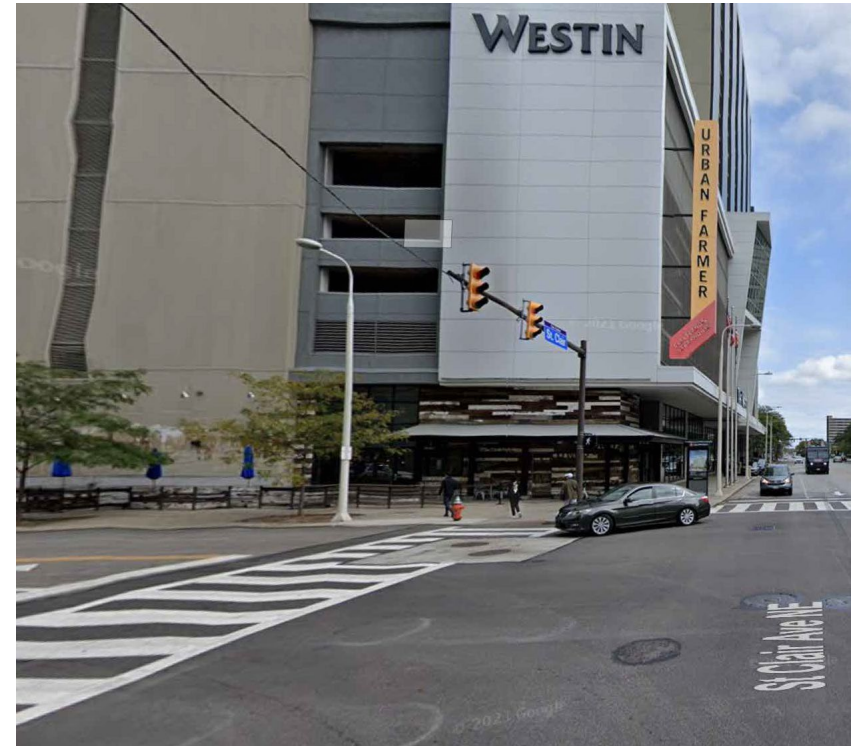
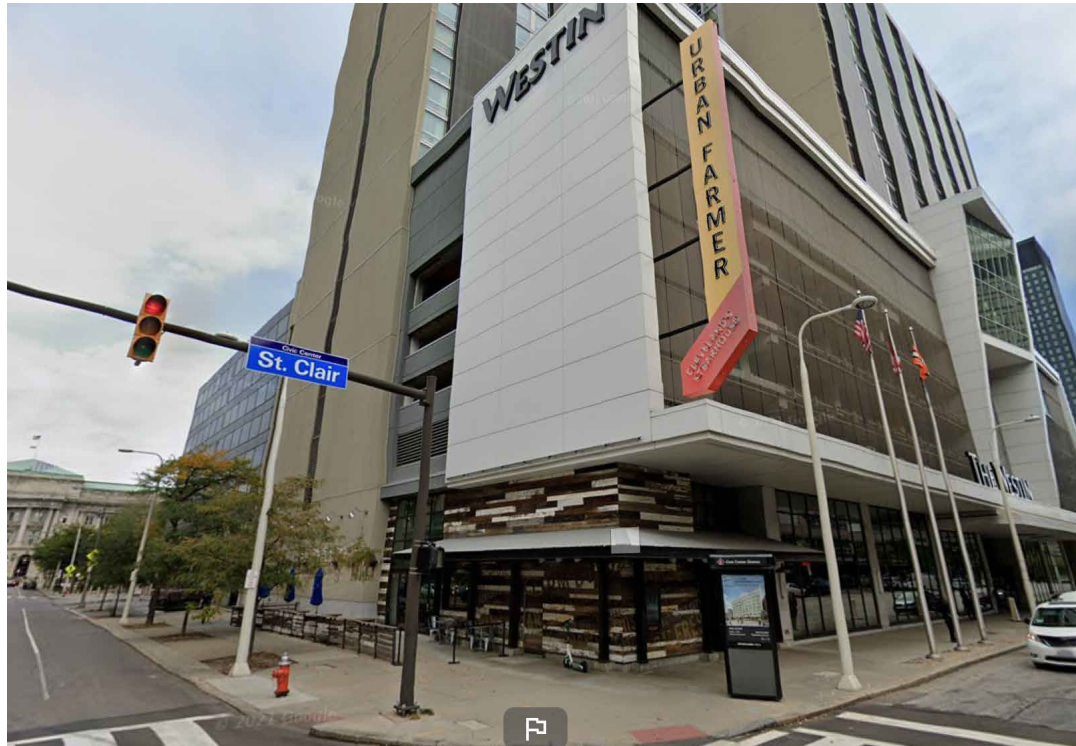
MASA & AGAVE MURAL
R.010 PRESENTED 05/09/2024

ARTIST BRIEF & DESIGN SUMMARY

The ideation behind this mural is to inspire love and interest around authentic Mexican narratives, culture, and of course community.

The Painting of Princess Mayhael (God of Agave) depicts the mythical moment when Princess Mayhael first drew the elixir of life from the heavens, a gift for which mankind continues to honor her.

Using a traditional hand painted installation style of vertical brush strokes, we will apply layers of acrylic paint directly to the surface of the building to achieve a rustic texture. This will continue our narrative of authenticity and craftsmanship similar to those works found throughout Jalisco and other parts of Western Mexico.



EXISTING CONDITIONS

THE PAINTING OF

PRINCESS MAYHAEL

31.5'



DETAIL & INSTALLATION

Using an articulating boom lift we will clean the existing aluminum siding with non toxic soap and water. We then will scuff the surface and paint directly on to building with exterior acrylic paint.



**Thank you
for your time,
consideration,
& the chance to
share with you.**

Cleveland City Planning Commission

Mandatory Referrals



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Ordinance No. 469-2024 (Introduced by Councilmembers Griffin, Bishop and Hairston – by departmental request): Authorizing the Director of Capital Projects to issue a permit to Little Italy Redevelopment Corporation to encroach into the public right-of-way of Random Road by installing and maintaining a “Guardians of Traffic” Ohio Historical Marker.

May 17, 2024



CITY OF CLEVELAND
Mayor Justin M. Bibb

City Planning Commission

Richard Switalski, PE

Administrative Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

Friday, May 5th 2024



Ordinance No. 469-2024

Encroachment permit

Authorizes the Director of Capital Projects to issue a permit to Little Italy Redevelopment Corporation to encroach into the public right of way of Random Road

Encroachment permit is for installing and maintaining a “Guardians of Traffic” Ohio Historical Marker



Ordinance No. 469-2024

Location of sign: 2100 Random Road



Ordinance No. 469-2024

Sign



Questions & Feedback?



Ordinance No. 472-2024 (Introduced by Councilmember Starr):

May 17, 2024

Designating First Hungarian Reformed “Stone” Church (aka Second New Hope Baptist Church) as a Cleveland Landmark.

