



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

# Cleveland City Planning Commission

Friday, March 1, 2024

**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Lillian Kuri, Commission Chair  
Joyce Pan Huang, Director  
Michael Bosak, Administrator



# Cleveland City Planning Commission

## Preamble

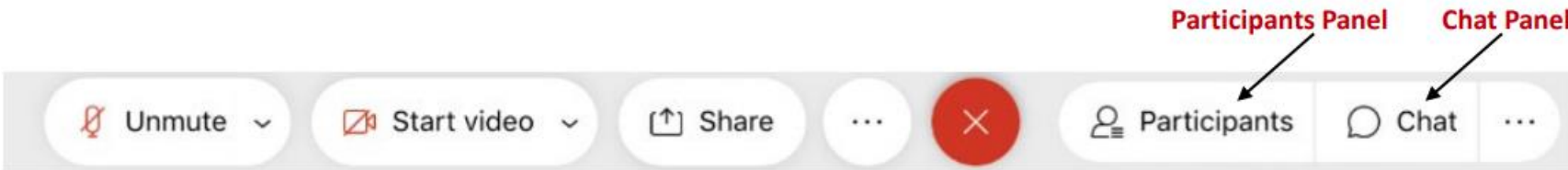
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. RECUSALS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

### CALL-IN USERS CAN UNMUTE BY USING \*6



# Cleveland City Planning Commission

## P r e a m b l e

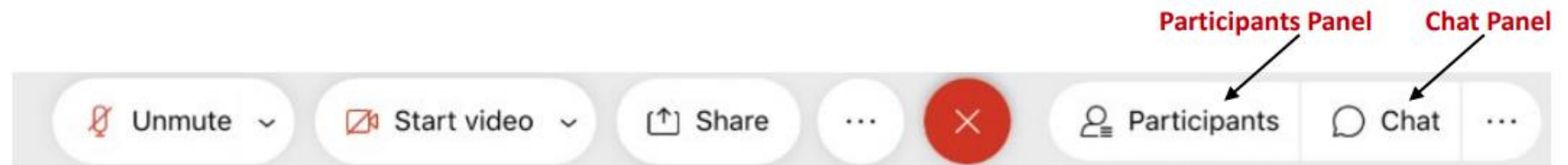
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER SUBMITTED THROUGH PROPER CHANNELS HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER. PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

COMMUNICATION WITH MEMBERS OF THIS BODY MUST FOLLOW PROPER CHANNELS FOR CONSIDERATION. ANY COMMENTS RECEIVED BY THE **WEDNESDAY 12:00 PM** DEADLINE ARE COLLECTED BY CITY PLANNING STAFF AND DISSEMINATED TO THE COMMISSION MEMBERS PRIOR TO ANY SCHEDULED MEETING.

## Proper channels for public comment:

- Sending an e-mail to the [cityplanning@clevelandohio.gov](mailto:cityplanning@clevelandohio.gov) address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



March 1, 2024

# Cleveland City Planning Commission

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## Meeting Rules and Procedures

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission, in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Committee recommendations and any public comments received.
- The deadline for public comments is noon on the Wednesday prior to any regularly scheduled City Planning Commission meeting and will be read into the record. Any comments received by the deadline are distributed to Commission members prior to the meeting through Dropbox. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

# Cleveland City Planning Commission

## Call to Order and Roll Call

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Cleveland City Planning Commission

## Approval of Minutes from Previous Meeting



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Cleveland City Planning Commission

## Zoning Map Amendments

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

**Ordinance No. xxx-2024**

**(Ward 3/Councilmember McCormack):**

**Changing the Use, Area & Height Districts of parcels of land north of Lorain Avenue between West 45th Street and West 44th Street and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code. (Map Change 2675)**

March 1, 2024

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## Map Change 2675

### City Planning Commission Hearing

March 01, 2024



CITY OF CLEVELAND  
Mayor Justin M. Bibb

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CITY PLANNING COMMISSION

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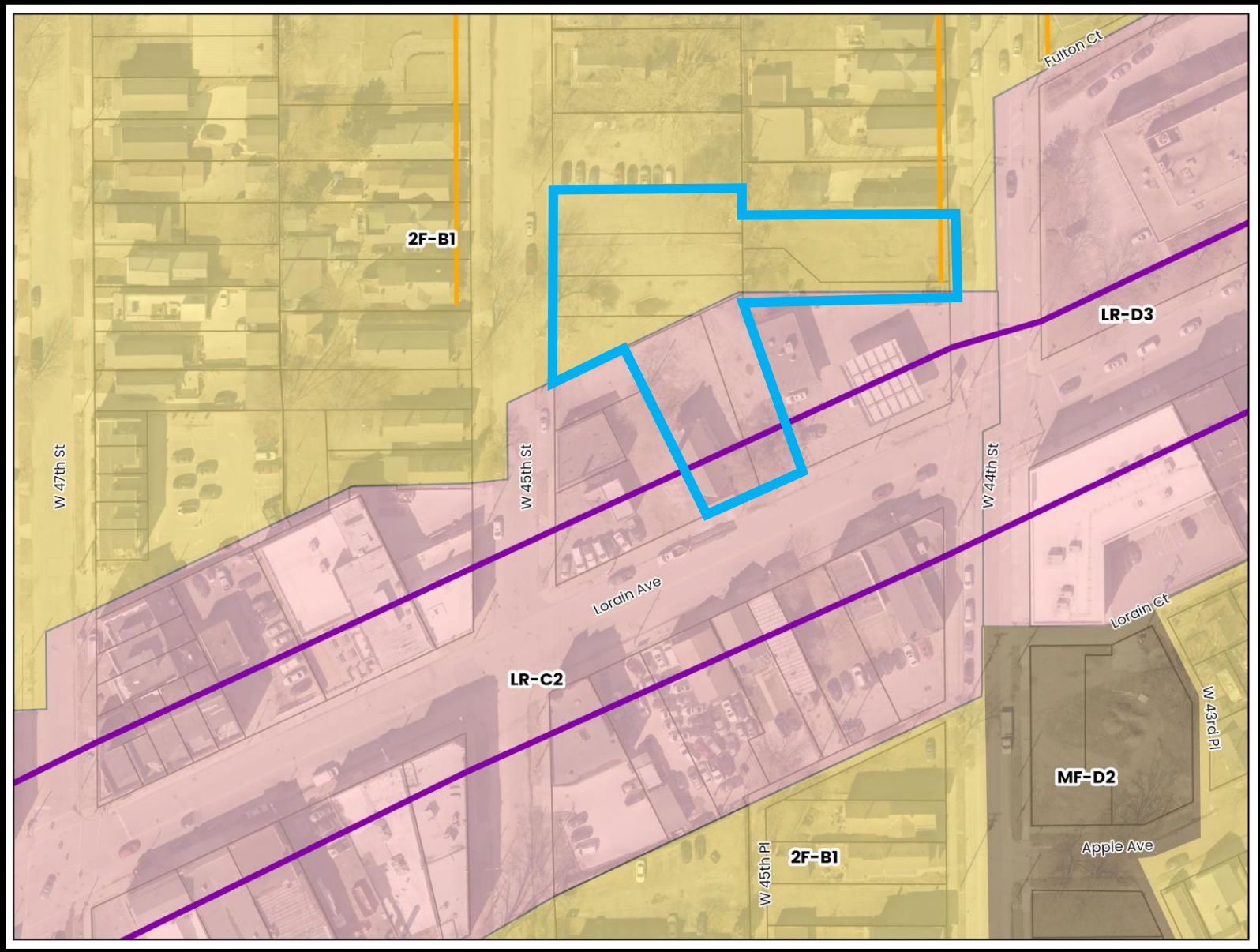
## Proposal

Changing the Use, Area & Height Districts of parcels of land south of Lorain Avenue between West 52<sup>nd</sup> Street and West 50<sup>th</sup> Street (MC 2675); and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan.

## Purpose

- To correct a split zoning issue
  - To allow the proposed development to move forward as approved by Landmarks
  - To promote a diversity of housing typologies in alignment with the Connecting Cleveland 2020 plan
    - To support transit and alternative mobility choices
-