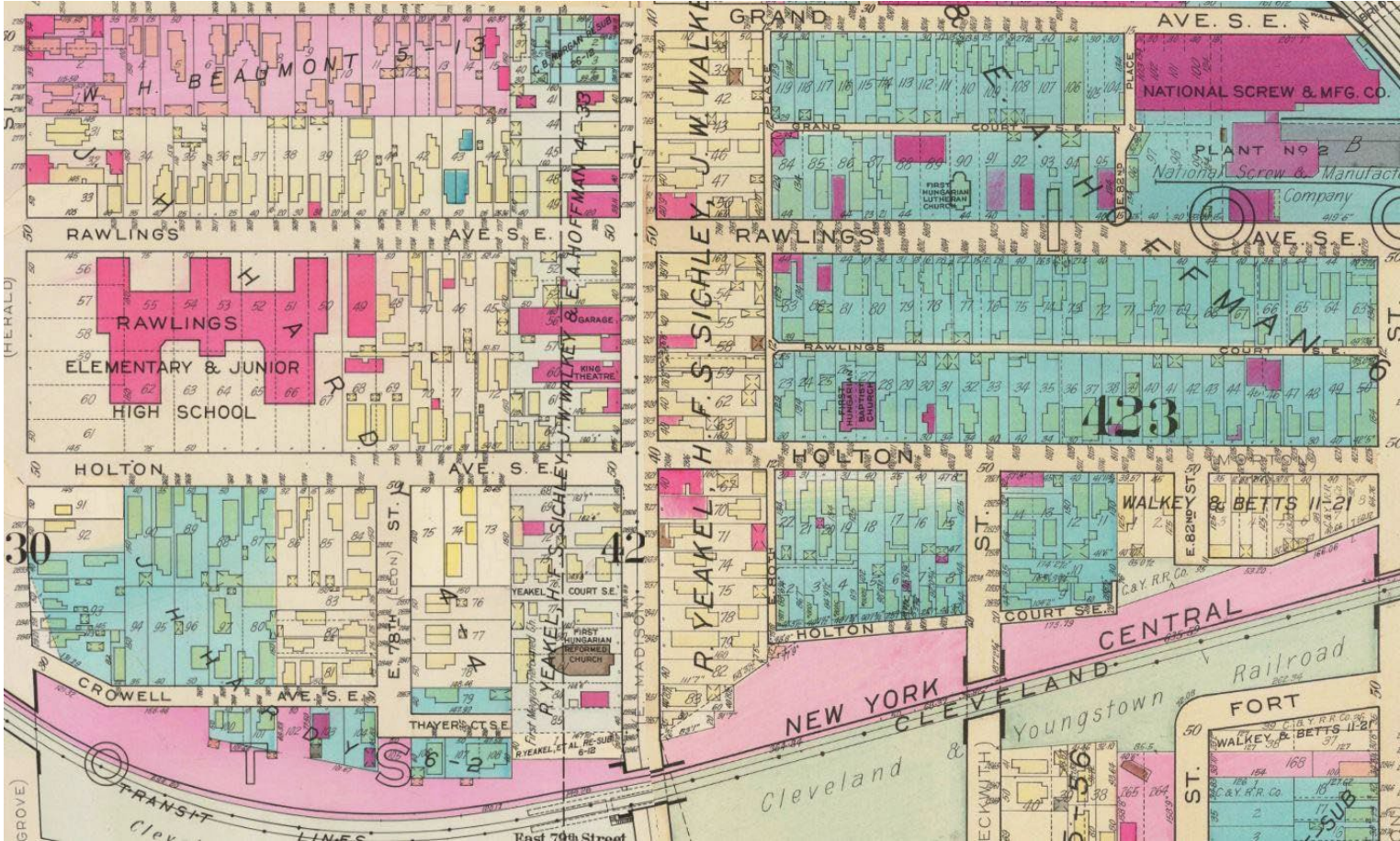
First Hungarian Reformed Church

2850 East 79th Street

History of Place



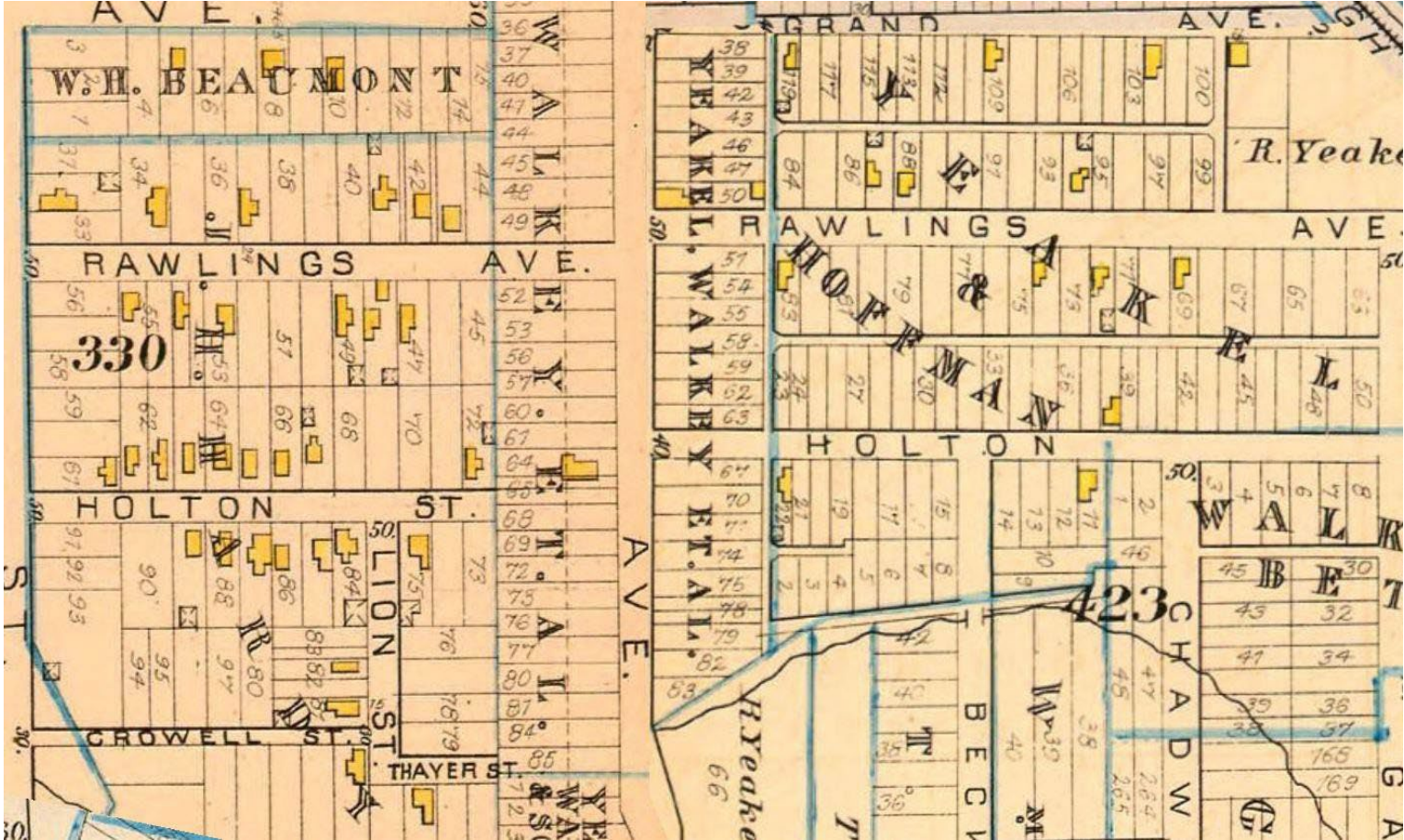
History of Place



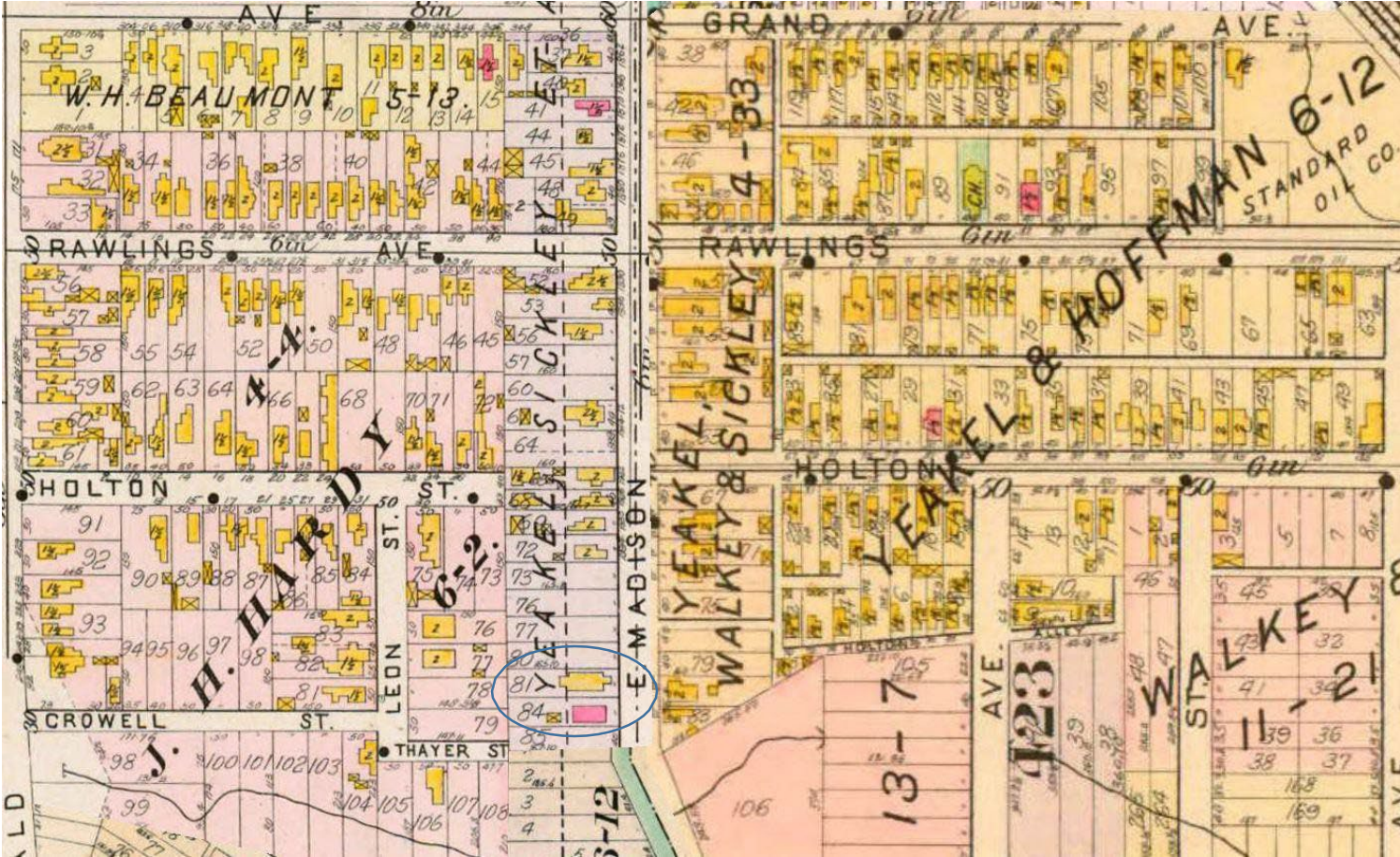
Hungarians in Cleveland



Hungarians in Cleveland - 1881



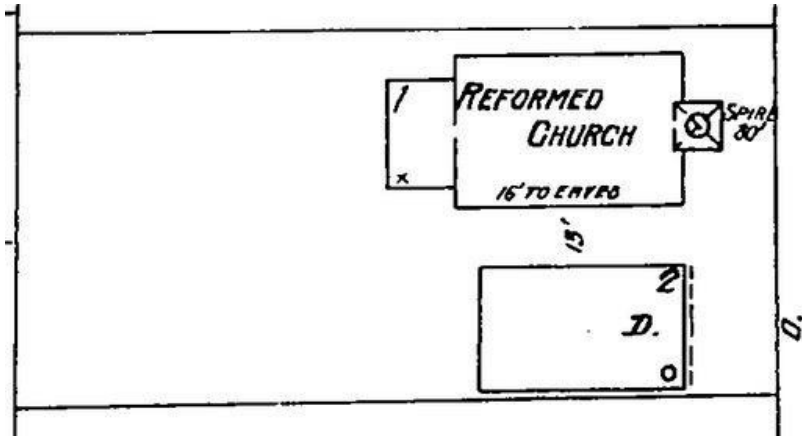
Hungarians in Cleveland - 1898



Arrival in the Neighborhood

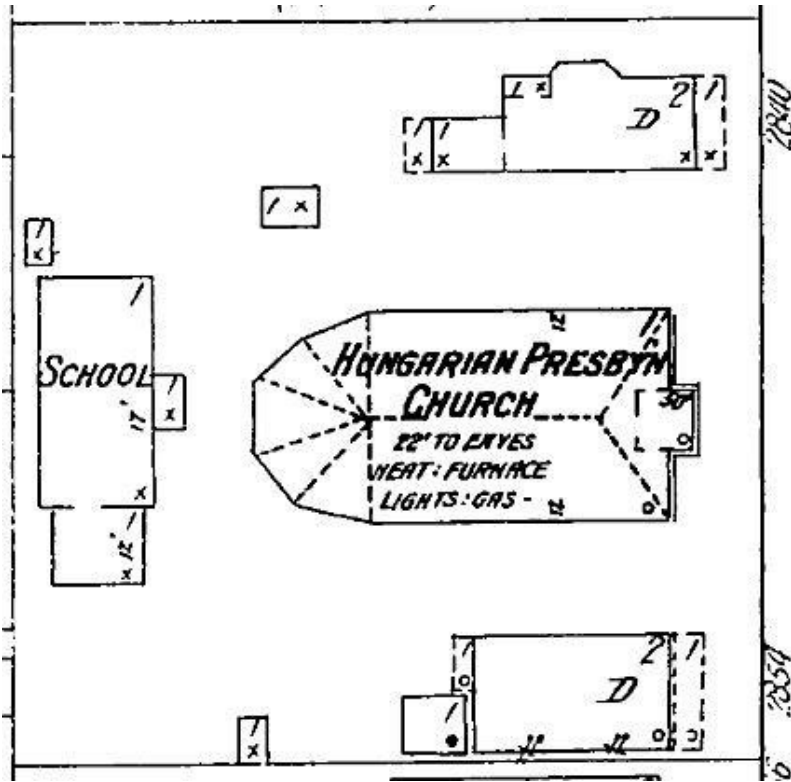
- Trinity Reformed Church established in 1891
- First of all Hungarian Congregations in the United States
- May 19, 1892 - Charter secured
- 1894 – First Church building constructed
 - September 23 – Cornerstone laid
 - November 25 – Church Dedicated
- 1896 merged with the Reformed Church of Hungary

“The Wooden Church”



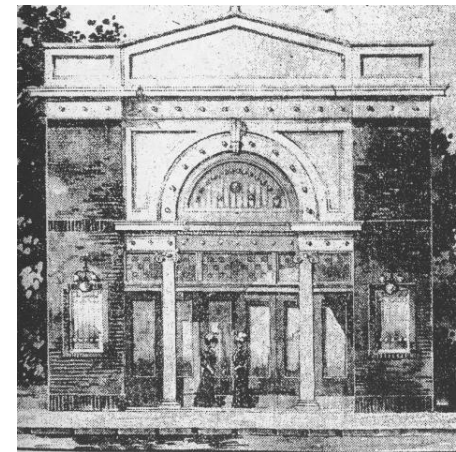


“The Stone Church”



- 1903 – Construction begins
- 1904 – Memorial Day church dedicated
- Cleveland Architect Paul Matzinger

Paul Matzinger



“The Stone Church”



1908





1915



1926





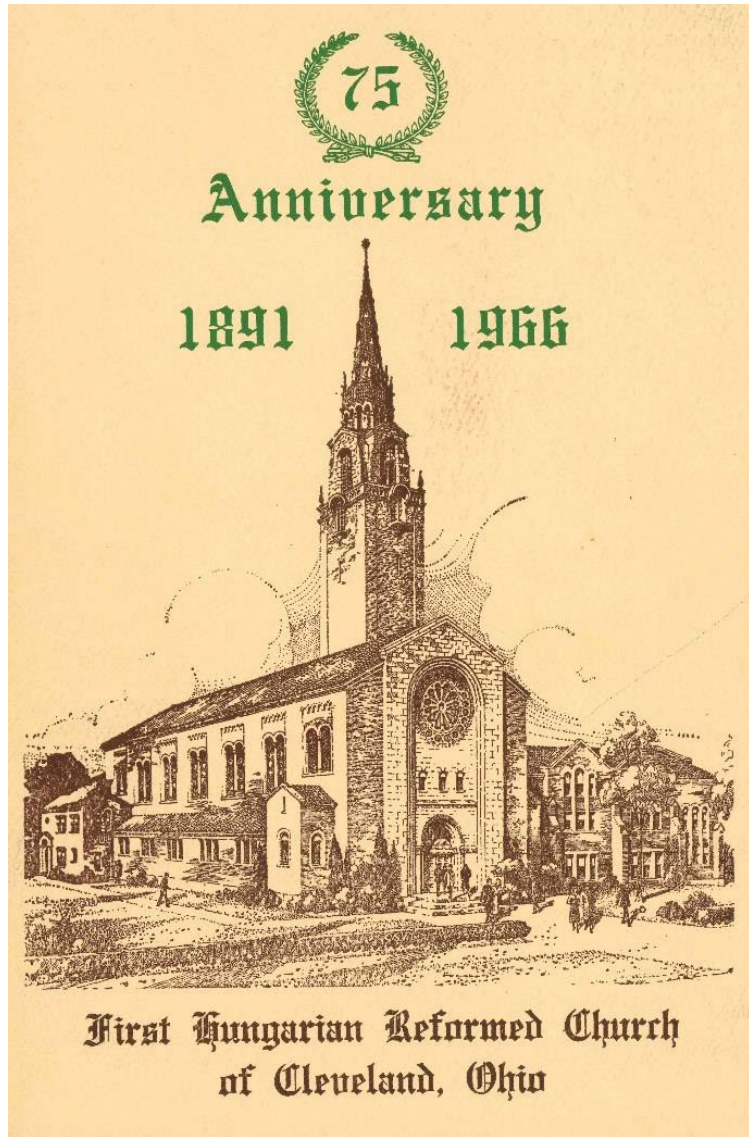
Robinson
Photo
1911

Congregation History

- 1916 – Silver Anniversary
- Congregation purchased a house at Buckeye and East 123rd as great numbers of members were moving up the hill
- 1925 – Purchased one acre of land at the corner of East Boulevard and Buckeye Road
- 1932 – Construction began on Bethlen Hall
- 1948 – Groundbreaking for the new church
- Sept 4, 1949 – Dedication of “The Grand Church”



A LELEPÁSZTOR KALAPÁCSUTÉSE AZ ALAPKÖVÖN
THE TAPPING ON THE CORNERSTONE BY PASTOR



Building History

- Second New Hope Baptist Church
- Formed in 1924 as the “New Home Chorus”
- 1930 – Merged with Neriah Baptist Church and became “Second New Hope Baptist Church”
- November 1943 – Moved into “The Stone Church”

Building History

- 1956 – Steeple removed and opening enclosed
- 1962 – steps replaced
- 1963 – Erect sign
- 1964 – Chain link fence
- 1977 – Install baptismal pool



Building History



Building History



Landmark Nomination

- February 1987 – Nomination for Landmark Designation
- March 1987 – Church unanimously agrees to designation
- March 12, 1987 – Council Member Preston Terry consents to designation
- March 19, 1987 – Legislation Introduced for Ord. 775-87
- Approved by Legislation Committee and Planning Commission

Landmark Nomination

- October 5, 1987 – On the agenda for the Finance Committee
- Unknown why Ordinance stopped at this point.
- The building was still not designated in 1989 when the congregation decided to move to 2917 E 116th Street
- Ordinance was tabled ending the designation process

Building History

- November 1989 – Church sold to New Community Apostolic Faith Church
- Very little information about this church
- Another nomination letter sent in October 2002 but no further action
- taken
- At some point the congregation abandoned the building
- State of Ohio Forfeiture 2017
- Cuyahoga County Land Reutilization 2018

Building History



East Design Review District

Agenda

8:30a.m., Tuesday, June 26, 2018
Cornucopia Place, 7201 Kinsman Avenue

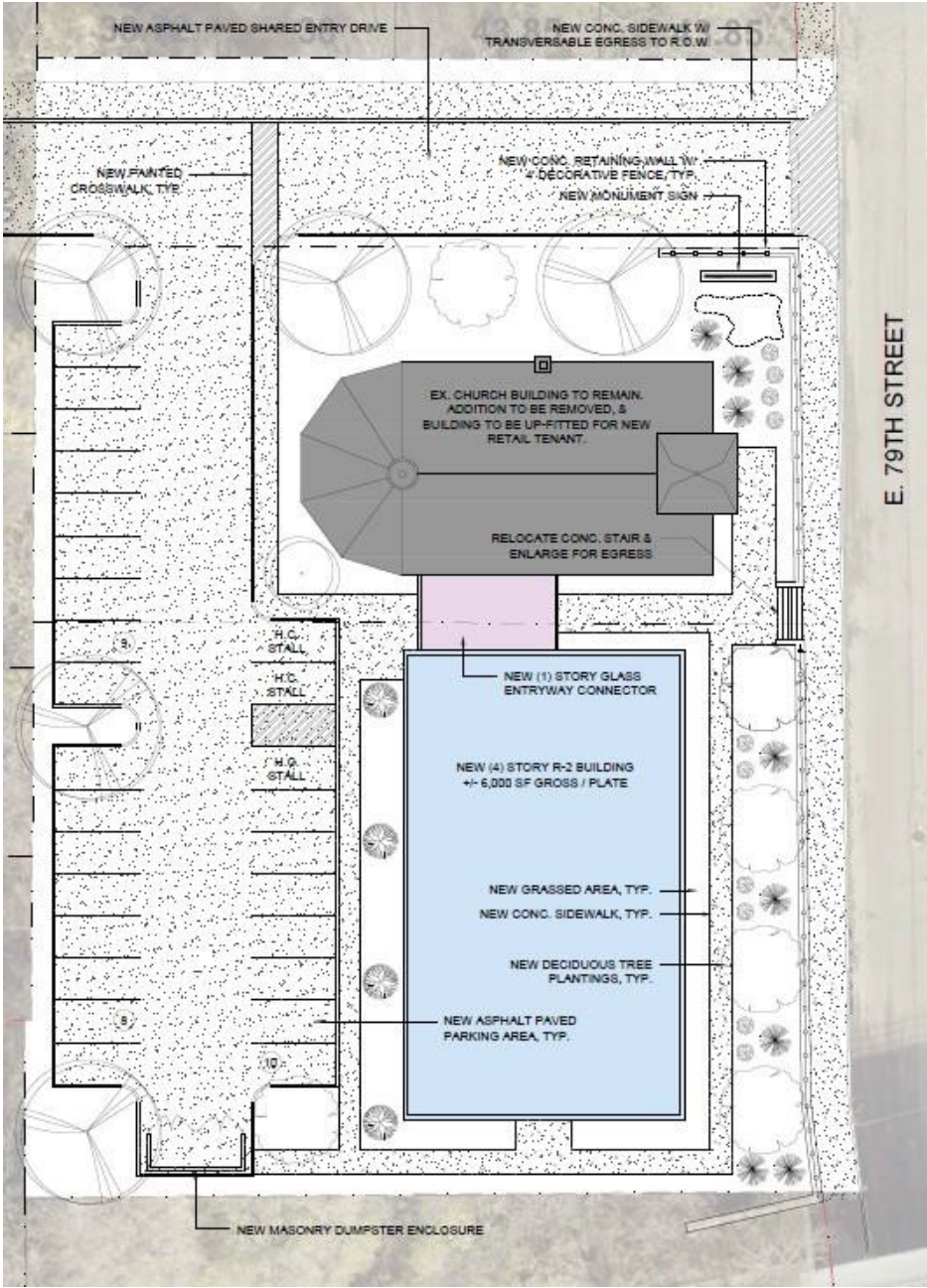
8:30	East 2018-028	New Community Apostolic Demolition 2850 E 79 th Street Opportunity Corridor District Victoria Neenan, Burten, Bell, Carr Development William Willis, Burten, Bell, Carr Development	C
------	---------------	--	---