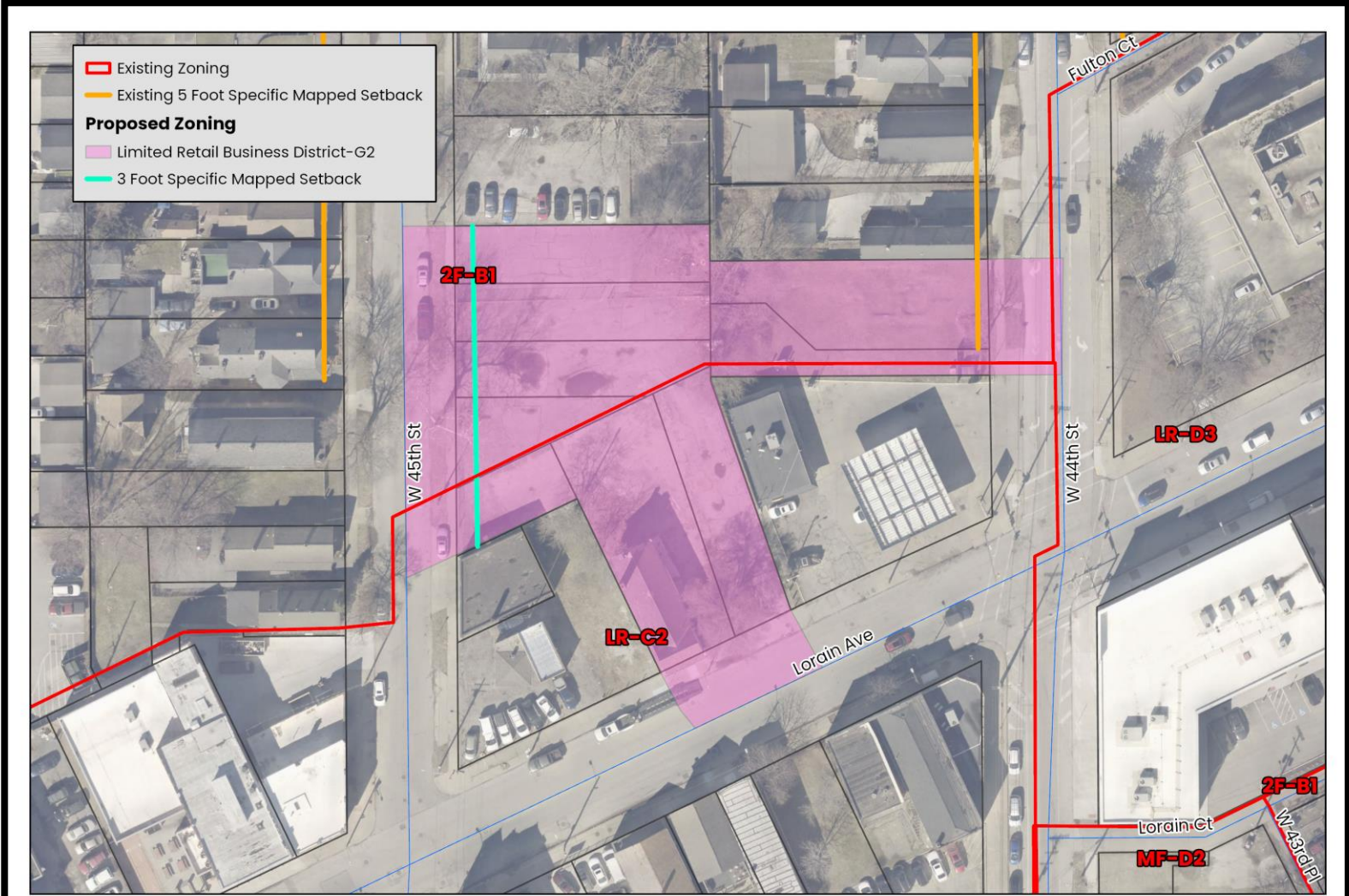
## Current Zoning



## Connecting Cleveland 2020 Future Land Use Map



## Proposed Zoning

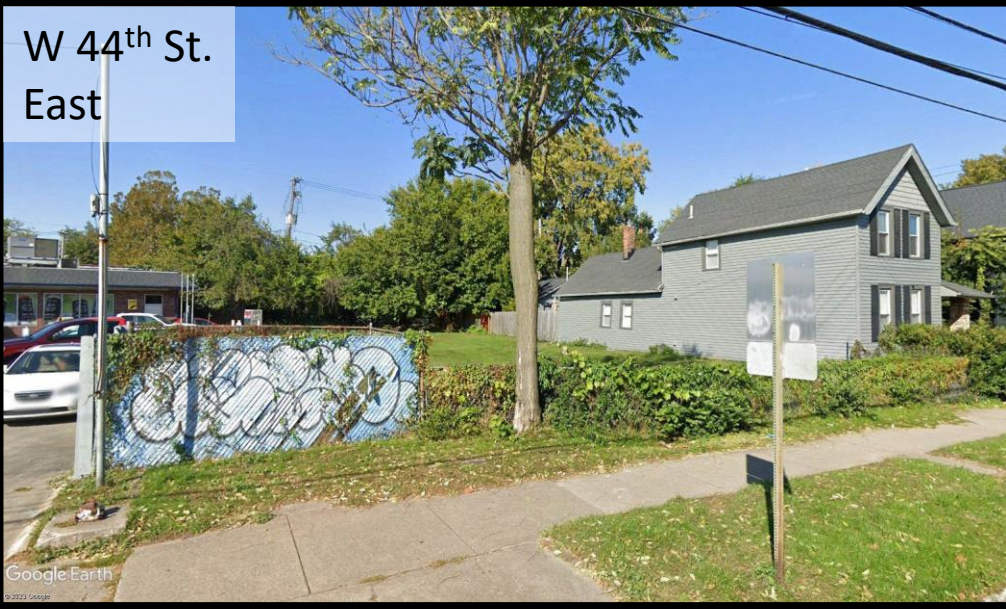


## Existing Conditions



## Existing Conditions

W 44<sup>th</sup> St.  
East



W 44<sup>th</sup> St.  
Southeast



## Existing Conditions

Lorain Ave. & W 44<sup>th</sup> St.  
Northwest





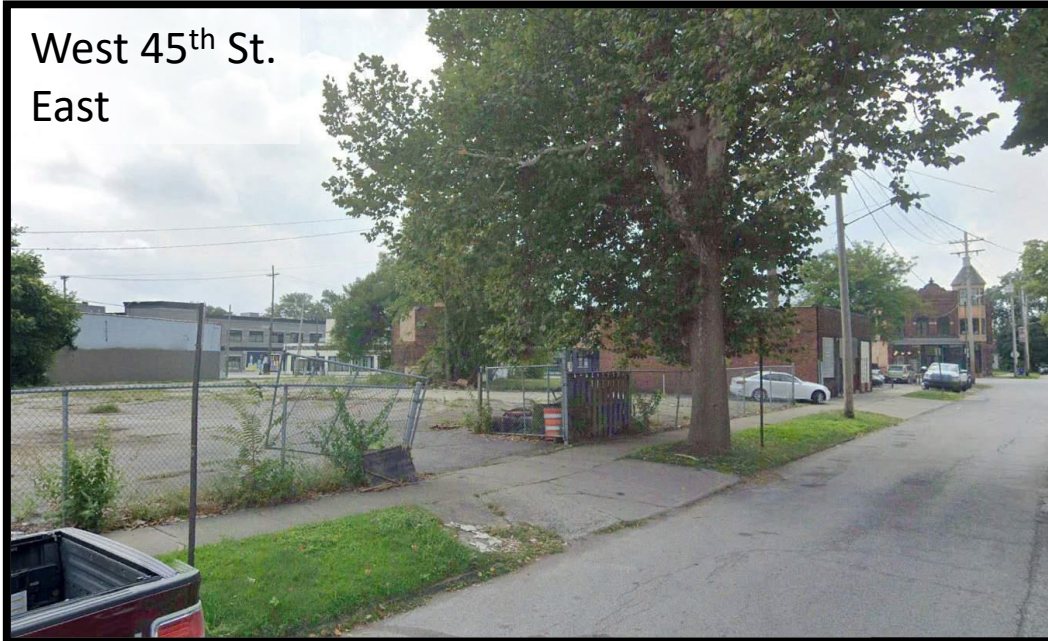
## Existing Conditions

Lorain Ave. & W 45<sup>th</sup> St.  
Northeast



## Existing Conditions

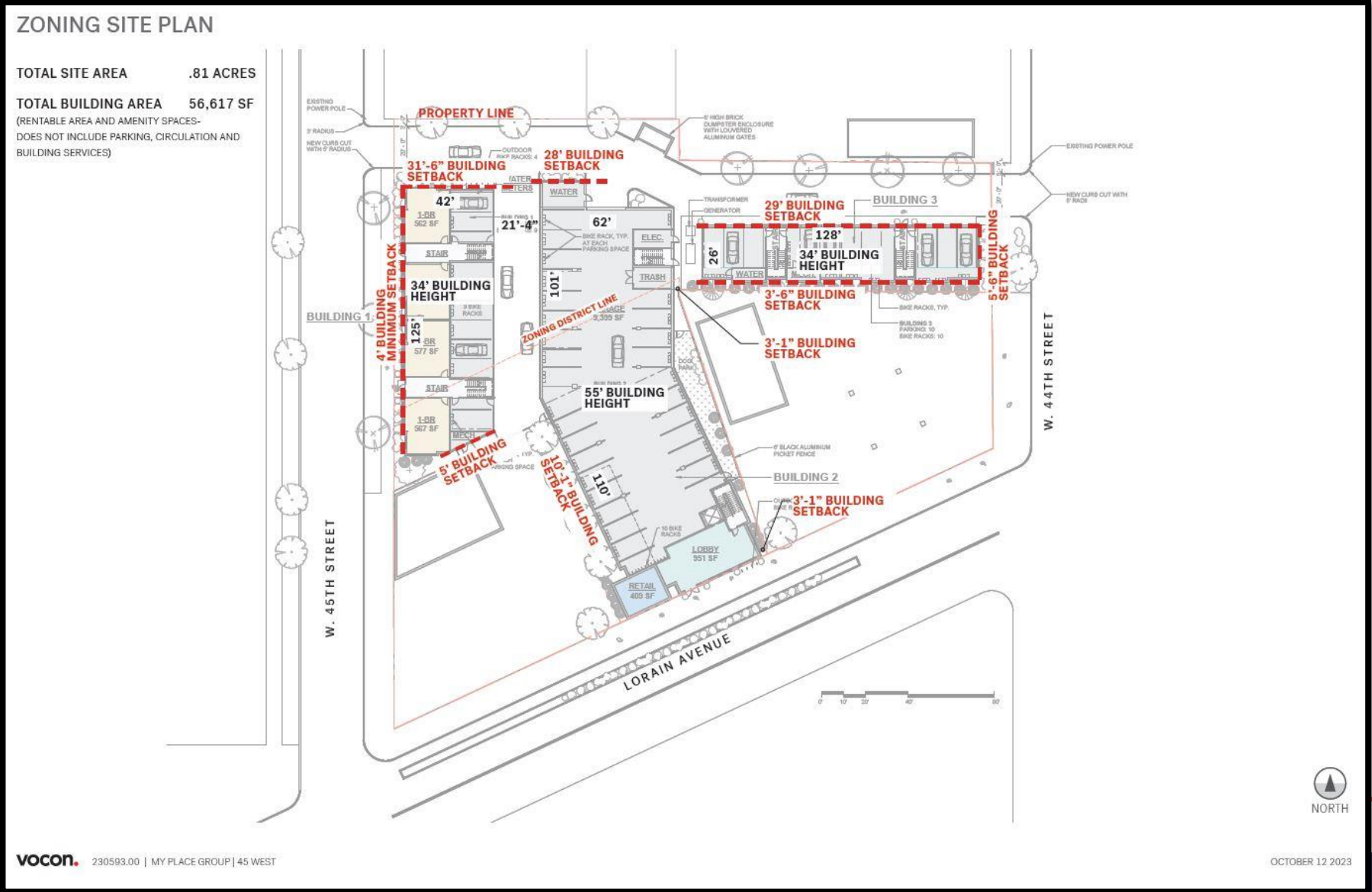
West 45<sup>th</sup> St.  
East



West 45<sup>th</sup> St.  
Southeast



## Site Plan

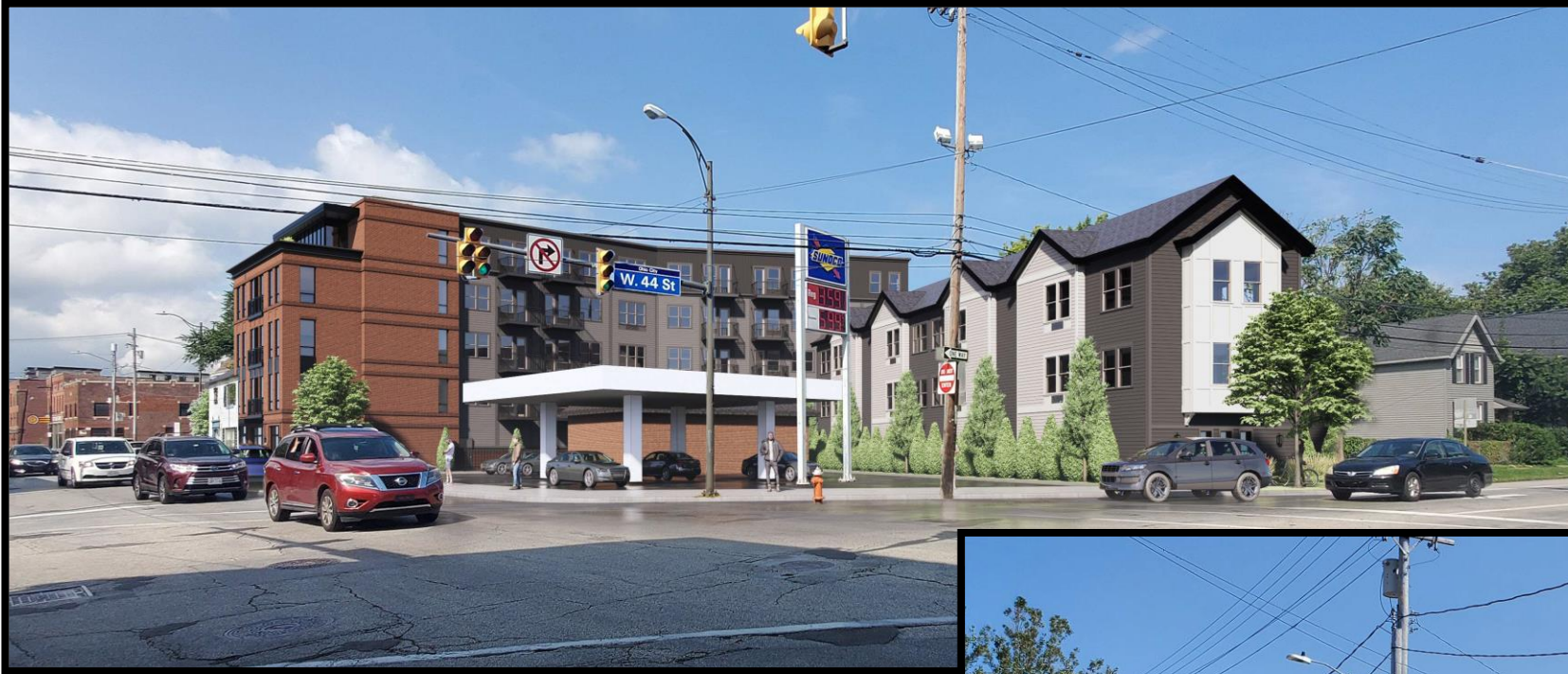


## Elevations

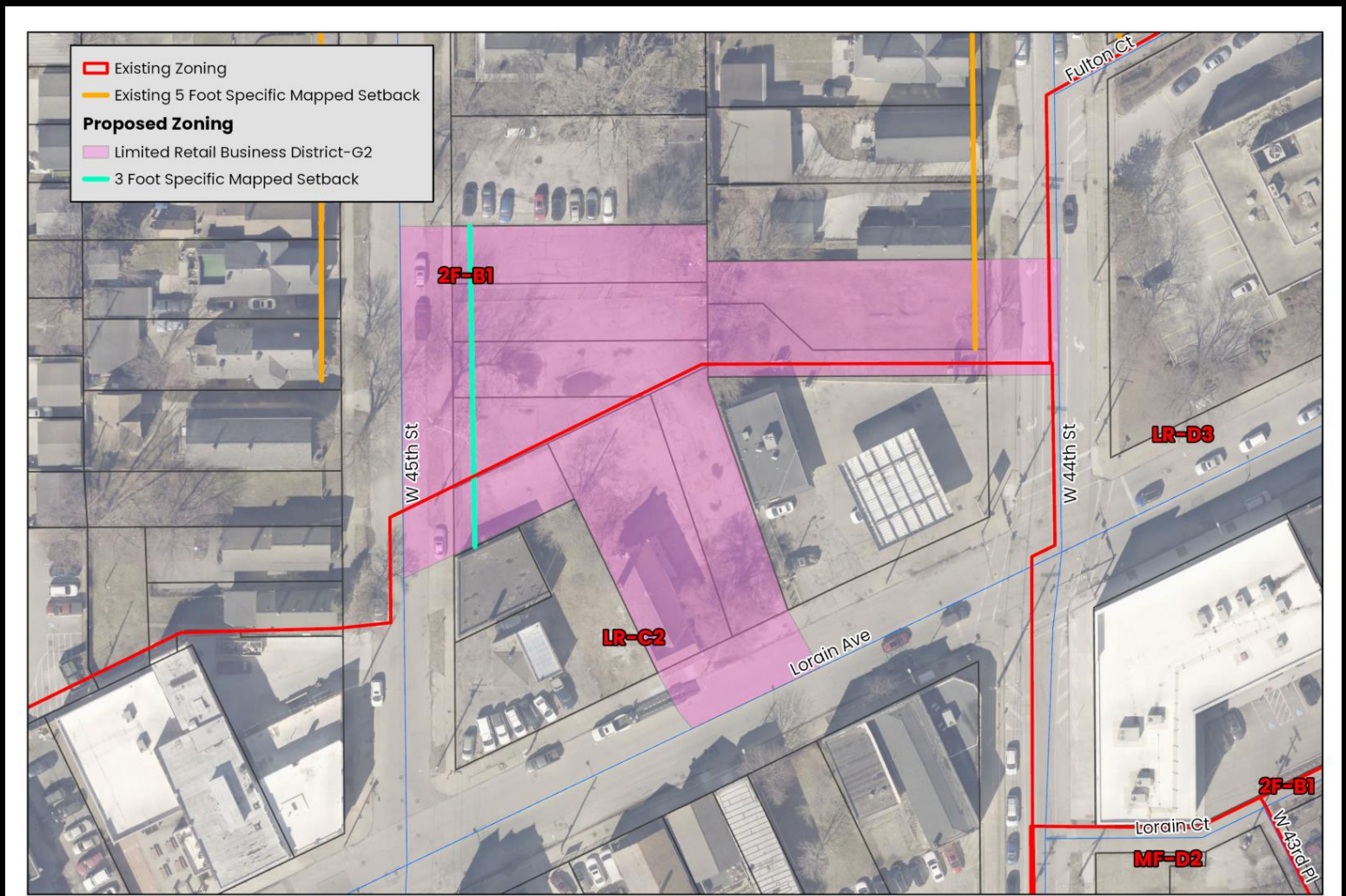
BUILDING 2 - W. 45TH STREET ELEVATION



## Rendering

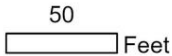


## Proposed Zoning



### Map Change 2675

Changing the use, are, and height, districts of parcels of land north of Lorain Avenue between West 44th Street & West 45th Street.



## Ordinance No. xxx-2024: PUBLIC COMMENT

March 1, 2024

**“Good afternoon,**

**I’m writing to support this development including all proposed changes as both a neighbor and a professor of urban planning.**

**This is exactly what the neighborhood needs more of, although more of it needs to include subsidized housing.**

**Cheers!**

**Rosie Tighe”**

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# Cleveland City Planning Commission

## Lot Consolidations/Splits

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024



# Lot Consolidations/Splits

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**For PPN#s 002-36-056 & -055**

**Addresses: 1827 & 1831 West 47th Street**

**Presenter: Scott Wallenhorst, HEART Design Group**

March 1, 2024

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**PROJECT SCOPE**  
THE EXISTING HOMES LOCATED AT 1827 & 1831 W.47<sup>TH</sup> WILL BE DEMOLISHED. THE REQUEST IS FOR THE TWO PARCELS TO BE CONSOLIDATED AND THEN DIVIDED INTO A TOTAL OF 5 PARCELS FOR NEW HOMES TO BE BUILT.



TAYLOR COURT

EXISTING  
PARKING PAD

1827 W. 47<sup>TH</sup>  
EXISTING HOME TO  
BE DEMOLISHED

EXISTING DRIVE

1831 W. 47<sup>TH</sup>  
EXISTING HOME TO  
BE DEMOLISHED

W. 47<sup>TH</sup>





PHOTO 1



PHOTO 2



PHOTO 3 - CORNER OF W.47<sup>TH</sup> & TAYLOR COURT

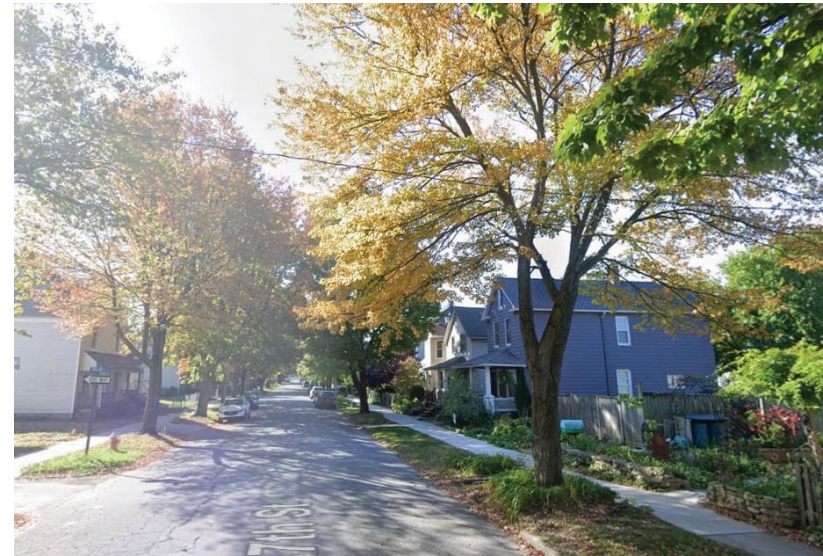
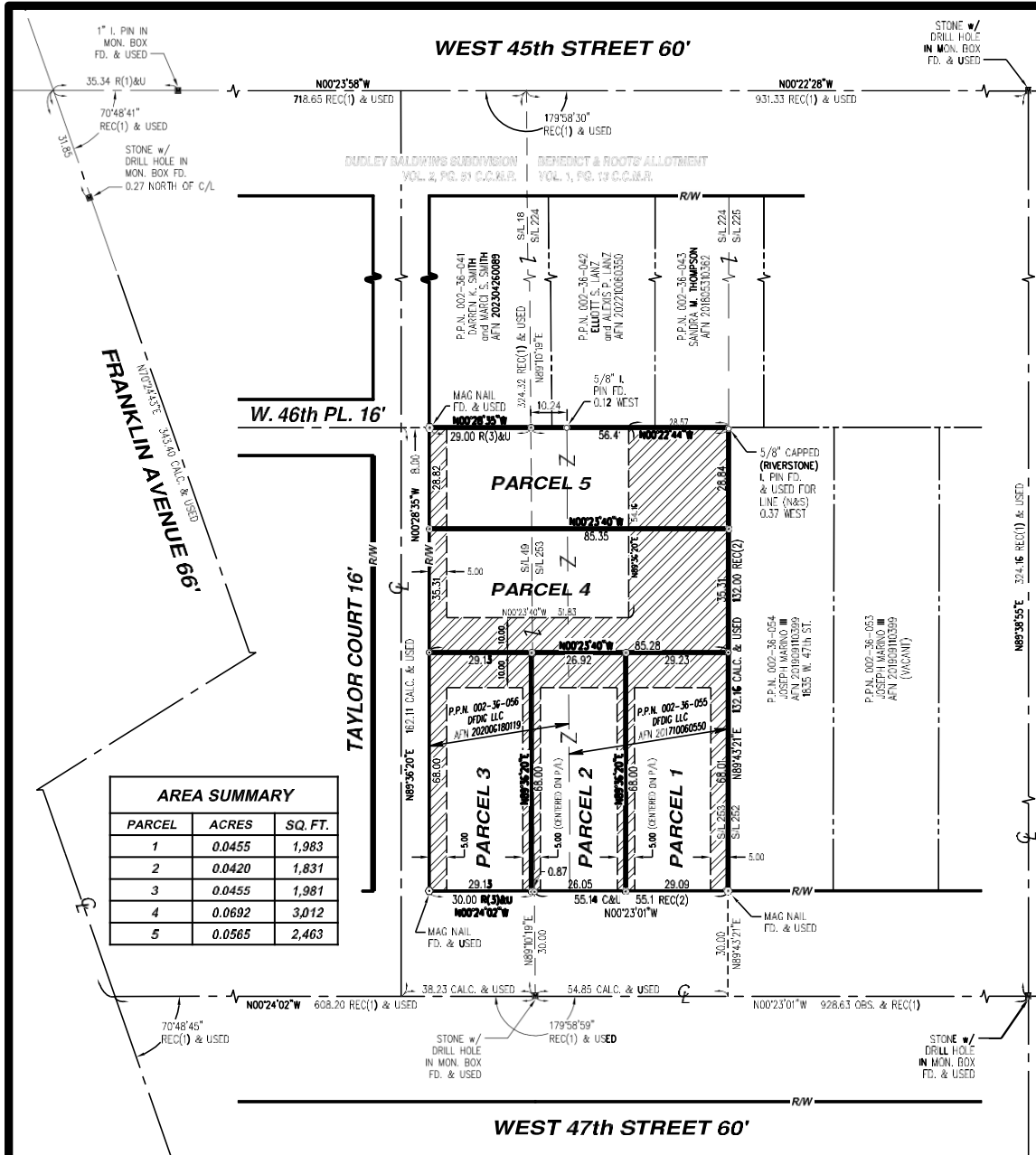


PHOTO 4





AREA SUMMARY		
PARCEL	ACRES	SQ. FT.
1	0.0455	1,983
2	0.0420	1,831
3	0.0455	1,981
4	0.0692	3,012
5	0.0565	2,463

## WEST 47th STREET LOT SPLIT and CONSOLIDATION PLAT

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING SUBLOT NO. 253 IN BENEDICT & ROOTS' ALLOTMENT AS SHOWN BY THE RECORDED PLAT IN VOLUME 1 OF MAPS, PAGE 13 OF CUYAHOGA COUNTY RECORDS AND SUBLOT NO. 49 IN DUDLEY BALDWIN'S SUBDIVISION AS SHOWN BY THE RECORDED PLAT IN VOLUME 2 OF MAPS, PAGE 51 OF CUYAHOGA COUNTY RECORDS OF PART OF ORIGINAL BROOKLYN TOWNSHIP LOT 49.

### Approvals

This lot split and consolidation plat is accepted and approved by the Planning Director of the City of Cleveland, Ohio this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

Joyce Pan Huang, Planning Director

This lot split and consolidation plat is accepted and approved by the Planning Commissioner of the City of Cleveland, Ohio this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

Richard Switalski, Planning Commissioner

### Acceptance

We, the undersigned owner of the land shown herein, do hereby assent to and adopt this lot split and consolidation plat of the same. DFDIG LLC

Print Name \_\_\_\_\_ Title \_\_\_\_\_

State of Ohio \_\_\_\_\_ )  
County of Cuyahoga \_\_\_\_\_ ) S.S.

Before me, a notary public in and for said County and State, personally appeared \_\_\_\_\_ who acknowledge that he did sign the foregoing instrument and that the same is his free act and deed.

In witness, whereof, I have hereunto set my hand and official seal at \_\_\_\_\_, Ohio, this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

Notary Public \_\_\_\_\_

My commission expires \_\_\_\_\_

### Certification

I do hereby certify that I have surveyed the premises and prepared this plat in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code. Dimensions shown herein are expressed in feet and decimal parts thereof. Monuments were found or set as indicated hereon. Bearings shown are to an assumed meridian and are for the sole purpose of describing the relative angular value between lines, all of which I certify to be correct to the best of my knowledge and belief.

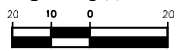
*Richard J. Kato* 1/26/24  
Richard J. Kato, Registered Surveyor #7889 Date



NOTE: CASEMENT COVERS A PRIVATE DRIVE FOR WHICH THE CITY OF CLEVELAND SHALL HAVE NO MAINTENANCE RESPONSIBILITIES.