- After a lengthy discussion the proposal was tabled
 - Consider mothballing to address safety concerns
 - Study how this can be integrated into a development plan
 - Hold for 6-8 weeks for due diligence study of options and potential landmarking

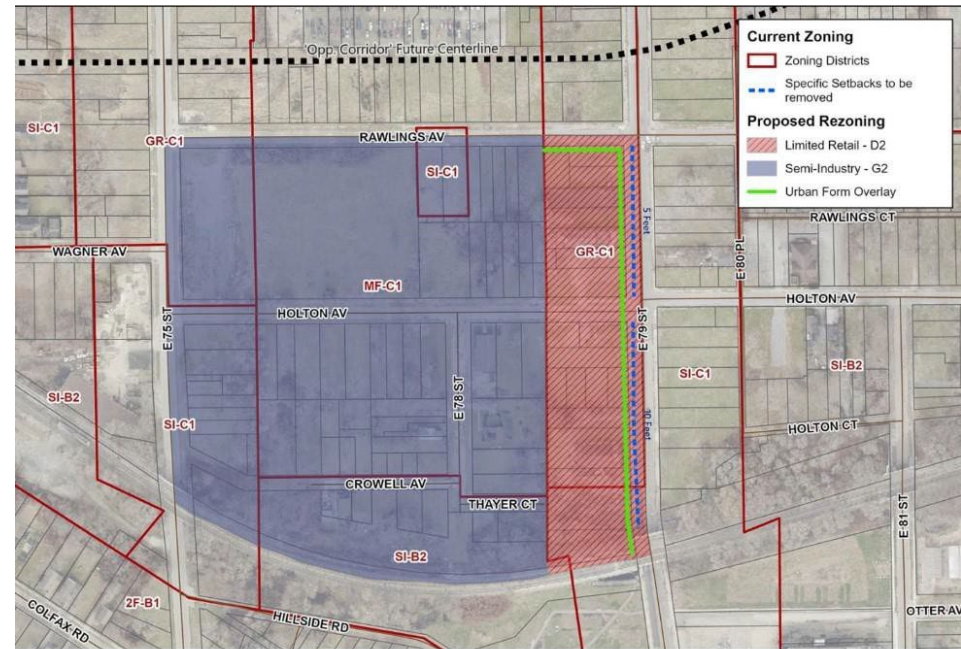
Current Lots



- City of Cleveland Land Reutilization Program
- The Zone LLC
- City of Cleveland

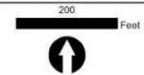


- Prime candidate for reuse
- Zoned Limited Retail
- Changed in 2021



Map Change 2641

Changing the Use, Area & Height Districts of parcels of land south of Opportunity Corridor Blvd between East 75th Street and East 79th Street



May 24, 2021

Conditions 2019















Thank You



Ordinance No. 473-2024 (Introduced by Councilmember Gray):

May 17, 2024

Designating the Second New Hope Baptist Church (former St. Margaret of Hungary Catholic Church) as a Cleveland Landmark.