NORTH  
GRAPHIC SCALE



(IN FEET)  
1 INCH = 20 FT.  
JANUARY 26, 2024

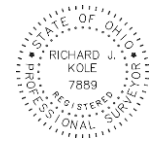
LEGEND:	
○	IRON PIN FOUND & USED.
⊙	5/8" CAPPED "WOLE #1089" IRON PIN SET (90° LONG)
■	STONE w/ DRILL HOLE FOUND & USED
C&U	CALCULATED & USED
R&U	RECORD & USED

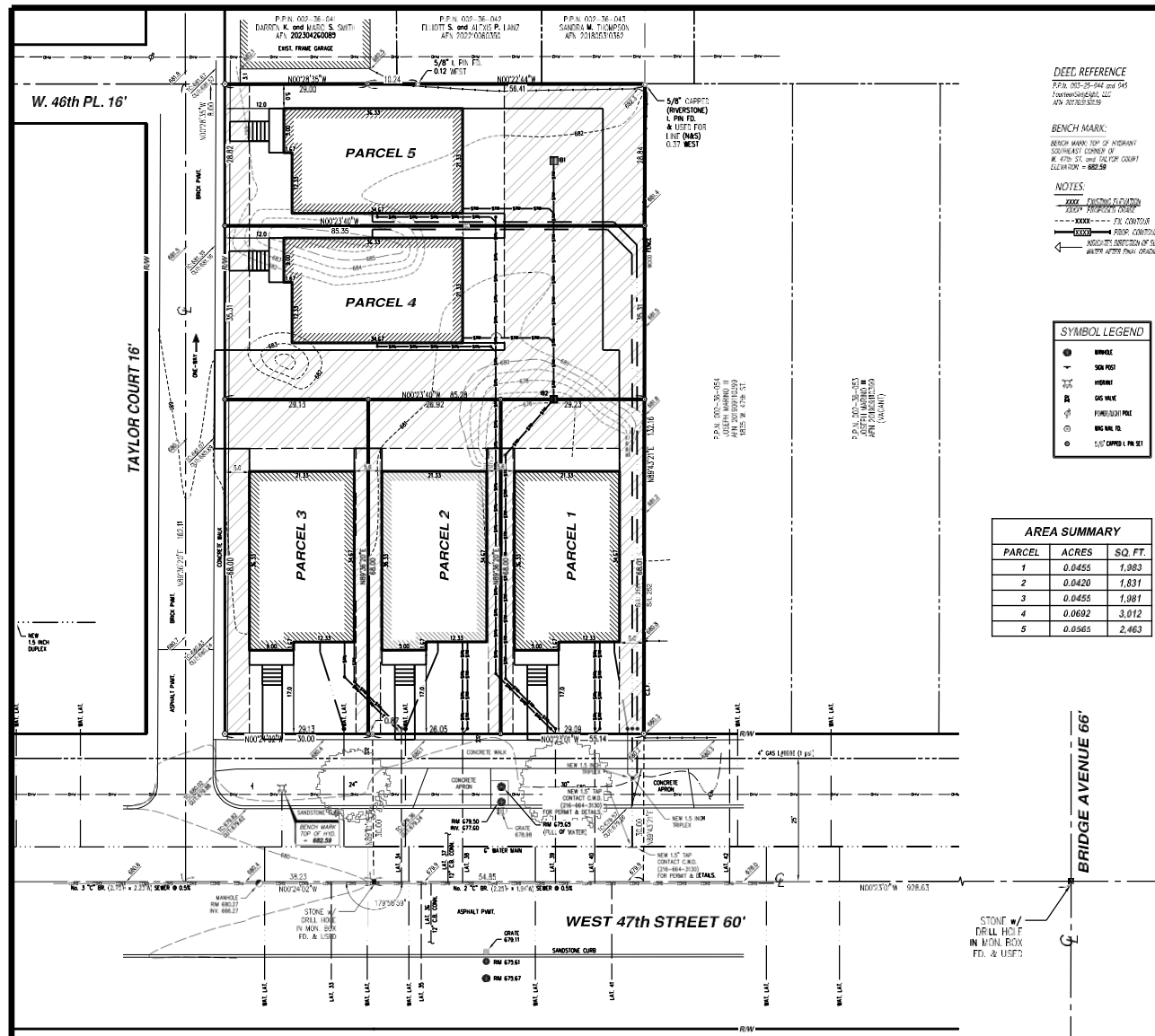
### Basis of Bearings:

State of Ohio \_\_\_\_\_ )  
County of Cuyahoga \_\_\_\_\_ ) S.S.  
Ohio North Zone, Tied by GNSS to O.D.O.T. VRS.

### Survey References:

- 1.) Lot Split and Consolidation Plat by Riverstone Land Surveying Vol. 343 Pg. 38 C.C.M.R.
- 2.) Benedict & Roots' Allotment Vol. 1, Pg. 13 C.C.M.R.
- 3.) Dudley Baldwin's Subdivision Vol. 2, Pg. 51 C.C.M.R.





**DEEL REFERENCE**  
 P.P.N. 022-76-043  
 CONTRACT 45424-101  
 A.P.N. 20230402000

**BENCH MARK:**  
 BENCH MARK TOP OF MIDWAY  
 SURVEILLANCE CORNER OF  
 W. 47th ST. AND TAYLOR COURT  
 ELEVATION = 452.52

**NOTES:**  
 1. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.  
 2. CONSTRUCTION MATERIALS AND DEBRIS TO BE ENCLOSED BY A TEMPORARY FENCE OR BARRICADE.  
 3. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.  
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 13. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.  
 14. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.  
 15. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.  
 16. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.  
 17. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.  
 18. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.

**SYMBOL LEGEND**

- BRICK
- ⊕ SOL POST
- ⊕ METAL
- ⊕ CONCRETE
- ⊕ FIBERGLASS
- ⊕ METAL DECK
- ⊕ 1/2" CPWD (R. 31)

**AREA SUMMARY**

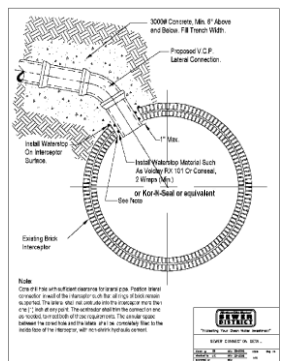
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**NOTES:**

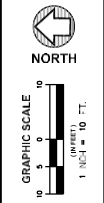
1. SEWER DEPT'S TO BE VIEWED PRIOR TO EXCAVATION.
2. EXISTING SEWER WITH MINIMUM 18" COVER.
3. CLEANOUTS TO BE PROVIDED AT ALL SEWER BENDS.
4. BOTTOM OF TRENCHES TO BE MINIMUM 18" BELOW GRADE.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION.
6. MEET EXISTING DRAINS AT PROPERTY LINES.
7. ANY EXISTING DRAINS IN EXISTING WELLS TO BE REPLACED.
8. EXISTING CURBS DEVICES MUST BE INSTALLED PRIOR TO EXCAVATION AND COMPLY WITH SPECIFICATIONS FOR MINIMUM LOT PROTECTION AND TRENCH AND SEWERAGE CONTROL FOR CONSTRUCTION SITES.
9. STREET OPENING POINTS AND TRENCHES TO BE INSTALLED PRIOR TO WORK IN THE RIGHT-OF-WAY OR EASEMENT AREA.
10. BRICKER AND OWNER RESPONSIBILITY FOR FINAL GRADING AND DRAINAGE.
11. ALL TEST DEETS SHALL HAVE A METAL CAP OR AN APPROVED METAL PLATE NO LESS THAN 3 INCHES IN DIAMETER.
12. CONSTRUCTION MATERIALS MUST BE PROPERLY SECURED, ESPECIALLY WITHIN THE PUBLIC USE AREA.
13. CONSTRUCTION MATERIALS AND DEBRIS TO BE ENCLOSED BY A TEMPORARY FENCE OR BARRICADE.
14. CONSTRUCTION SHALL BE PROTECTED BY A TEMPORARY FENCE OR BARRICADE.
15. SPECIAL LANDSCAPING MAY BE REQUIRED TO ALLOW FOR PROPER DRAINAGE.
16. UNDERSTANDING INFORMATION SHOW TRASH FROM IMPROVEMENT STREETS AND TYPE, SIZE AND ELEVATIONS TO BE VIEWED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.
17. CONTRACTOR MUST CHECK BENCH MARK WITH PERMANENT GRADE BEFORE ANY EXCAVATION OR WORK IS STARTED.
18. THIS PLAN FOR USE PURPOSES ONLY. SEE FOUNDATION PLANS FOR UNIT DETAILS.

**NOTES:**

1. THE CONTRACTOR SHALL PROVIDE A WATERPROOF CONNECTION TO THE EXISTING INFRASTRUCTURE.
2. THE OWNER SHALL MAINTAIN THAT THE CONNECTIONS AND NEW STRUCTURES WILL BE WATERPROOF FOR A PERIOD OF ONE YEAR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING INFRASTRUCTURE AS DETERMINED BY RECORDS.
4. THE CONTRACTOR SHALL PREVENT ANY DEBRIS FROM ENTERING THE SEWER. ANY DEBRIS ENTERING THE SEWER SHALL BE REMOVED BY THE CONTRACTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED FOR THE WORK.
6. A 24-HOUR NOTICE SHALL BE PROVIDED TO MAINTENANCE SERVICES - TECHNICAL SUPPORTS CALL NUMBERS COPIED AT THE TOP-LEFT TO SCHEDULE AN INSPECTOR FOR THE CONNECTION.

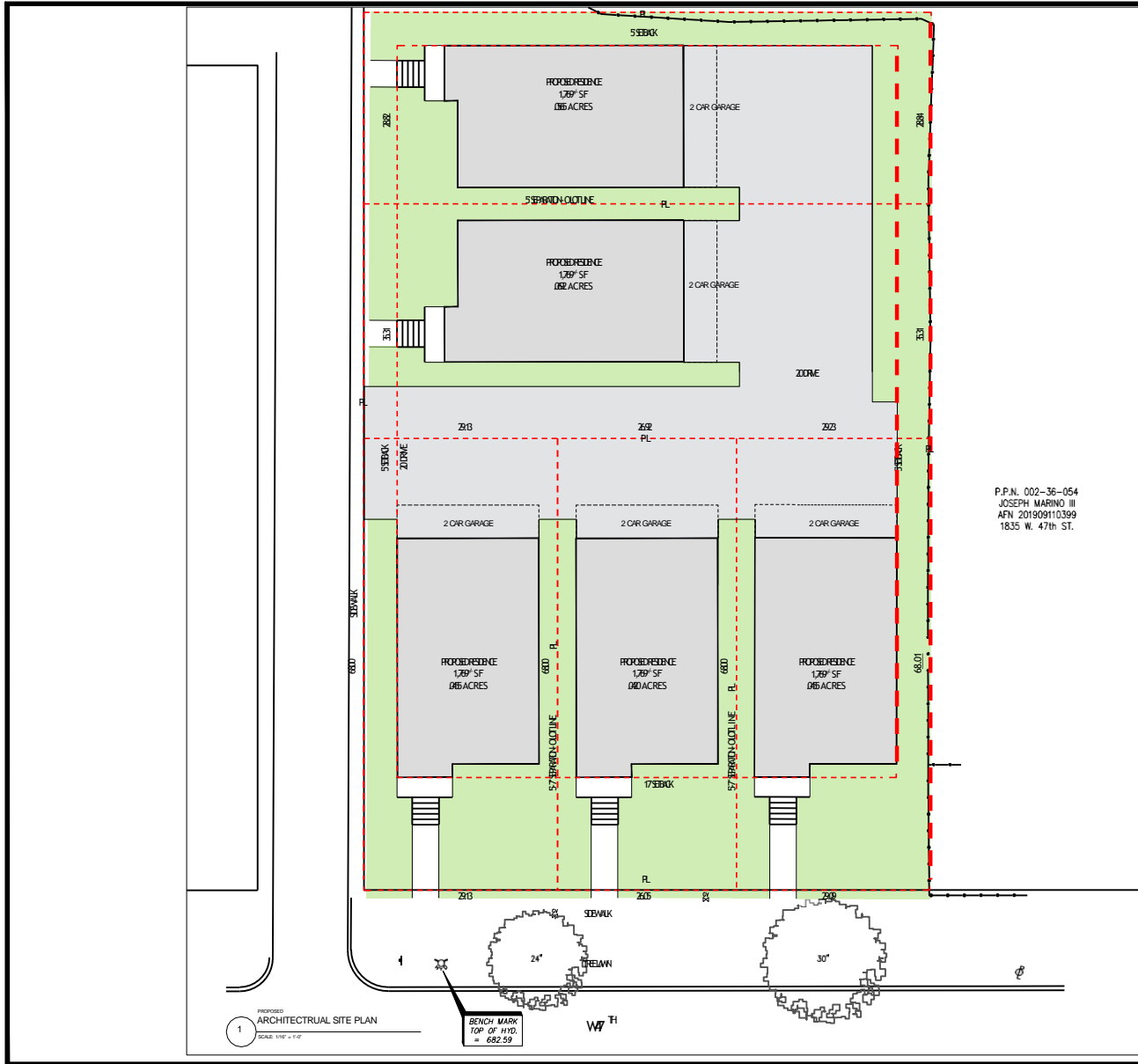


**REVISIONS:**



**GRADING PLAN**  
**WEST 47th TAYLOR COURT HOMES**  
**1827/1831 WEST 47th STREET**  
**CLEVELAND, CUYAHOGA COUNTY, OHIO**

DATE: JAN 26, 2024  
 SCALE: 1" = 10'  
 DRAWN BY: R.D.S.  
 FILE NO: 23083 Side  
 SHEET 2 OF 3



EXISTING PARCEL  
 INFORMATION  
 P.P.N. 002-36-056 - 1827 W. 47<sup>TH</sup> STREET  
 P.P.N. 002-36-055 - 1831 W. 47<sup>TH</sup> STREET

P.P.N. 002-36-054  
 JOSEPH MARINO III  
 AFN 20190910399  
 1835 W. 47<sup>TH</sup> ST.

PROPOSED  
 ARCHITECTURAL SITE PLAN  
 SCALE: 1/8" = 1'-0"

BENCH MARK  
 TOP OF HYD.  
 = 682.59

NOTES:  
 1. REFER TO THE EXISTING PARCEL MAP AND THE EXISTING ZONING MAP FOR THE EXACT BOUNDARIES OF THE PARCELS AND THE EXISTING ZONING.  
 2. THE EXISTING ZONING MAP IS THE BASIS FOR THE EXISTING ZONING AND THE EXISTING PARCEL MAP.  
 3. THE EXISTING ZONING MAP IS THE BASIS FOR THE EXISTING ZONING AND THE EXISTING PARCEL MAP.  
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DATE	
REVISIONS	

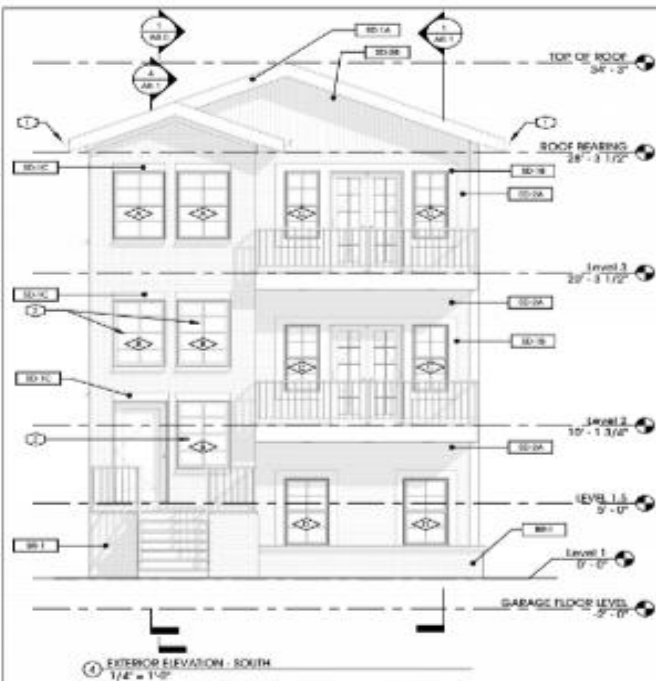
**HEART**  
 DESIGN GROUP

**WATSON TAYLOR CT. HOMES**  
 Cleveland, OH Cuyahoga County

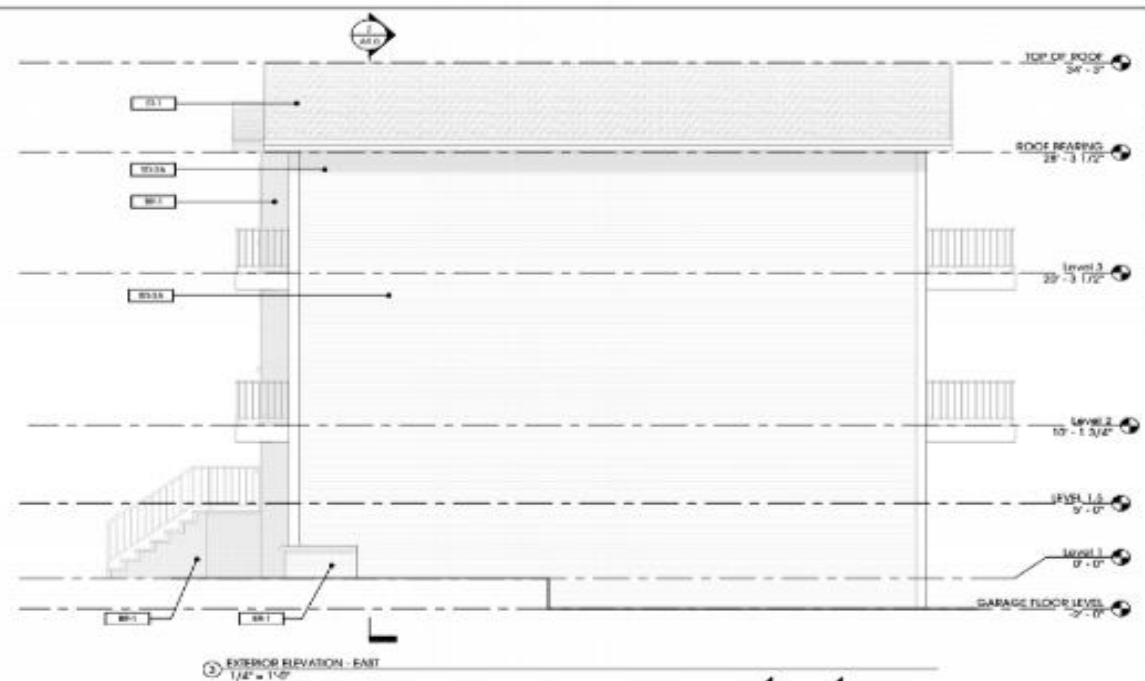
PROJECT #: 2022-29  
 ISSUE DATE: 11.6.23  
 DRAWN BY:  
 SCALE:  
 SHEET NAME: PROPOSED  
 ARCHITECTURAL SITE PLAN  
 SHEET #



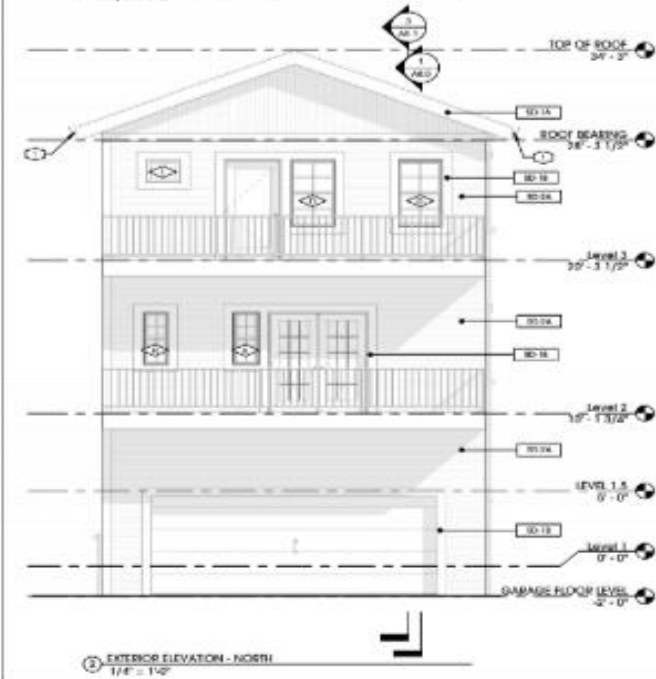




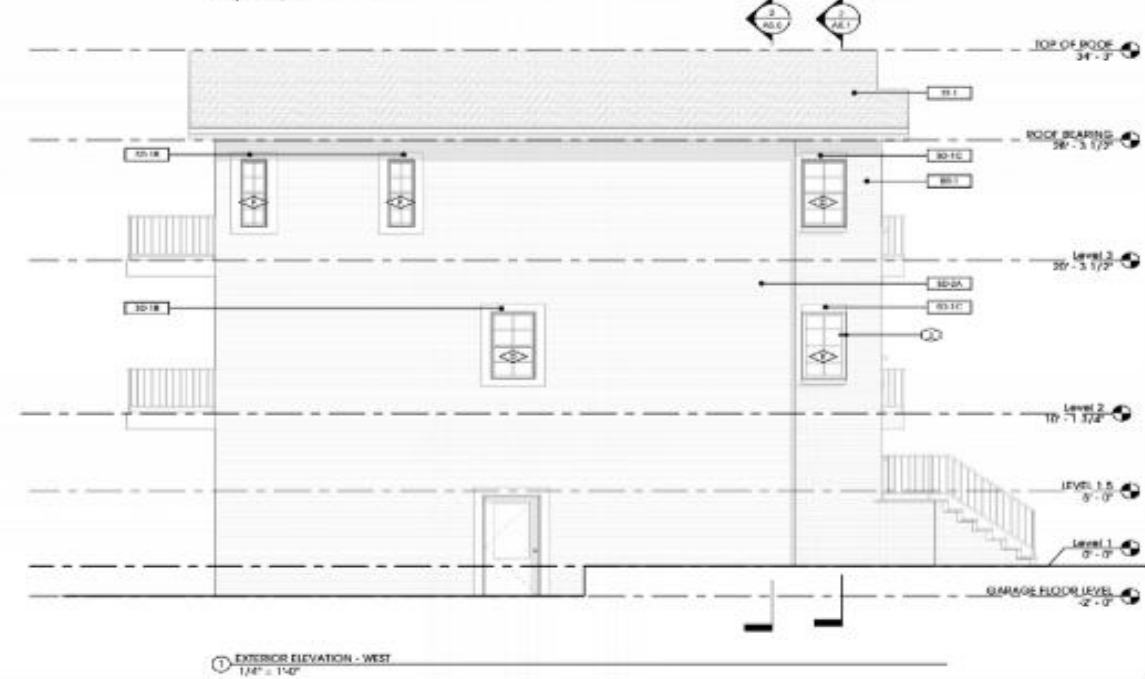
1 EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST  
1/4" = 1'-0"



3 EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"



4 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"

**BUILDING ELEVATION NOTES**

**EXTERIOR FINISHES**

FINISH CALLOUT	FINISH TYPE	FINISH NAME/BRAND/COLOR	COLOR NAME
SD-1	TEMPORARY FACED BRICK, MODULAR	1.0	1.0
SD-2	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-3	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-4	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-5	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-6	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-7	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-8	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-9	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-10	TRUSS CEILING PANEL, 24"X24"	1.0	1.0
SD-11	TRUSS CEILING PANEL, 24"X24"	1.0	1.0

**CODED NOTES - EXTERIOR ELEVATION**

NUMBER	DESCRIPTION
1	GLASS SHOULD BE TEMPERED
2	WINDOWS TO HAVE TEMPERED GLASS

# Lot Consolidations/Splits

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**For PPN#s 007-05-079 & -046**

**Address: 2079 West 38th Street**

**Presenter: Kathryn Harlow, Property Owner**

March 1, 2024

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REFERENCE SURVEYS

Sargent and Dixon's Subdivision, Volume 2, Page 43 of Cuyahoga County Map Records. (Sec.)
Brennan Products Inc. Resubdivisions, Volume 141, Page 38 of Cuyahoga County Map Records. (West)
Lot Consolidation Plat, Volume 373, Page 28 of Cuyahoga County Map Records. (Atwell)
Consolidation Plat, Volume 273, Page 18 of Cuyahoga County Map Records.
Plat of Consolidation, Volume 359, Page 26 of Cuyahoga County Map Records. (Bradner)
Plat of Lot Split and Consolidation, ATRN. 201801160862 of Cuyahoga County Map Records.
Plat of Lot Split, ATRN. 202105101490 of Cuyahoga County Map Records.
Map of ALTA/ACSM Land Title Survey, by Donald D. Bahring & Associates, Dated January 2016. (DGR)
City of Cleveland Survey Records. (CSN)
Centerline Schematic Plan - Fuller Road. (Plot)

DEED OF RECORD

P.P.N. 007-05-046 & -079
Land conveyed to Kathryn Harlow and Hans R. Holmager by deed dated December 28, 2023 and recorded in ATRN. 202312240297 of Cuyahoga County Deed Records.
P.P.N. 007-05-046
Land conveyed to Phyllis Delantola and Jeanette Delantola by deed dated December 4, 2018 and recorded in ATRN. 2018122403710 of Cuyahoga County Deed Records.
P.P.N. 007-05-047
Land conveyed to Jose A. Gil, Ana T. Gil and Eduardo A. Gil by deed dated March 15, 2021 and recorded in ATRN. 2021031508914 of Cuyahoga County Deed Records.

PLAT OF CONSOLIDATION OF 2079 WEST 38TH STREET P.P.N. 007-05-046 P.P.N. 007-05-079 CREATING PARCEL "C" CITY OF CLEVELAND, OHIO

Shaded in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being all of Sublot No. 107 in the Sargent and Dixon's Subdivision of part of the Original Shading Township Lot No. 52, as shown by the plat recorded in Volume 2, Page 43 of Cuyahoga County Map Records.

OWNERS ACCEPTANCE

I, (We) the undersigned owner(s) of the land shown herein, do hereby accept this Plat of Consolidation of the same.

Kathryn Harlow Hans R. Holmager

NOTARY

State of \_\_\_\_\_
County of \_\_\_\_\_

Before me a Notary Public in and for said County and State, personally appeared the above named Owner(s) who acknowledged that he did sign the foregoing instrument and that it was his free act and deed.

In witness whereof, I have hereunto set my hand and official seal at \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public

My commission expires \_\_\_\_\_

APPROVALS

This Plat of Consolidation is accepted and approved by the Planning Director of the City of Cleveland, Ohio this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Joyce Pan Huang - Planning Director

This Plat of Consolidation is accepted and approved by the Planning Commissioner of the City of Cleveland, Ohio this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Richard Svoboda - Planning Commissioner

CERTIFICATION

This plat was prepared from a field survey, analysis of recorded plats, recorded deeds, and city survey records. Bearings shown herein are to be assumed, verified and are intended to indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge. I hereby certify I have surveyed the subject premises and prepared this drawing in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code.

Preliminary for Review

December 28, 2023

Peter J. Gaurloff P.S. No. 8645 Date

Note: 1/4"=30' non pine set and capped "Riverstone Company-P50147-P5846"

GRAPHIC SCALE



RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
3930 LANESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 484-8800 FAX: (216) 484-1040
WWW.RIVERSTONEGROUP.COM

BASIS OF BEARINGS

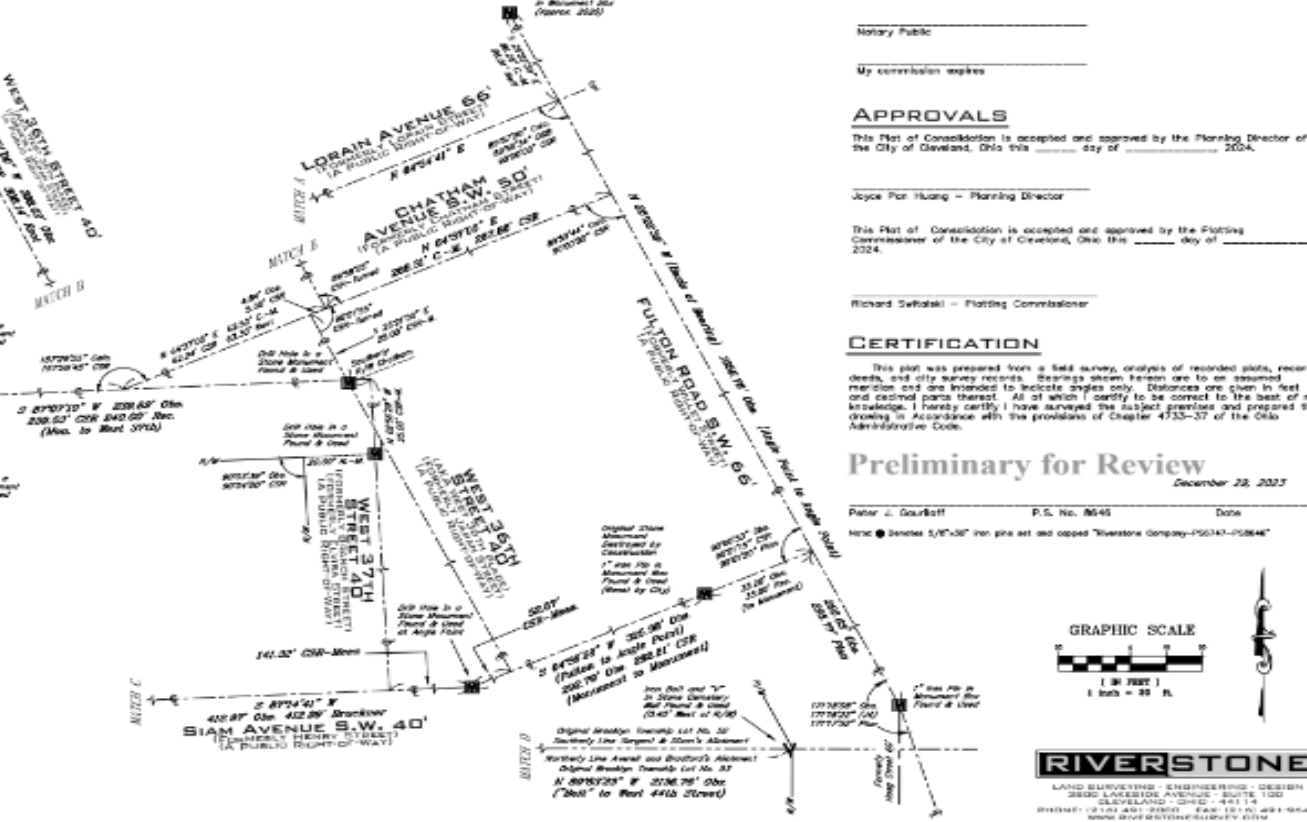
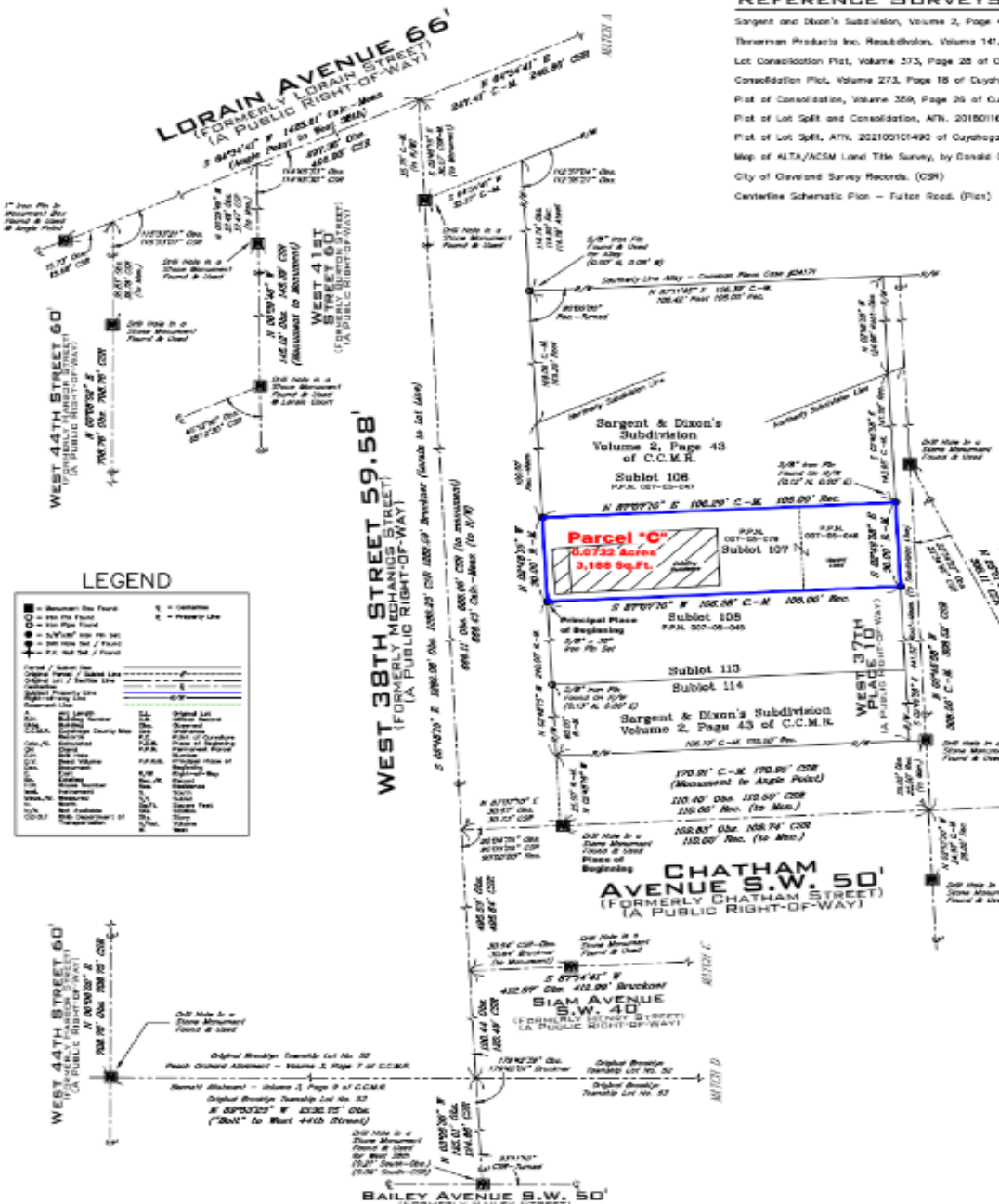
The centerline of Fuller Road S.W. on North 25°22'30" West as shown in the Bailey Bridge Subdivision Plat as recorded in ATRN. 202105250299 of Cuyahoga County Records.

INTENT STATEMENT

The intent of this survey is to recreate the original Sublot No. 107.

LEGEND

Table with symbols and descriptions for various survey features like boundaries, easements, and monuments.



# Cleveland City Planning Commission

## Far West Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

**FW2023-013 – Bank of America New Construction: Seeking Final Approval**

**Project Address: 3029 West 117th Street**

**Project Representative: Andrew Wehler, Nelson Architects**

March 1, 2024

**Note: the Planning Commission granted this item Conceptual Approval with Conditions on October 6, 2023.**

---

**Ward 11- Councilmember Kelly**

**SPA: Cudell**

# BANK OF AMERICA



3029 W. 117th Street, Cleveland OH 44111

## CITY OF CLEVELAND | DESIGN REVIEW – FINAL APPROVAL FEBRUARY 21, 2024

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NOTE: IMAGE IS OF PROTOTYPICAL BUILDING; LAYOUT/ELEVATION DESIGN SHOWN DOES NOT MATCH PROPOSED DESIGN

# WRITTEN PROJECT SUMMARY

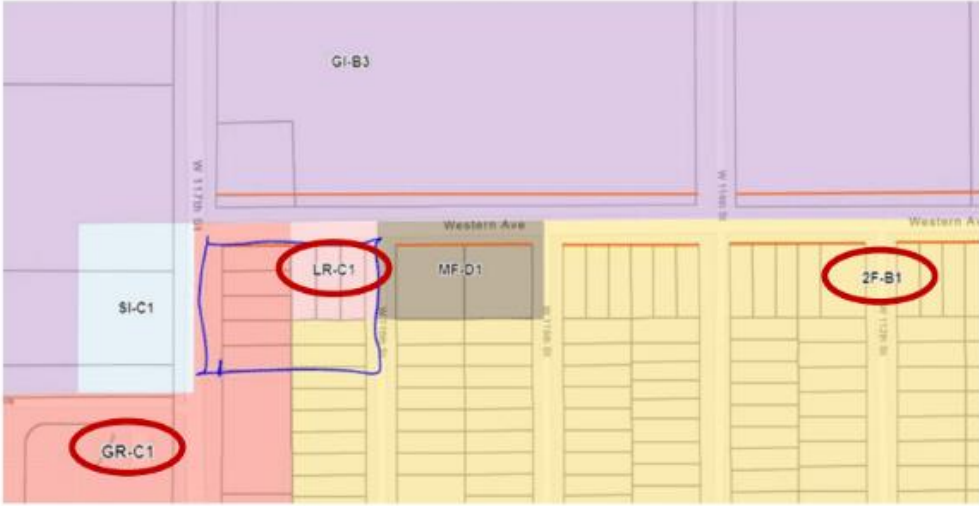
The proposed project is a new ground-up financial center building located on approximately 0.96 acres (41,967 SF). The property is at the northwest corner of the intersection of two local streets, West 117th Street and Western Avenue. The existing primary parcel is currently developed as a single-story neighborhood tavern consisting of approximately 6,350 SF.