CITY OF CLEVELAND
Mayor Justin M. Bibb

2024 City of Cleveland
**Cleveland Landmark
Nomination**

April 11, 2024



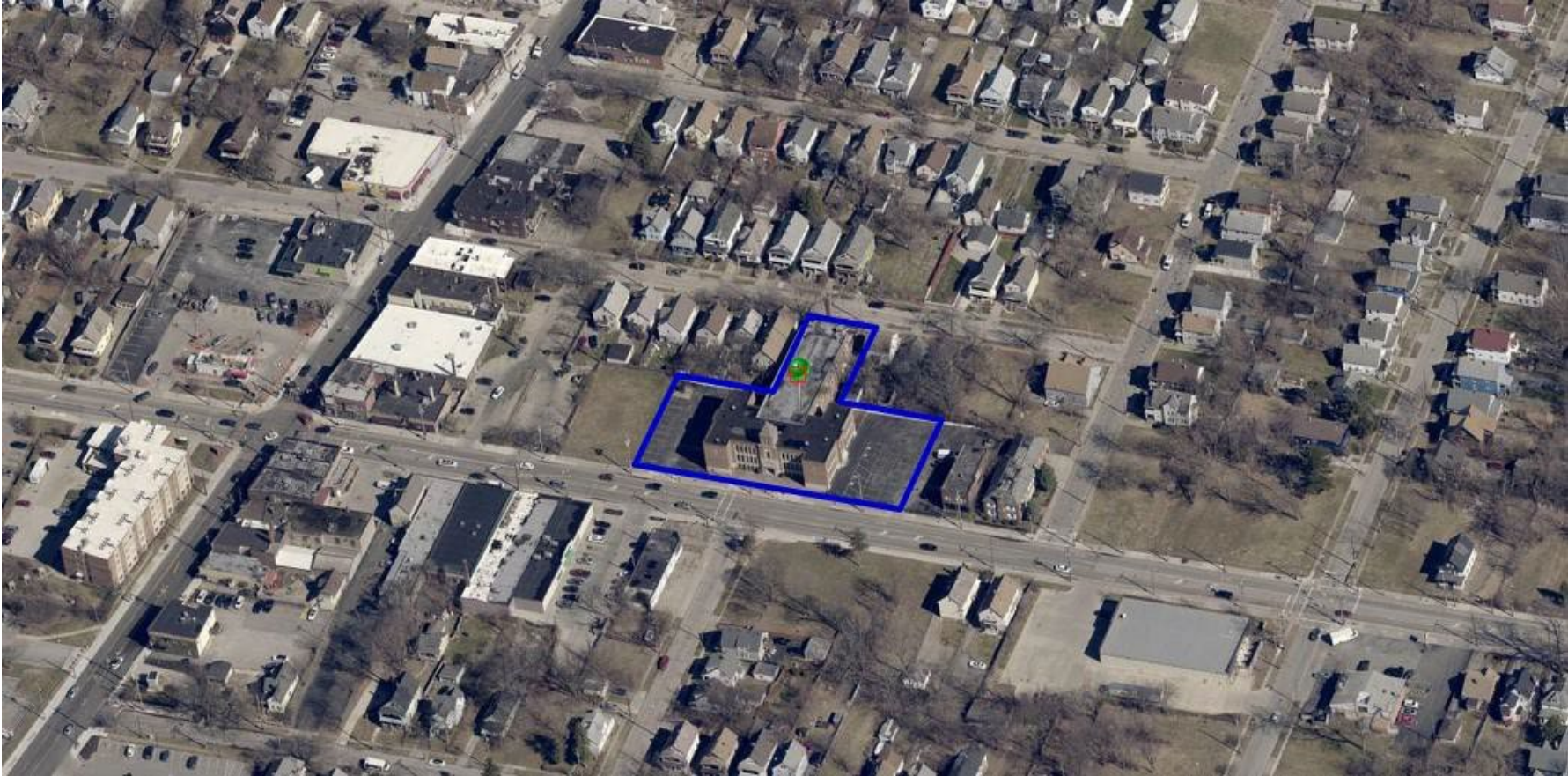
Second New Hope Baptist Church

(Former St. Margaret of Hungary Catholic Church)
2917 East 116th Street

April 11, 2024

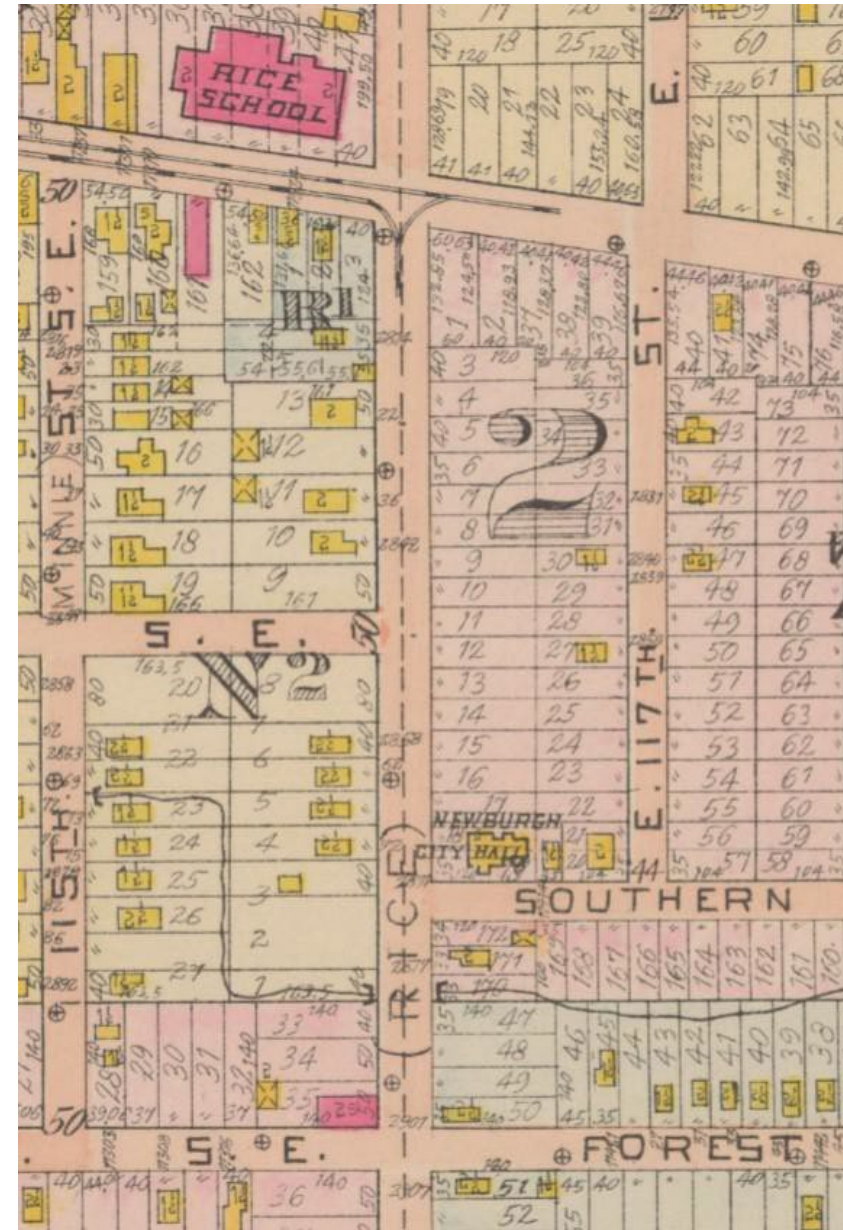


Site Overview



History

- Hungarian settlement in the Upper Buckeye neighborhood
- Found a need for a nationality parish
 - St. Elizabeth Parish
 - St. Emeric Parish
- 1917 – March 24, Members of St. Elizabeth Parish met to form a "Ladies' and Men's Sick benefit and Death Benefit Lodge."
 - Purpose of forming a new church and school in the neighborhood



History

- 1919 – August 17; First mass held at the Chapel of the St. Mary Orphanage
- 1922 – First wood church and recreation hall completed
- 1927 – Began era of expansion under new pastor Andrew Koller
 - “Father of all Hungarian Immigrants”



The Wooden Church



Right Reverend Monsignor Andrew Koller

New Church – 1928-1930

- Antonio DiNardo, Architect
- Arrived in Cleveland in 1921



- St. Augustine Church, Barberton



New Church



St. Margaret Church at Dedication

PICTURES OF THE PAST



Parish Gatherings 1920's



Ushers' Club 1926



Harvest Festival 1920's

PICTURES OF THE PAST



25th Anniversary Msgr. Koller



First Communion 1924



Parish Orchestra 1930's

Decline

- 1973 – Membership dropped to 1700
- School enrollment down
 - 1972 – 194
 - 1976 – 66
- Late 1980s – membership down to 329 families
- Final mass August 13, 1989



Second New Hope Baptist Church

- Celebrating 100 years
- Research has raised additional questions
- Church records are silent to origins
- Earliest reference was for 24th Anniversary
 - Organized in October 1924
 - Rev. David C. Calvert
 - “New Home Chorus”
- Piecing together from best available information

Second New Hope Baptist Observes Twenty-Fifth Anniversary, Nov. 14

Beginning Monday, November 14 to conclude Sunday the 20th the Second New Hope Baptist Church, located at 2856 E. 79th Street will observe its twenty-fifth anniversary marking the progress and growth of the church under the capable leadership of its present pastor, the Rev. J. W. Allen.

Nightly services conducted by the Rev. L. R. Mitchell of Cincinnati, Ohio will highlight the celebration. Rev. Mitchell is the pastor of the Bethlehem Baptist Church of his city.

Second New Hope was organized in October, 1924 with a small group of gospel singers, led by the Rev. David Calvert, the first pastor of the church. The charter members all survive with the exception of

Mrs. Evie Beck, who passed away December of last year, and they are still members of Second New Hope, excluding Mrs. Emma Ammons, a present member of Shalom. The other remaining at



REV. L. R. MITCHELL



REV. J. W. ALLEN

History

- Researching Cleveland City Directories
 - 1922 – New Hope Baptist Church, 2942 Orange Ave
 - 1925 – New Hope Baptist Church, 2942 Orange Ave
 - David C. Calvert, Pastor
 - 1926 – New Hope Baptist Church, 5705 Outhwaite Ave
 - David C. Calvert, Pastor