Project development will include construction of a new one-story building (4,253 SF), detached drive-up ATM service, on-site utilities, vehicle drives with paved parking (24 standard & 2 Accessible w/ access isle), pedestrian sidewalks, and landscaping. Site access will be reorganized to provide one (1) curb cut from an access drive to 117th Street and one (1) access drive to Western Avenue.

The property previously consisted of ten (10) individual lots of approximately 0.10 acres each. Although these lots have been consolidated into one single lot totaling 0.9634 acres (bearing parcel number 005-07-125), there are three (3) zoning districts within this single consolidated parcel: (a) General Retail Business District; (b) Local Retail Business District; and (c) Two Family Residential District.

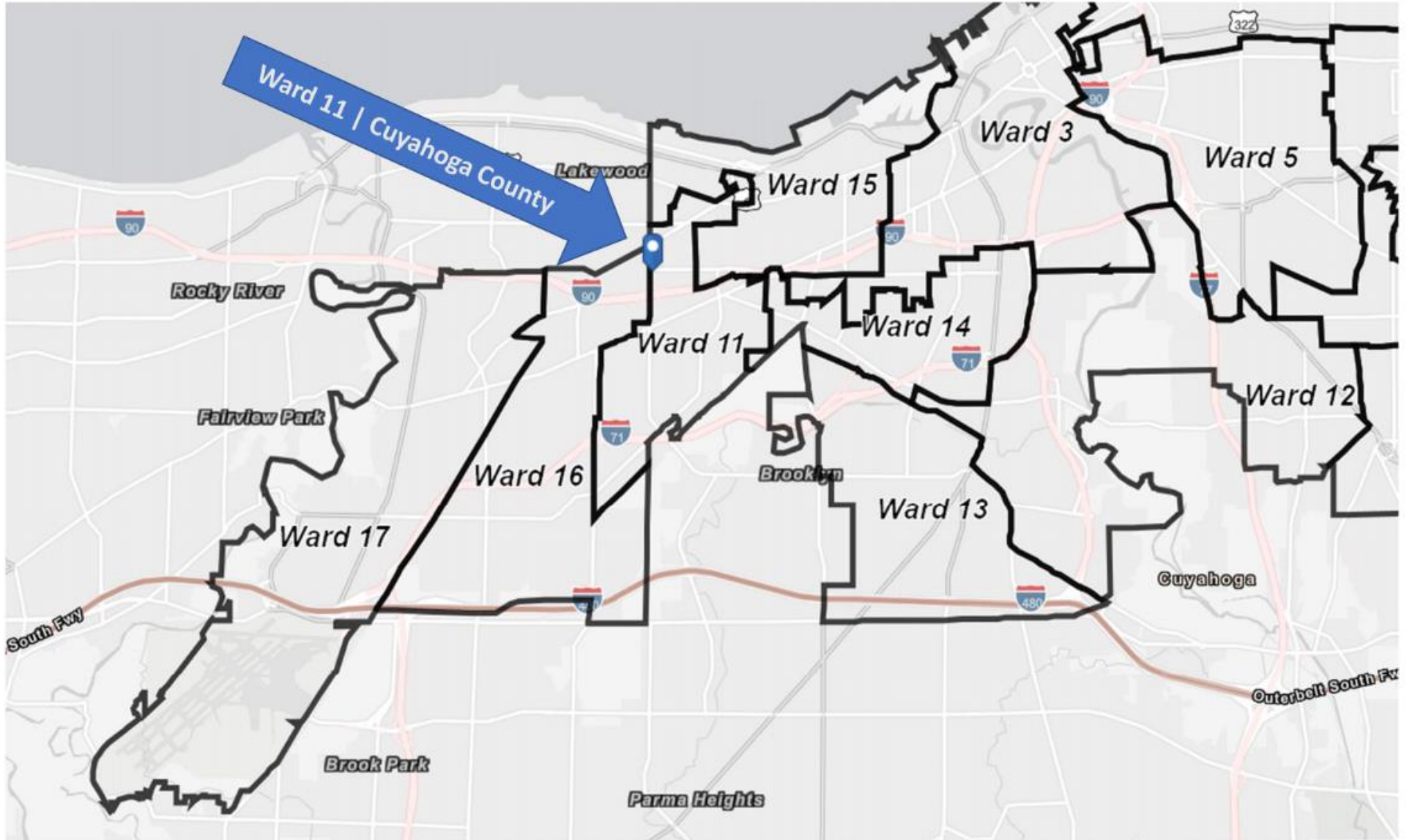


Parcel Map



Zoning Map

# SITE LOCATION MAP (DISTRICT LEVEL)

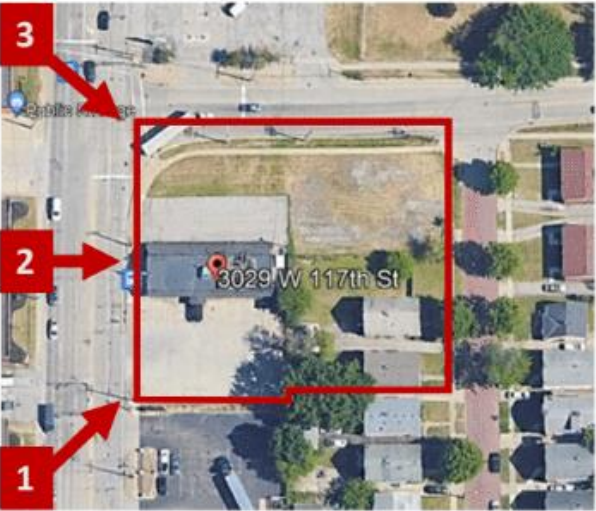




# SITE CONTEXT MAP



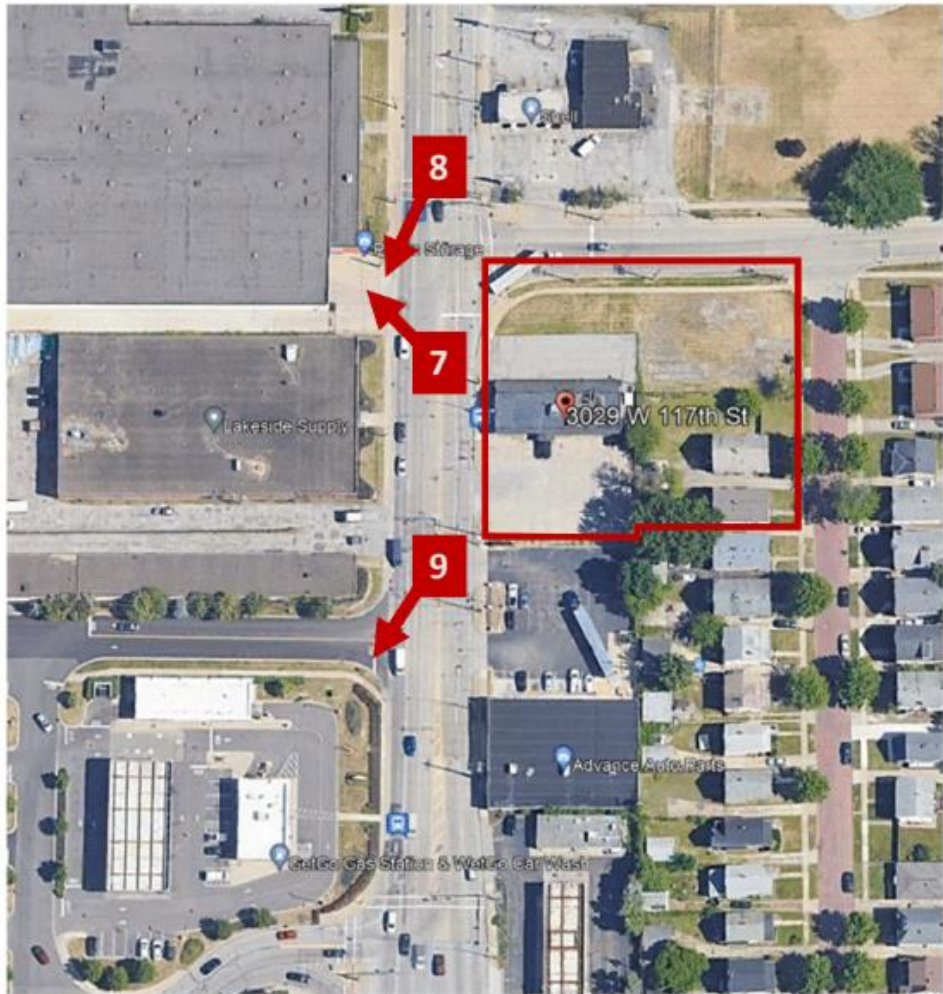
# EXISTING CONDITIONS PHOTOS



# EXISTING CONDITIONS PHOTOS



# EXISTING CONDITIONS PHOTOS - CONTEXT



# PROPOSED SITE PLAN OVERVIEW



NOTE: PROPERTY LINE SHOWN IS DIAGRAMMATIC.



# PROPOSED FURNISHING & SITE AMENITIES



EXTERIOR TRASH RECEPTACLE  
UNITED RECEPTACLE  
CORNERSTONE FIBERGLASS - PEBBLE



BIKE RACK - INVERTED 'U'  
GALVANIZED STEEL  
IN-GROUND MOUNT

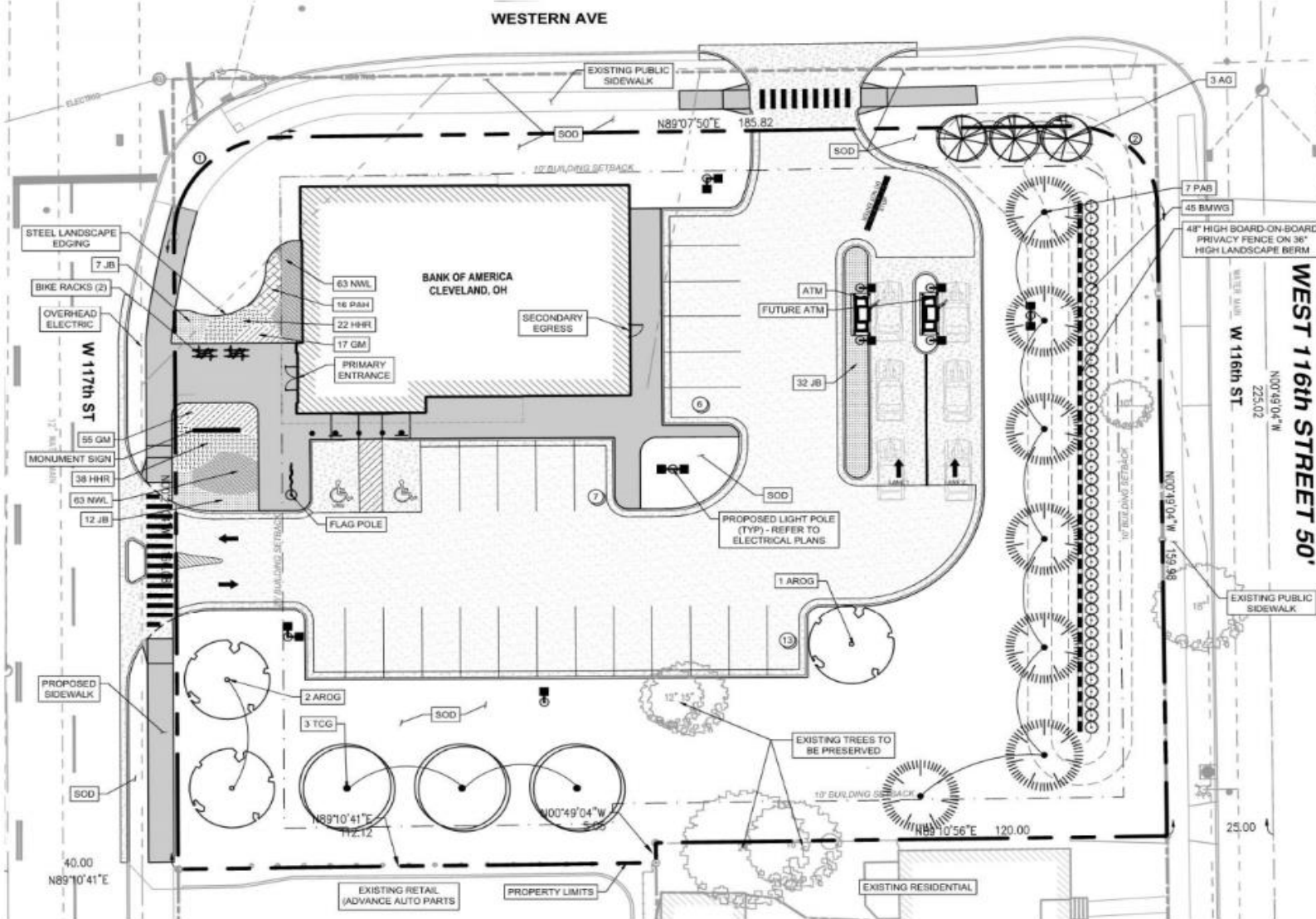


BOLLARD COVERS  
1/8" THICK HDPE  
(PROVIDED AT EVERY BOLLARD)



FLAGPOLE (30') TALL  
CLEAR ANODIZE FINISH  
5X8 US FLAG  
(PROVIDED WITH FLAGPOLE LIGHT)

# PROPOSED LANDSCAPE PLAN



### LANDSCAPE PROJECT NOTES

Refer to Sheet Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conditions before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape clearing areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently tamped prior to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide based per the specifications and approved by the Owner. To obtain fine grade, excavation may be necessary to adjust the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be covered to minimize settlement and erosion damage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, to the outside of utility easements with a clear six foot (6') around fire hydrants and twenty foot (20') from all irrigation control valve meter boxes. Furthermore, planting within areas of full street grade priority of location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Furthermore, irrigation regulator components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeter.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred. However, field and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging or 2" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 2" min. thickness. Temporary edging shall have a smooth surface with no sharp corners exposed.

A four inch (4") meshing of shredded hardwood mulch over a 4.1 cu. yd. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees and within all beds with plants spaced 36" or, in greater single trees or shrubs shall be tamped to the outside edge of the season or landscape select (See planting details).

Portion of plants at the time of planting with 10-10-10 time release fertilizer.

All areas of river rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") except in those areas (3") minimum. Contractor shall report to a depth of three inches (3") that should be compacted and sealed under four inches (4") in a protection area.

### SOD PROJECT NOTES

**EROSION CONTROL**  
Throughout the project and the maintenance period for fullfills, it is the Contractor's responsibility to maintain the topsoil to state or approved grades. Topsoil and turfgrass issues due to erosion or any other construction activities will be repaired by the Contractor until ESTABLISHMENT AND ACCEPTANCE is achieved.

**SOIL PREPARATION**  
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and placed to a depth of five (5") inches. Soil shall be prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tilling and clearing, all areas to receive turf shall be leveled. The grade, and drop with a weighted rope across or flag strip.

**GRASS SOD**  
Turfgrass sod shall be 100% Kentucky Bluegrass. Sod shall consist of sods, leaf blades, fibrous and roots with a healthy, white system of stems. Sod shall be rolled through the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, diseases, worms, and undesirable foreign materials and grasses. The grass shall have been mowed prior to soil cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay loam soil. Sod shall not be harvested or placed when its moisture content is excessively wet or dry that its survival will be affected. All sod to be harvested, delivered, and stored within a forty-two (42) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Shovel installation occurs between November and March, and shall include an over-seed of Annual Ryegrass for a greener appearance.

**IRRIGATION**  
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall install and temporarily to develop adequate growth and establishment before regular maintenance begins. Grass shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the grass.

**MAINTENANCE REQUIREMENTS**  
Irrigation system shall be inspected regularly to ensure the plant material is established properly and remains healthy. Mowing, watering and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assures regular maintenance.

**ESTABLISHMENT AND ACCEPTANCE**  
All disturbed areas receiving soil shall receive topsoil as specified and be adequately conditioned such that any absence of water will not kill the grass, but provides a state of grass dormancy, until the next rainfall event.

Regardless of unreasonable climatic conditions or other adverse conditions affecting starting operations and the growth of the turf grass, it shall be the sole responsibility of the Contractor to establish a uniform stand of grass.

Contractor to make a written request for inspection to Owner or Owner's representative a minimum of 5 days prior to the anticipated inspection date.