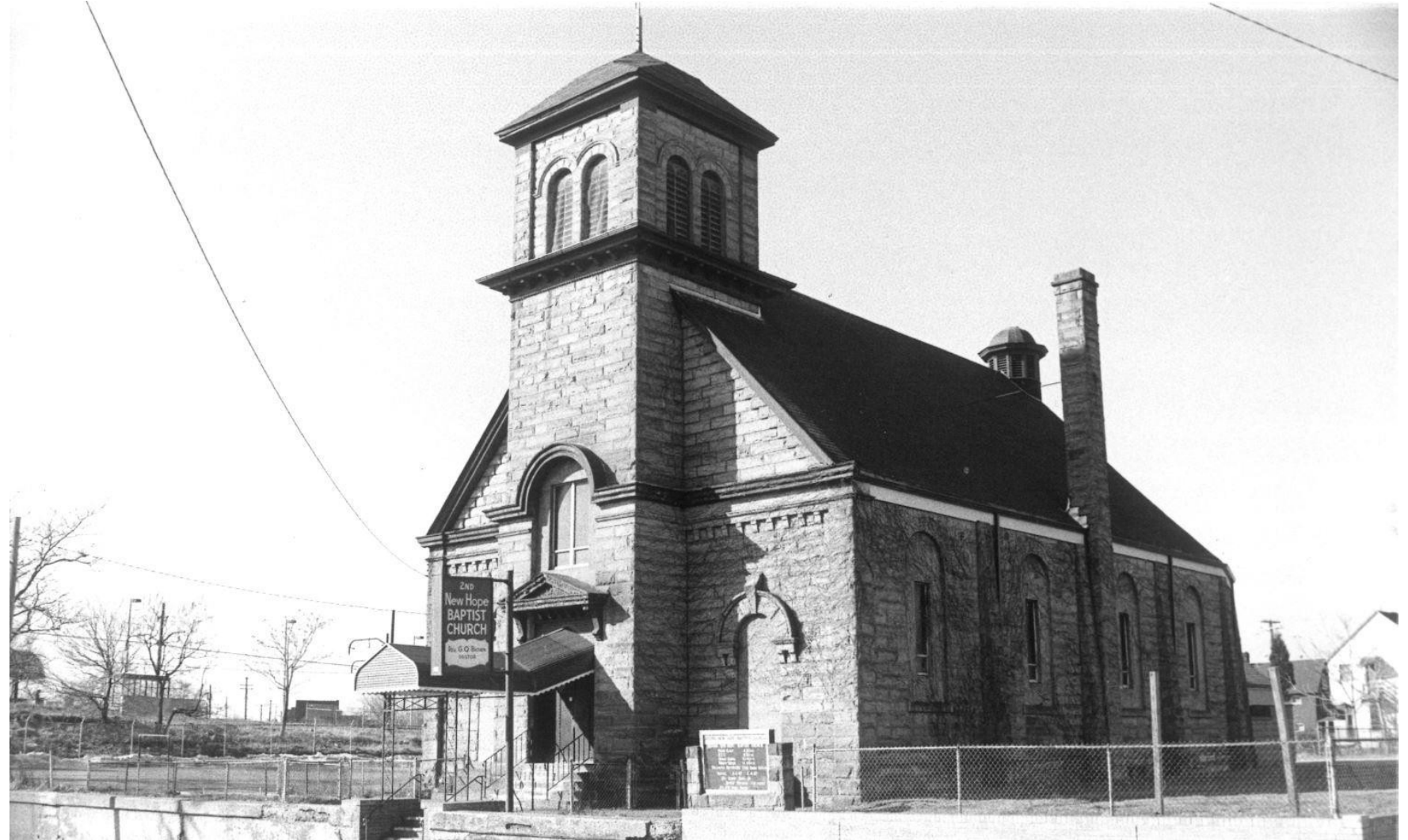


History

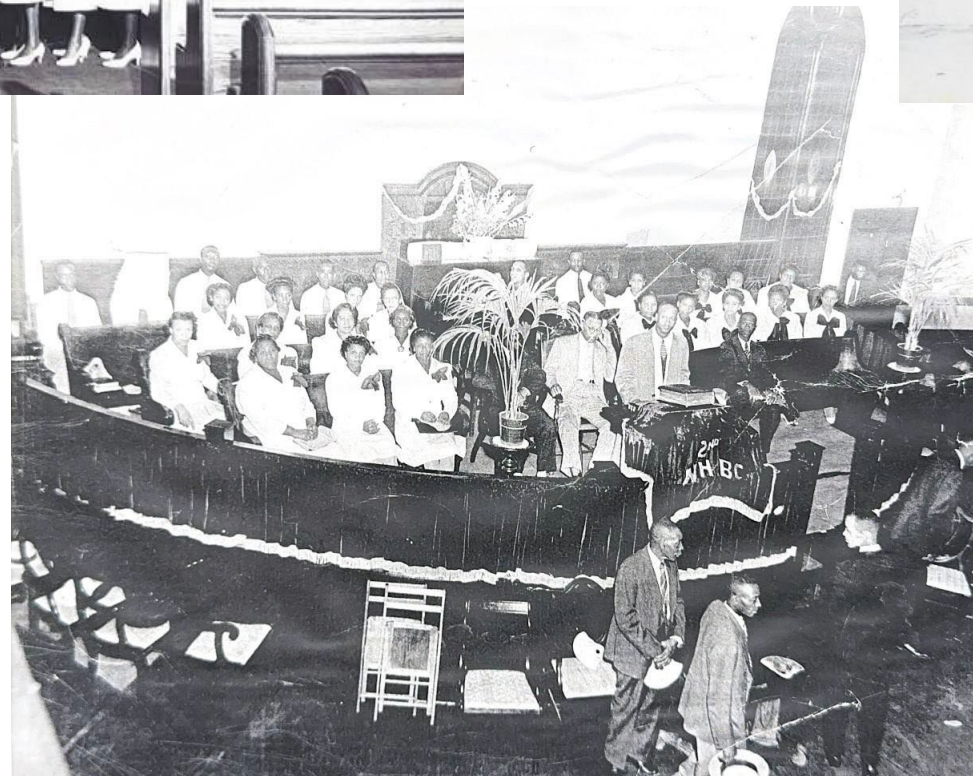
- Merger with Neriah Baptist Church
- 1930 – Second New Hope Baptist Church, 6013 Outhwaite
 - Lloyd Mitchell, Pastor
- 1934 – Second New Hope Baptist Church, 2580 E. 63rd St.
 - Various pastors 1932-1937
 - 1938 – Jordan W. Allen, Pastor



History



- 1943 – moved to former First Hungarian Reformed Church, 2856 East 79th Street on November 7th.



Photos Courtesy of
Second New Hope Baptist Church

History

- September 24, 1989





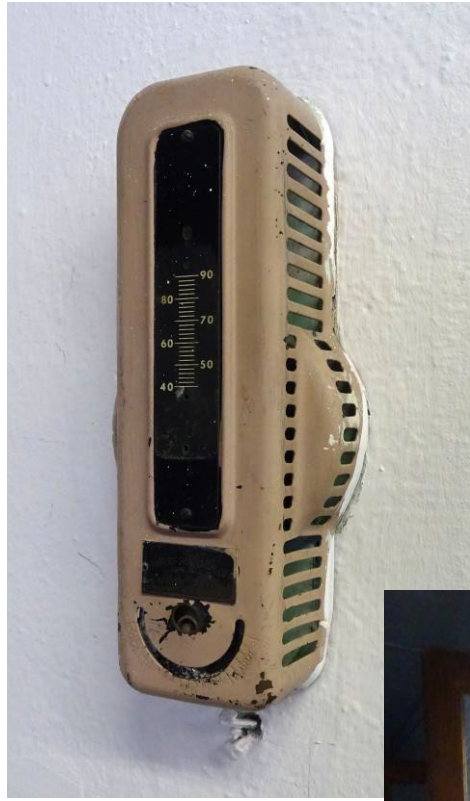
Courtesy of Second New Hope Baptist Church