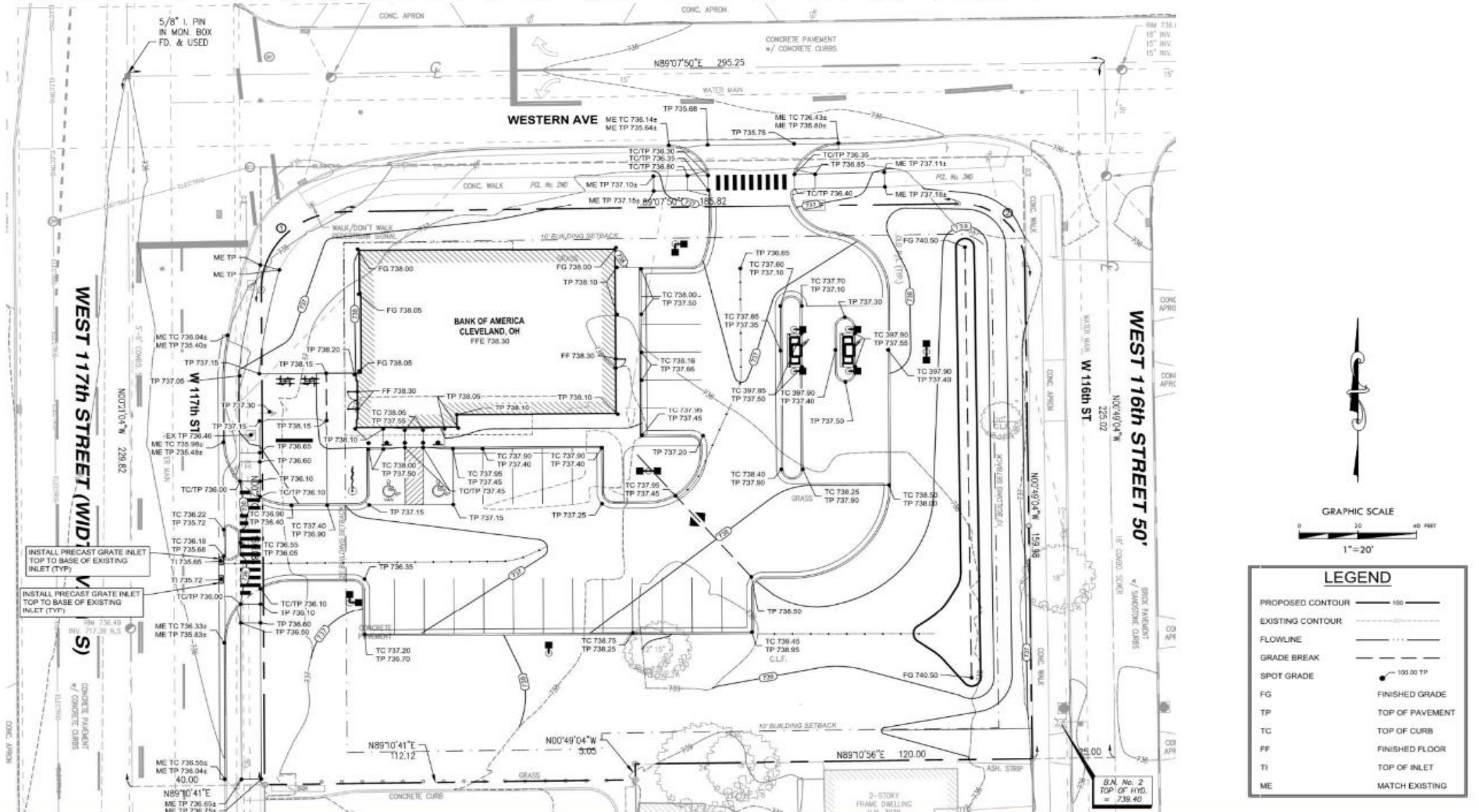
### PLANT SCHEDULE

SYMBOL	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
<b>EVERGREEN TREES</b>						
	PAB	7	PICEA ABIES / NORWAY SPRUCE	6-8' HT.	B&B	
<b>ORNAMENTAL TREES</b>						
	AG	3	AMELANCHER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	1-1/2"-2" CAL MIN	B&B	SINGLE STEM
<b>SHADE TREES</b>						
	AROG	3	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	2 1/2-3" CAL	B&B	
	TOD	3	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	2 1/2-3" CAL	B&B	
<b>EVERGREEN SHRUBS</b>						
	BMWG	45	BUXUS MICROPHYLLO 'JAPONICA WINTER GEM' / WINTER GEM JAPANESE BOXWOOD	3 GAL.	CONTAINER	
<b>SHRUB AREAS</b>						
	JH	51	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP CREEPING JUNIPER	2 GAL.	CONTAINER	36" o.c.
<b>GROUND COVERS</b>						
	GM	72	GERANIUM 'SANGUINEUM' 'MAX FRED' / MAX FRED BLOODED GERANIUM	2 GAL.	CONTAINER	18" o.c.
	HHR	60	HEMEROCALLIS X 'HAPPY RETURNS' / HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER	24" o.c.
	NL	126	HEPETA X 'FAASSEN' 'WALKER'S LOW' / WALKER'S LOW CATMINT	2 GAL.	CONTAINER	18" o.c.
	PAH	16	PENNISETUM ALCOPEUROIDES 'HAEMEL' / HAEMEL FOUNTAIN GRASS	2 GAL.	CONTAINER	24" o.c.

NOTE: ALL PLANTS TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.



# PROPOSED GRADING & DRAINAGE



February 6, 2024

Matthew Krakora, P.E.  
Langan  
6000 Lombardo Center, Suite 210  
Seven Hills, OH 44131

**Re: Bank of America at West 117<sup>th</sup> Street and Western Avenue – Cleveland, Ohio  
Title IV Review Applicability Determination**

Dear Mr. Krakora,

The Title IV Combined Sewer Code of the Northeast Ohio Regional Sewer District's (NEORS) Code of Regulations provides the NEORS with the authority to control combined sewer overflows (CSOs) from the combined sewer system and to control peak flows from local combined sewer systems at the point of connection into sewers owned by the NEORS or a member community. Therefore, the NEORS has the authority to review all requests for connection approval within the combined sewer system.

Based on preliminary information, the referenced project:

- Will be subject to review by the NEORS under Title IV – Combined Sewer Code. The proposed stormwater management design for the site must meet the current NEORS Title IV Combined Sewer Code requirements, detailed in the attached guidance document, **Submittal Requirements for Connections to the Combined Sewer System – Guidelines for Review and Approval**.
- Will not be subject to review by the NEORS under Title IV – Combined Sewer Code.

If you have any questions, please feel free to contact me at ext. 6881.

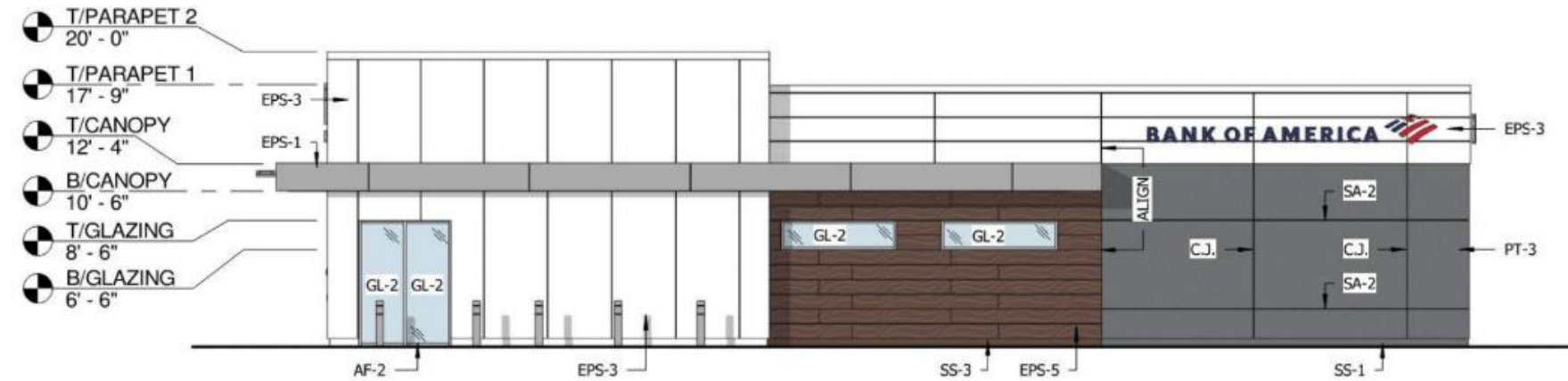
Kind Regards,



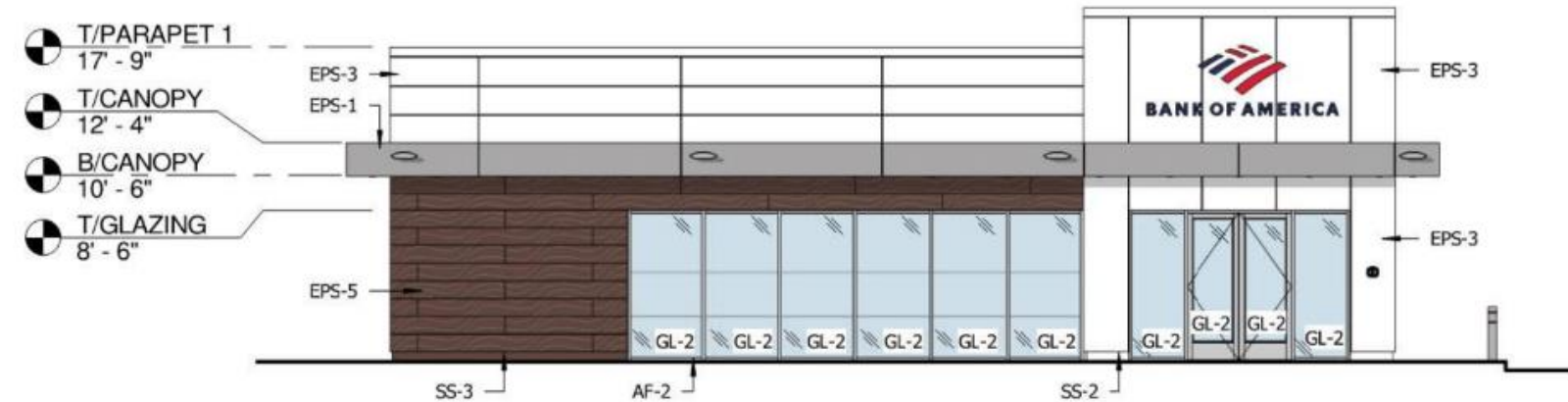
Jeffrey Jowett,  
Community Discharge Permit Program Manager

cc:  
Elie Ramy, Cleveland WPC  
Adam Davenport, Cleveland City Planning Commission

# PROPOSED COLORED ELEVATIONS



SOUTH ELEVATION



WEST ELEVATION

NOTE: PRESENTATION ELEVATIONS ARE NOT TO SCALE

## MATERIALS LEGEND

### ALUMINUM GLAZING FRAME

AF-2 ALUMINUM STOREFRONT SYSTEM; CLEAR ANODIZED ALUMINUM FINISH

### ALUMINUM COMPOSITE METAL PANEL (B.O.D. = CITADEL)

EPS-1 CITADEL ENVELOPE 2000 RAINSCREEN (RS); CLEAR ANODIZED SATIN

EPS-3 CITADEL ENVELOPE RAINSCREEN (RS); ARCTIC WHITE SATIN

### FORMED METAL WALL PANEL SYSTEM (B.O.D. = PURE & FREEFORM)

EPS-5 HORIZONTAL FORMED WALL METAL PANEL; ROMA NOCE #5N043 SATIN

### EXTERIOR PAINT

EXPT-1 EXTERIOR PAINT; BENJAMIN MOORE: CHARCOAL SLATE FLAT

### EXTERIOR GLAZING

GL-2 1" TEMPERED INSULATED GLAZING AS SPECIFIED

### STUCCO/PLASTER

PT-3 7/8" PAREZ ARMOURWALL 300 STUCCO ASSEMBLY;

BENJAMIN MOORE: CHARCOAL SLATE FLAT

PT-4 5/8" PAREX ARMOURWALL 300 STUCCO ASSEMBLY;

BENJAMIN MOORE: STORMY MONDAY

### STUCCO ACCESSORIES

SA-2 NARROW CHANNEL SCREED AS SPECIFIED;

PAINT TO MATCH STUCCO FINISH COLOR

SA-4 SOFFIT VENT CHANNEL SCREED AS SPECIFIED; COLOR TO MATCH PT-4

CJ CONTROL JOINT; PAINT TO MATCH STUCCO FINISH COLOR

### FLASHING BASE (B.O.D. = 18 GAUGE MIN.)

SS-1 BRAKE METAL BASE AT PT-3; COLOR TO MATCH PT-3

SS-2 BRAKE METAL BASE AT EPS-3; COLOR TO MATCH EPS-3

SS-3 BRAKE METAL BASE AT EPS-5; COLOR TO MATCH EPS-5



AF-2  
EPS-1



EPS-5



EXPT-1  
PT-3

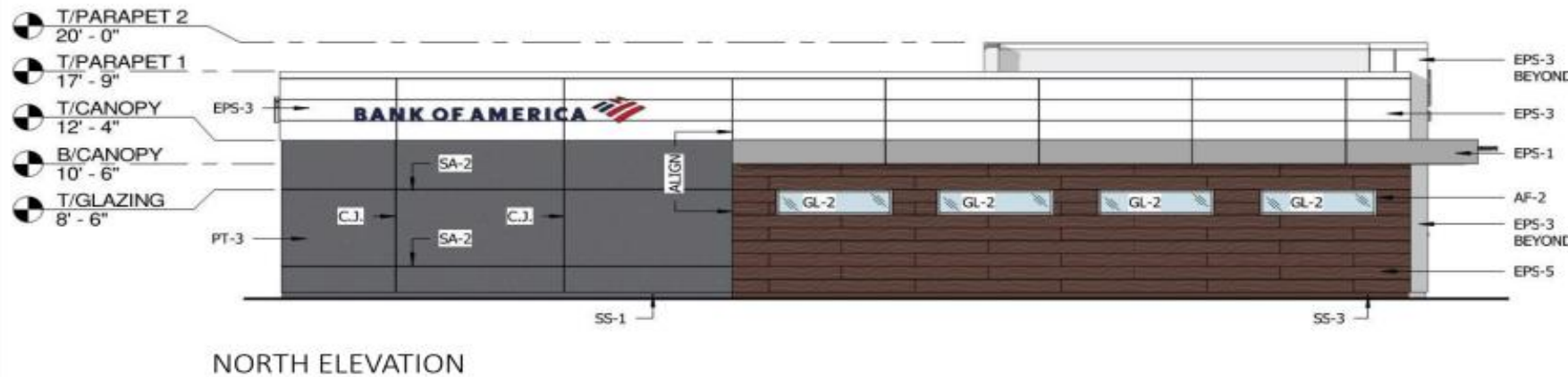
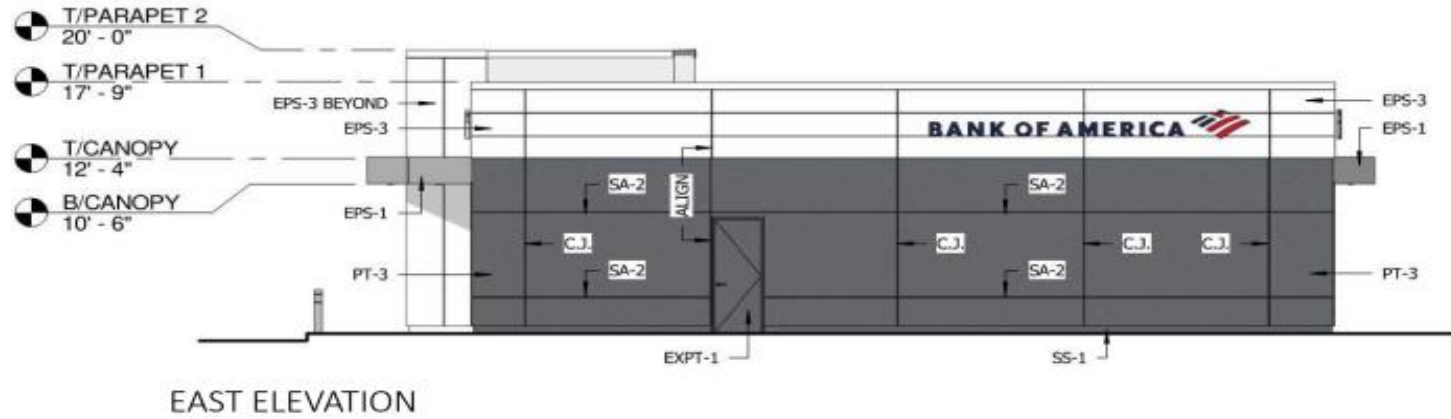


EPS-3



PT-4

# PROPOSED COLORED ELEVATIONS



NOTE: PRESENTATION ELEVATIONS ARE NOT TO SCALE

## MATERIALS LEGEND

### ALUMINUM GLAZING FRAME

AF-2 ALUMINUM STOREFRONT SYSTEM; CLEAR ANODIZED ALUMINUM FINISH

### ALUMINUM COMPOSITE METAL PANEL (B.O.D. = CITADEL)

EPS-1 CITADEL ENVELOPE 2000 RAINSCREEN (RS); CLEAR ANODIZED SATIN

EPS-3 CITADEL ENVELOPE RAINSCREEN (RS); ARCTIC WHITE SATIN

### FORMED METAL WALL PANEL SYSTEM (B.O.D. = PURE & FREEFORM)

EPS-5 HORIZONTAL FORMED WALL METAL PANEL; ROMA NOCE #5N043 SATIN

### EXTERIOR PAINT

EXPT-1 EXTERIOR PAINT; BENJAMIN MOORE: CHARCOAL SLATE FLAT

### EXTERIOR GLAZING

GL-2 1" TEMPERED INSULATED GLAZING AS SPECIFIED

### STUCCO/PLASTER

PT-3 7/8" PAREX ARMOURWALL 300 STUCCO ASSEMBLY; BENJAMIN MOORE: CHARCOAL SLATE FLAT

PT-4 5/8" PAREX ARMOURWALL 300 STUCCO ASSEMBLY; BENJAMIN MOORE: STORMY MONDAY

### STUCCO ACCESSORIES

SA-2 NARROW CHANNEL SCREED AS SPECIFIED; PAINT TO MATCH STUCCO FINISH COLOR

SA-4 SOFFIT VENT CHANNEL SCREED AS SPECIFIED; COLOR TO MATCH PT-4

CJ CONTROL JOINT; PAINT TO MATCH STUCCO FINISH COLOR

### FLASHING BASE (B.O.D. = 18 GAUGE MIN.)

SS-1 BRAKE METAL BASE AT PT-3; COLOR TO MATCH PT-3

SS-2 BRAKE METAL BASE AT EPS-3; COLOR TO MATCH EPS-3

SS-3 BRAKE METAL BASE AT EPS-5; COLOR TO MATCH EPS-5



# PROPOSED EXTERIOR MATERIAL



EPS-1 ALUMINUM COMPOSITE METAL PANEL;  
CLEAR ANODIZED SATIN



EPS-3 ALUMINUM COMPOSITE METAL PANEL;  
ARCTIC WHITE SATIN



EPS-5 FORMED METAL WALL PANEL;  
ROMA NOCE #SN043 SATIN



PT-3 7/8" 3-PART STUCCO W/ SAND FINE FINISH;  
BENJAMIN MOORE CHARCOAL SLATE FLAT



PT-4 5/8" SOFFIT STUCCO W/ SAND FINE FINISH;  
BENJAMIN MOORE STORMY MONDAY (MATCH EPS-1)



EXPT-1 EXTERIOR PAINT; BENJAMIN MOORE  
CHARCOAL SLATE FLAT

# PROPOSED FLOOR PLAN



NOTE: PRESENTATION FLOOR PLAN NOT TO SCALE

# PROPOSED DRIVE-UP ATM



# PROPOSED SIGNAGE PLAN/DETAILS



Overall Height:	6'
Overall Width:	8'-6 5/8"
Logo Height:	
Letter Height:	5 5/8"
Illuminated:	Yes

EXT-001 [6' MONUMENT SIGN]

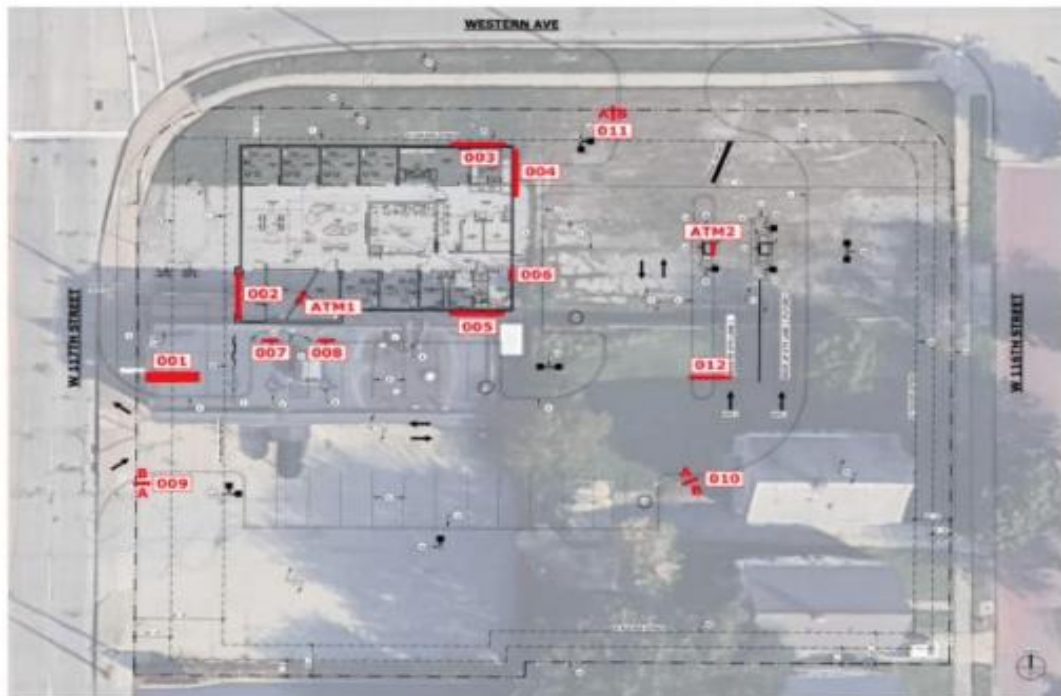


Overall Height:	3'-9 7/8"
Overall Width:	11'-4 7/8"
Logo Height:	
Letter Height:	8 3/4"
Illuminated:	Yes

EXT-002 [CHANNEL LETTER SIGN]



# PROPOSED SIGNAGE PLAN/DETAILS



Overall Height:	1'-11 5/8"
Overall Width:	19'-8 1/8"
Logo Height:	
Letter Height:	12"
Illuminated:	Yes

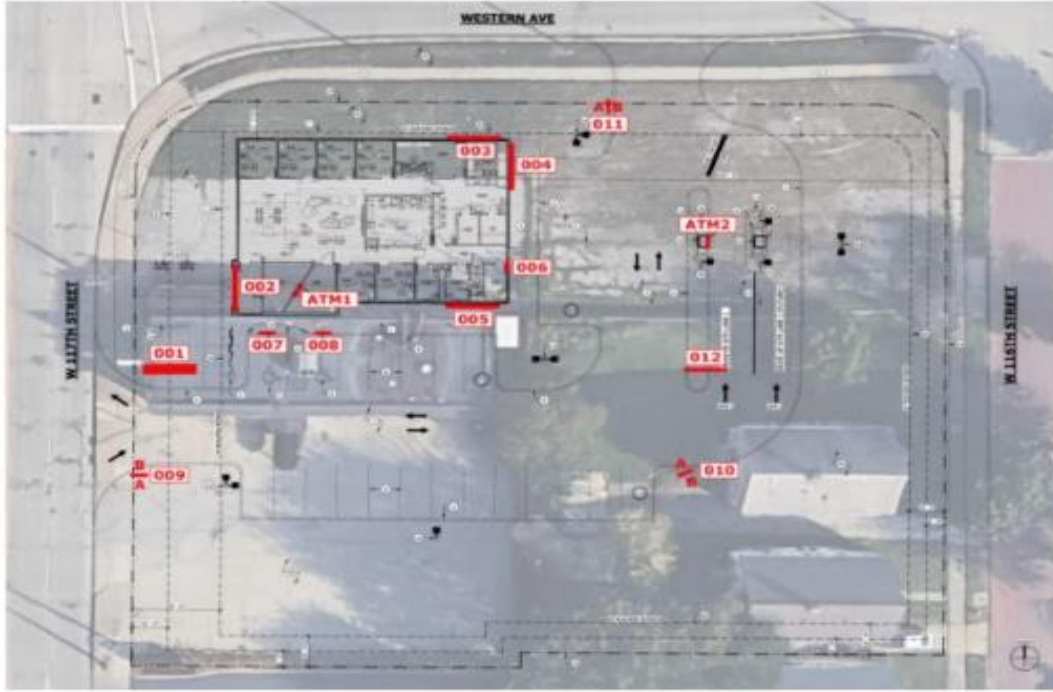
EXT-003, 004 & 005 [CHANNEL LETTER SIGN]



Overall Height:	8"
Overall Width:	1'-4"
Logo Height:	
Letter Height:	
Illuminated:	No

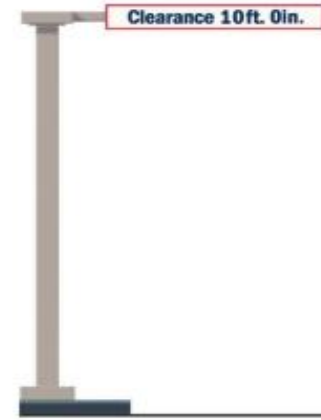
EXT-006 [NO SMOKING SIGN]

# PROPOSED SIGNAGE PLAN/DETAILS



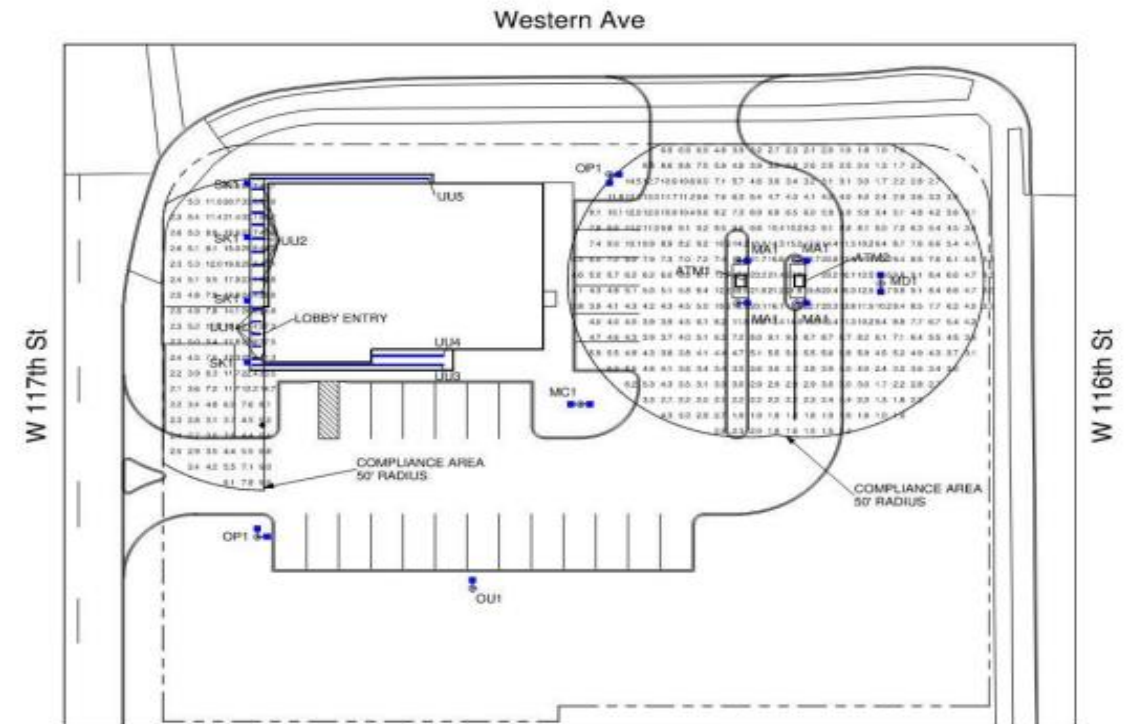
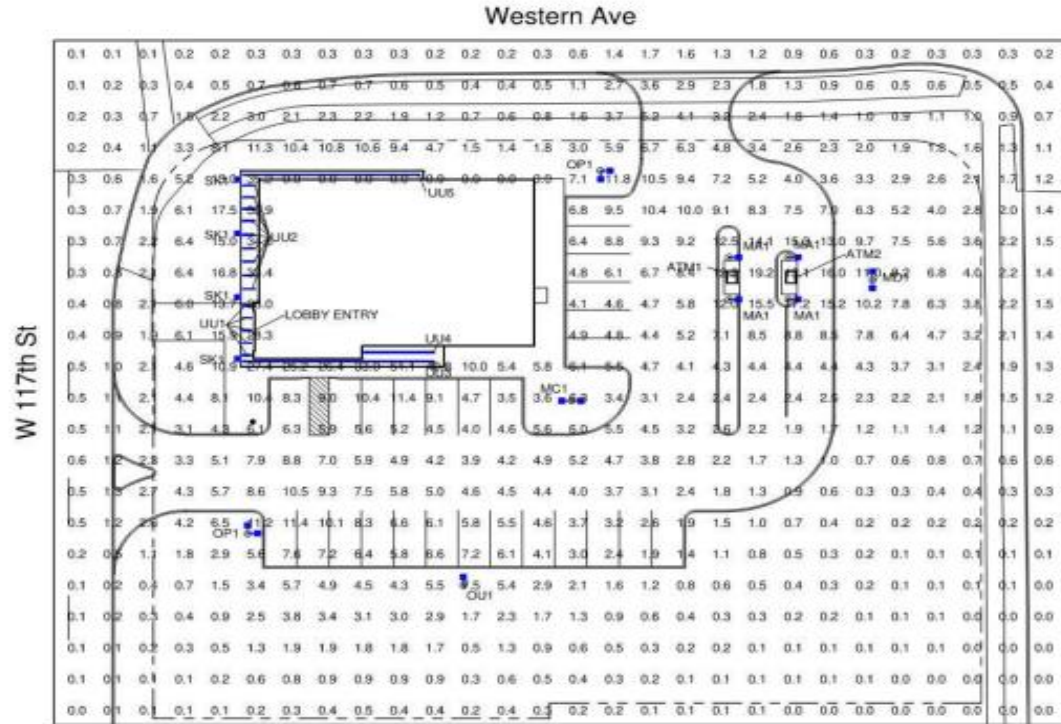
Overall Height:	3'
Overall Width:	2'-6"
Logo Height:	
Letter Height:	
Illuminated:	No

EXT-009, 010 & 011 [3' DIRECTIONAL SIGN]



EXT-012 [ATM HEADACHE BAR]

# PROPOSED LIGHTING PLAN & SCHEDULE



TYPE	MANUFACTURER	MODEL	MODEL NUMBER	MOUNTING HEIGHT	MOUNTING	TOTAL WATTAGE
MA1	CREE	OSQ	OSQM-C-6L-40K7-5M-UL-NM-BZ	10' - 0" AFG	POLE MOUNT	148 W
MC1	CREE	OSQ	OSQM-C-16L-40K7-5M-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	194 W
MD1	CREE	OSQ	OSQL-C-22L-40K7-5M-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	262 W
OP1	CREE	OSQ	OSQL-C-30L-40K7-4B-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	700 W
OU1	CREE	OSQ	OSQL-C-22L-40K7-3M-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	131 W
SK1	CREE	SECURITY EDGE	SEC-EDG-4M-WM-04-E-UL-SV-525-40K	11' - 6" AFG	WALL MOUNT	280 W
UU1	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-2'-IND-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	87 W
UU2	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-3'-IND-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	235 W
UU3	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-53'-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	452 W
UU4	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-20'-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	174 W
UU5	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-49'-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	418 W
						3081 W

# PROPOSED LIGHTING FIXTURES



TYPE MA1, MC1, MD1, OP1 & OU1  
CREE OSQ (COLOR BRONZE)



TYPE SK1 (COLOR SILVER)  
CREE SECURITY EDGE



TYPE UU1 – UU5  
PINNACLE EV3 WET

TYPE	MANUFACTURER	MODEL	MODEL NUMBER	MOUNTING HEIGHT	MOUNTING	TOTAL WATTAGE
MA1	CREE	OSQ	OSQM-C-6L-40K7-5M-UL-NM-BZ	10' - 0" AFG	POLE MOUNT	148 W
MC1	CREE	OSQ	OSQM-C-16L-40K7-5M-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	194 W
MD1	CREE	OSQ	OSQL-C-22L-40K7-5M-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	262 W
OP1	CREE	OSQ	OSQL-C-30L-40K7-4B-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	700 W
OU1	CREE	OSQ	OSQL-C-22L-40K7-3M-UL-NM-BZ	25' - 0" AFG	POLE MOUNT	131 W
SK1	CREE	SECURITY EDGE	SEC-EDG-4M-WM-04-E-UL-SV-525-40K	11' - 6" AFG	WALL MOUNT	280 W
UU1	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-2'-IND-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	87 W
UU2	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-3'-IND-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	235 W
UU3	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-53'-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	452 W
UU4	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-20'-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	174 W
UU5	PINNACLE	EDGE EV3 WET	EV3-WET-940HO-49'-FLF-U-OL2-1-0-S	MATCH CANOPY HEIGHT	RECESSED CANOPY MOUNT	418 W
						3081 W

THANK YOU – QUESTIONS?

CLIENT REP:

**CBRE**

PROPOSED BANK OF AMERICA  
CITY OF CLEVELAND | DESIGN REVIEW – FINAL APPROVAL  
FEBRUARY 21, 2024

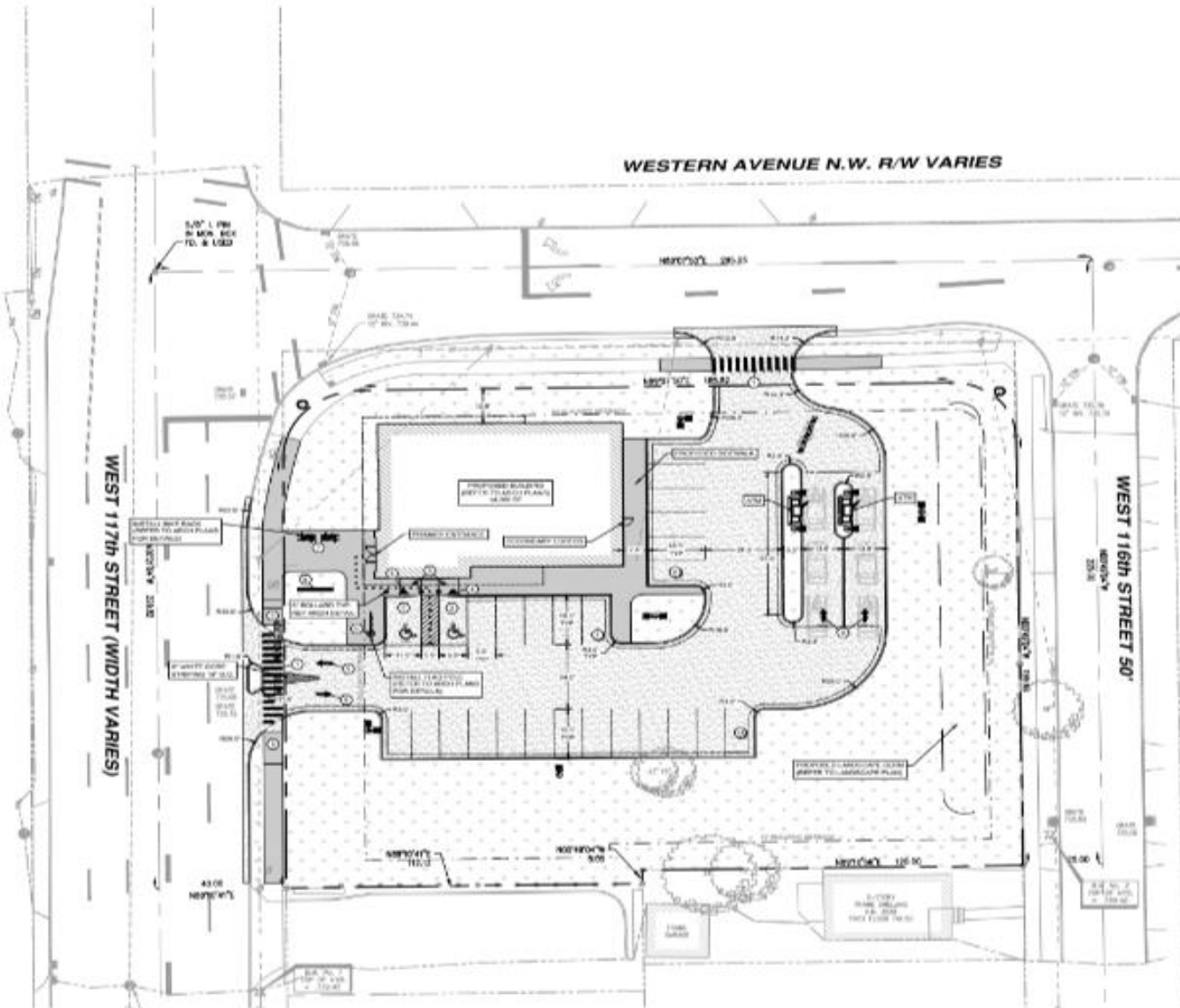
ARCHITECT:

**NELSON**

6000 Lombardo Center  
Suite 500  
Cleveland OH. 44131



WESTERN AVENUE N.W. R/W VARIES



- STANDARD ACCESSIBILITY REQUIREMENTS**
- GENERAL**
- 1. ACCESSIBLE PARKING SPACES SHALL BE ALLOCATED TO A MINIMUM OF ONE (1) PER 100 (100) TOTAL SPACES FOR NEW EXISTING STRUCTURES WITH A MINIMUM OF ONE (1) PER 50 (50) TOTAL SPACES FOR RENOVATED STRUCTURES. ACCESSIBLE PARKING SPACES SHALL BE LOCATED NEAR ENTRANCES FOR EASY ACCESS TO SPACES.
  - 2. EACH ACCESSIBLE PARKING SPACE SHALL HAVE A MINIMUM OF ONE (1) ACCESSIBLE DRIVEWAY AND ONE (1) ACCESSIBLE DRIVEWAY TO THE DRIVEWAY. ACCESSIBLE DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE. ACCESSIBLE DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
  - 3. ALL ACCESSIBLE DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
- DRIVEWAYS**
- 4. DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
  - 5. DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
  - 6. DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
  - 7. DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
  - 8. DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
  - 9. DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.
  - 10. DRIVEWAYS SHALL BE LOCATED NEAR ENTRANCES TO THE STRUCTURE.