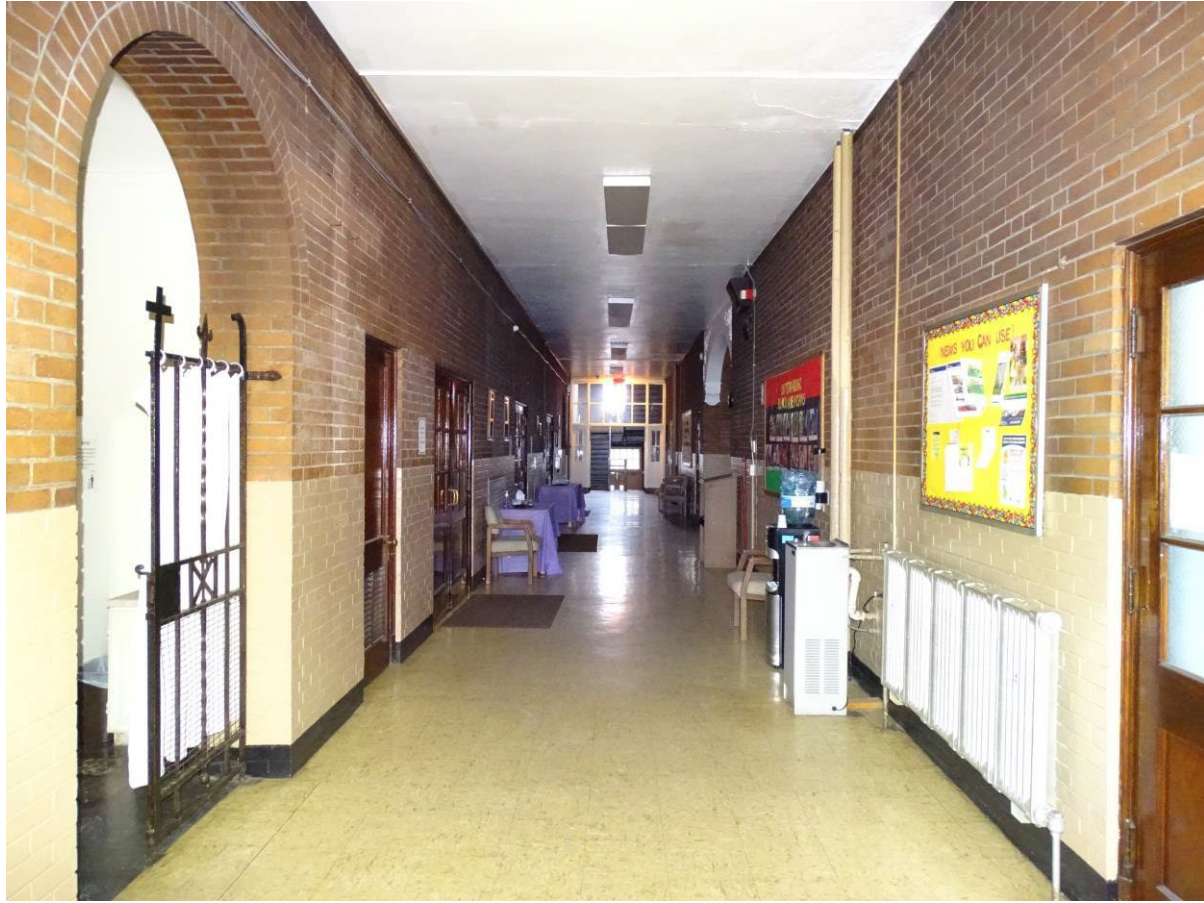
Current Conditions





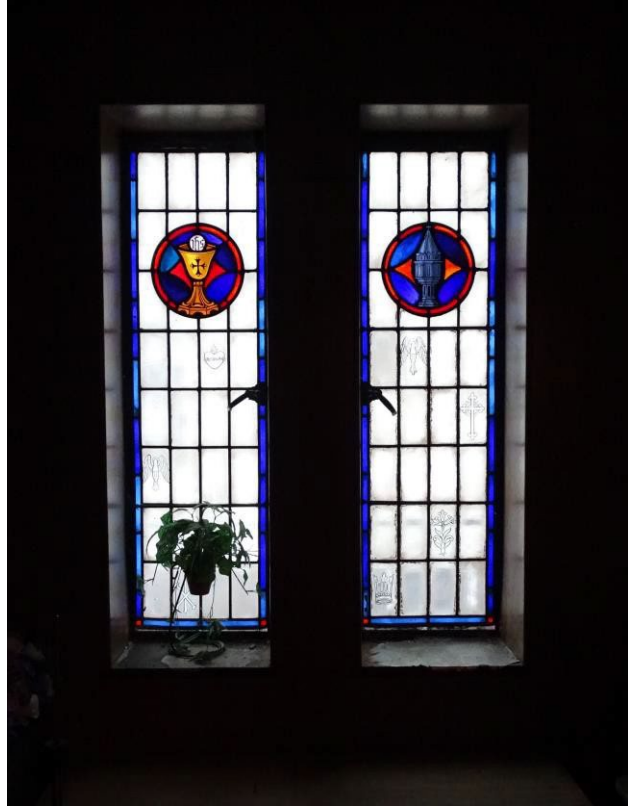












Criteria for Designation

- Age
- Integrity
- Significance
- Its character, interest or value is part of the development, heritage or cultural characteristics of the city.
- The property exemplifies the cultural, economic, social, or historic heritage of the city.

Ord. No. 522-2024 (Introduced by Councilmembers Conwell, Bishop and Griffin – by departmental request): To supplement the Codified Ordinances of Cleveland, Ohio, 1976, by enacting new Section 559.248 relating to the creation of the Colombian Cultural Garden at 1325 Martin Luther King, Jr. Boulevard.

May 17, 2024

Cleveland City Planning Commission

Administrative Approvals



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Ordinance No. 470-2024 (Introduced by Councilmembers McCormack and Griffin – by departmental request): Authorizing the Director of Port Control to enter into a ground lease with SureWx, Inc. for the use and occupancy of property located at 5300 Riverside Drive of Cleveland Hopkins International Airport to install a weather station, for a period of five years, with two five-year options to renew, exercisable by the Director of Port Control.

May 17, 2024

Ordinance No. 474-2024 (Introduced by Councilmembers McCormack and Griffin – by departmental request): Authorizing the Director of Port Control to lease certain property located at 1201 North Marginal Road to the Cleveland Coordinating Committee for the Cod, Inc. for the purpose of operating a submarine museum and memorial, for a term of two years, with three one-year options to renew, exercisable by the Director of Port Control.

May 17, 2024

Ordinance No. 475-2024 (Introduced by Councilmembers McCormack and Griffin – by departmental request): Authorizing the Director of Port Control to enter into a Lease Agreement with Wargo Law, LLC, for the lease of space in the Terminal Building at Burke Lakefront Airport for operating a law firm, for a period of one year, with three one-year options to renew, exercisable by the Director of Port Control.

May 17, 2024

Ordinance No. 529-2024 (Introduced by Councilmembers Hairston and Griffin – by departmental request): To supplement the Codified Ordinances of Cleveland, Ohio, 1976, by enacting new Section 347.191; and to amend Sections 343.01, 343.11, and 345.02, as amended by various ordinances, relating to adult use marijuana.

May 17, 2024

Ordinance No. 546-2024 (introduced by Councilmembers Hairston and Griffin – by departmental request): Authorizing the Director of City Planning to apply for and accept a grant from the US Dept. of Transportation for the 2023 Safe Streets and Roads for All Grant; authorizing the Director of City Planning, or appropriate Director, to enter into contracts to implement the grant; determining the method of making the public improvement of constructing safety improvements through a quick-build demonstration project on St Clair Avenue and authorizing any contracts to make the improvement; to apply for and accept any gifts or grants from any public or private entity; authorizing the Commissioner of Purchases and Supplies to acquire, accept and record real property and easements that are necessary for the improvement; and authorizing other agreements.

May 17, 2024

Ordinance No. 553-2024 (Introduced by Blaine A. Griffin – by departmental request): Authorizing the Director of Finance and Mayor to terminate the On-Site Parking Garage (Gateway East) Base Lease as no longer needed for public use and appropriating certain funds to satisfy the City’s capital repair obligations.

May 17, 2024

Cleveland City Planning Commission

Director's Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024

Cleveland City Planning Commission

Adjournment



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 17, 2024