- SYMBOL KEY**
- 1. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 2. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 3. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 4. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 5. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 6. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 7. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 8. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 9. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)
  - 10. DRIVEWAY (SEE CROSSING TYPICAL) (SEE PARKING DETAILS)



**"NOTICE TO CONTRACTORS - UTILITIES"**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON INFORMATION OF THE UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY EXISTING UTILITIES IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS. REFER TO UTILITIES SHEETS FOR DETAILS.

**"NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY"**

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY THE OWNER & ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION AND DEPTH OF ANY EXISTING UTILITIES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEPHONE, TELEVISION, ETC.) WHICH AFFECT THE CONSTRUCTION SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES AND FOUND DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CORRECTING THE ACTUAL LOCATION OF EXISTING UTILITIES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PLANS) WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE RESPONSIBLE FOR PROVIDING ANOTHER COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ARCHITECT AND OWNER.

**BENCHMARKS**

MARKER 1: 1" X 1" X 1" ALUMINUM MARKER SET AT CORNER OF 300' WEST 117TH STREET ELEVATION = 128.40 (DWN 80)

MARKER 2: 1" X 1" X 1" ALUMINUM MARKER SET AT CORNER OF 300' WEST 117TH STREET ELEVATION = 128.40 (DWN 80)

**!!!CAUTION!!!**

EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY. VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES BY VISUAL INSPECTION OR OTHER METHODS TO CONFIRM.

**PARKING REQUIRED:**

MINIMUM: 1 SPACE PER 100 SQ FT OF AREA (MINIMUM = 10 SPACES)

MAXIMUM: N/A

PARKING PROVIDED: 20 SPACES

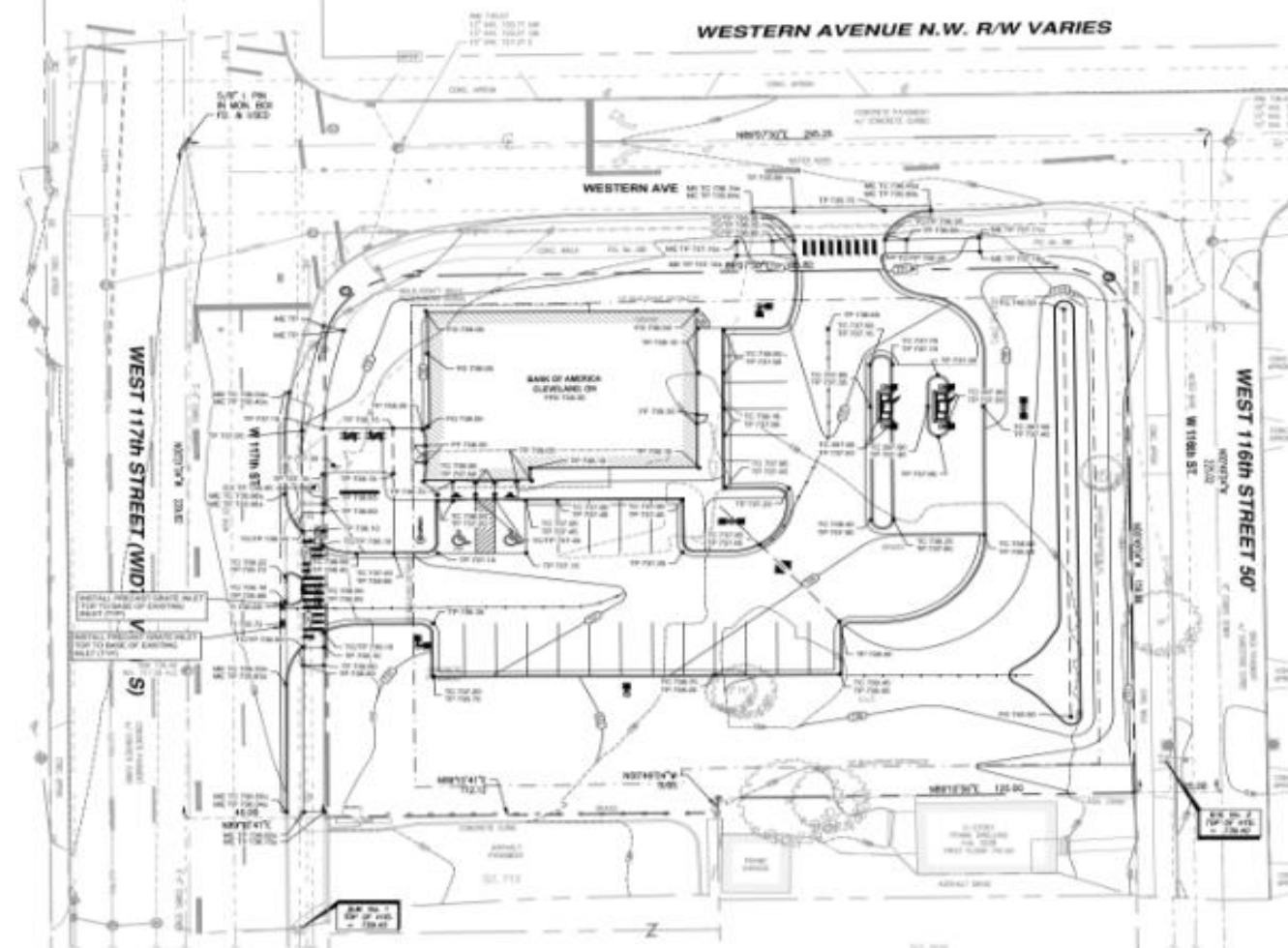
ADA PARKING SPACES PROVIDED: 2 (1 VAN ACCESSIBLE)



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL AGENCIES.

Date	Description	No.
<b>Revisions</b>		
<p>THE DESIGN IS BELIEVED TO BE CORRECT AS SHOWN. HOWEVER, APPROX. 10% UNDER LATER THE DESIGN OF CHRISTOPHER J. WESTBROOK, P.E. MEMBER No. 1-758, IS GIVEN THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.</p>		
<p><b>LANGAN</b></p> <p>Langan Engineering and Environmental Services, Inc. 680 Lorainville Circle, Suite 210 Cleveland, OH 44131 T: 216.269.2300 www.langan.com</p>		
<p><b>BANK OF AMERICA</b></p> <p>CITY OF CLEVELAND CLEVELAND, OH 44115 Drawing Title</p>		
<p><b>SITE PLAN</b></p>		
Project No.	Drawing No.	
53200001	C5.0	
Date	Drawn By	
FEBRUARY 2014	MBH	
Checked By		
MBH		

WESTERN AVENUE N.W. R/W VARIES



- STANDARD ACCESSIBILITY REQUIREMENTS**
1. ACCESSIBLE PARKING SPACES SHALL BE ADJUSTED TO A MINIMUM OF ONE (1) PER 100 (100) TOTAL PARKING SPACES WITH A MINIMUM OF ONE (1) PER 50 (50) SPACES. ALL SUCH SPACES SHALL CONTAIN AT LEAST ONE (1) ACCESSIBLE SPACE FOR EACH 50 (50) TOTAL SPACES PROVIDED ACCESSIBLE SPACES.
  2. MAIN ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 9' (9) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE SPACE. ACCESSIBLE SPACES SHALL BE LOCATED NEAR THE ENTRANCE TO THE BUILDING.
  3. ALL ACCESSIBLE PARKING SPACES SHALL BE ADJUSTED TO A MINIMUM OF 9' (9) FEET CLEARANCE.
  4. DRIVEWAYS SHALL BE 4' (4) FEET WIDE WITH A MINIMUM OF 10' (10) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE DRIVEWAY.
  5. DRIVEWAYS SHALL BE 4' (4) FEET WIDE WITH A MINIMUM OF 10' (10) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE DRIVEWAY.
  6. DRIVEWAYS SHALL BE 4' (4) FEET WIDE WITH A MINIMUM OF 10' (10) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE DRIVEWAY.
  7. DRIVEWAYS SHALL BE 4' (4) FEET WIDE WITH A MINIMUM OF 10' (10) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE DRIVEWAY.
  8. DRIVEWAYS SHALL BE 4' (4) FEET WIDE WITH A MINIMUM OF 10' (10) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE DRIVEWAY.
  9. DRIVEWAYS SHALL BE 4' (4) FEET WIDE WITH A MINIMUM OF 10' (10) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE DRIVEWAY.
  10. DRIVEWAYS SHALL BE 4' (4) FEET WIDE WITH A MINIMUM OF 10' (10) FEET CLEARANCE FROM THE CURB TO THE CENTER OF THE DRIVEWAY.

- SITE GRADING - IBC REQUIREMENT (SEC. 1804)**
1. THE GRADE IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE (1) INCH PER FOOT (1:1) TO THE EXISTING GRADE OR TO THE EXISTING DRAINAGE SYSTEM.
  2. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PREVENT OR HINDER SUCH SLOPING, AN ALTERNATE METHOD OF DRAINING WATER AWAY FROM THE FOUNDATION SHALL BE PROVIDED FOR THE ENTIRE PERIMETER OF THE BUILDING.
  3. SLOPING SURFACES WITHIN THE FOOTPRINT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 1/8" PER FOOT AWAY FROM THE BUILDING.
- NOTE TO BUILDING OFFICIAL**
- ACCESSIBLE PARKING ADJACENT TO THE BUILDING HAVE BEEN PROVIDED LESS THAN 10' (10) FEET FROM BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ADA REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN COMPLIANCE WITH ADA REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN COMPLIANCE WITH ADA REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN COMPLIANCE WITH ADA REQUIREMENTS.

**"NOTICE TO CONTRACTORS - UTILITIES"**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

**"NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY"**

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY COMPASS AND LEVELING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEPHONE, TELEVISION, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY CORRECTIONS REQUIRED AS THE RESULT OF NOT CORRECTING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PIESES, SHEETS, ETC.) WHICH IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE NOTIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**BENCHMARKS**

BASE OF BENCHMARK  
STATE PLANE GRID NORTH: 540 40 (0.01), 540 50 (0.01) POINT: 780 BY 0.00 10 0.0 0.0 0.0 0.0

CONSTRUCTION BENCHMARK  
BENCH MARK NO. 1 TOP OF FINISHED FRONT OF 300 WEST 117TH STREET  
ELEVATION = 130.45 (0.00) 0.00

BENCH MARK NO. 2 TOP OF FINISHED FRONT OF 300 WEST 117TH STREET  
ELEVATION = 130.45 (0.00) 0.00

**!!CAUTION!!**  
EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY. VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES BY VACUUM EXCAVATION OR OTHER PROTECTIVE TECHNIQUES.

**LEGEND**

PROPOSED CONTOUR	---	10'
EXISTING CONTOUR	---	10'
FLOWLINE	---	
GRADE BREAK	---	
SPOT GRADE	●	130.45
FG	---	FINISHED GRADE
TF	---	TOP OF FINISHING
TC	---	TOP OF CURB
FF	---	FINISHED FLOOR
TI	---	TOP OF INLET
ME	---	MATCH EXISTING

Date: \_\_\_\_\_ Description: \_\_\_\_\_ No. \_\_\_\_\_

REVISIONS

THE ENGINEER IS LIABLE FOR THE EXACT AND CORRECT LOCATION OF UTILITIES IN THE VICINITY OF THE PROJECT. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
6000 Lombard Center, Suite 210  
Cleveland, OH 44131  
T: 216.328.3300 www.langan.com

**BANK OF AMERICA**

CITY OF CLEVELAND  
CUNYING COUNTY OHIO

**GRADING AND DRAINAGE PLAN**

Project No. **81100001** Drawing Title

Date: **FEBRUARY 2024** Sheet No. **C6.0**

Checked By: \_\_\_\_\_

APR



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL AGENCIES.



# CLIENT REPRESENTATIVE

CBRE  
CONTACT: DAN O'DOOLE  
PHONE: (313) 300-8847  
EMAIL: DAN.ODOOLE@CBRE.COM

# LANDSCAPE ARCHITECT

LANGAN  
CONTACT: BEN HENRY  
PHONE: (313) 326-3300  
EMAIL: BHENRY@LANGAN.COM

## CHAPTER 352 - LANDSCAPING AND SCREENING

http://codebooks.clevelandohio.gov/CodeBooks/CodeBooks\_ch352-0-0-0000

### § 103.04 Requirements for All Landscaped Areas

- (a) Perennial Trees of Growing: Screening required in Item 2 of the table contained in Section 352.01 and the Screen Buffer required in the table contained in Section 352.01 shall also be in place.
- (1) A landscape screen buffer.
- (2) A screen or screen wall.
- (3) A wall, architectural or other, on another elevation facing an adjoining lot or the Director of the City Planning Commission as required by the Director of the City of Cleveland.
- (4) A screen or other site program vegetation barrier.
- (5) A combination thereof.

Screen and walls used to meet screening requirements shall display a Substantial Visual Appeal Grade and properties.

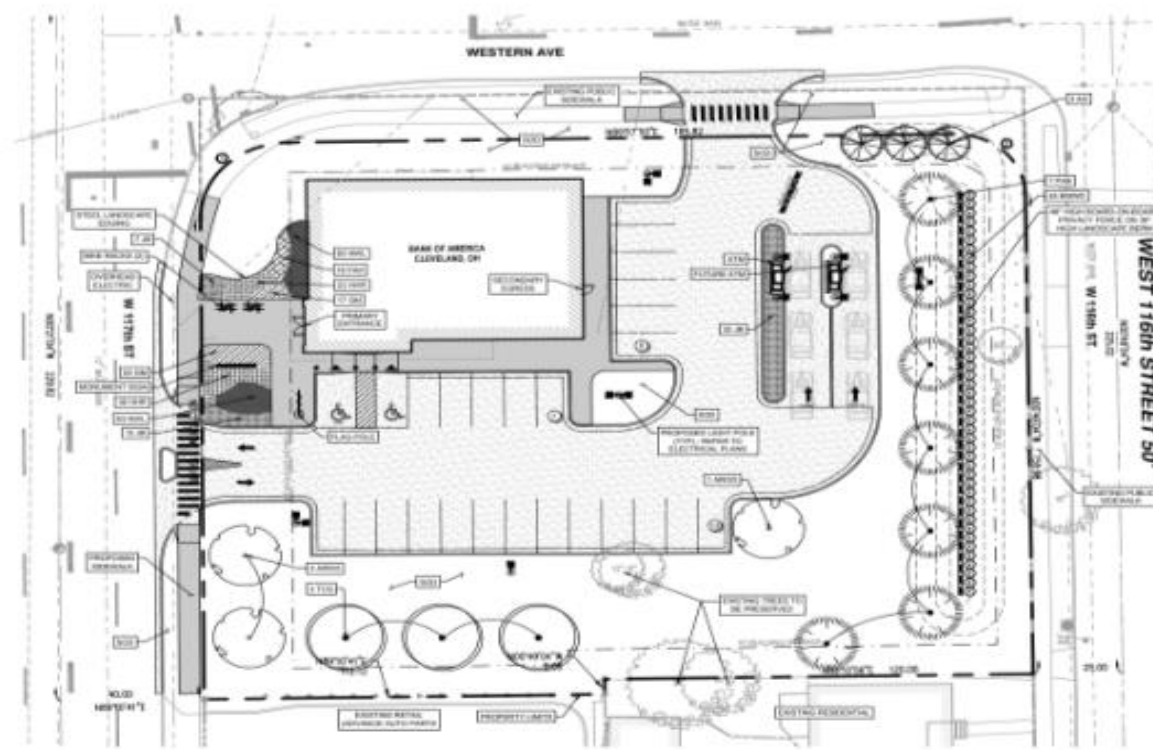
- (b) Types of Landscaping Materials: As determined by the Commissioner of Public Maintenance and Properties ("Commissioner") or a design professional in accordance with the standards prescribed by the Commissioner or designer, all varieties of living landscape material used shall be:
  - (1) Healthy, hardy, and drought resistant consistent with the availability of water for arid and arid regions; and
  - (2) Suitable for the climate and environmental conditions in the city, such as exposure to sun, wind, snow, heat, saltwater, and other factors, and
  - (3) Compatible with the slope of the site, with existing vegetation to be preserved and with utility lines above or below ground level.

- (c) Tree Selection: All trees shall be recommended species on the Cleveland Tree Plan or it may be approved from time to time by the Director of the City of Cleveland. Other or other ground cover shall be planted over all landscaped areas including within Screen Buffers, except in areas planted to flowers, shrubs, or trees, or to preserve a desired appearance and necessary drainage coverage within Screen Buffers (1) suitable for planting.

Planting landscape materials such as trees, shrubs, or trees, or to preserve a desired appearance and necessary drainage coverage (2) of the landscaped areas, and shall be planted in a manner that shall be in accordance with the standards prescribed by the Commissioner or designer.

### § 103.06 Installation and Maintenance

- (a) Installation Procedures: All trees and shrubs shall be installed in accordance with the most current procedures established by the Commissioner and shall be installed in accordance with the standards prescribed by the Commissioner or designer. All other landscaping materials shall be installed in accordance with the standards prescribed by the Commissioner or designer. A permanent record of all landscaping materials shall be provided for a record of the landscaping materials if it is determined by the Commissioner or a design professional in accordance with the standards prescribed by the Commissioner or designer.
- (b) Maintenance and Replacement: The owner, manager, tenant, and agent of each site shall be jointly and severally responsible for the maintenance, repair, and replacement of all landscaping, screening, and walling required under this chapter or to be present at the same quality, quality, and effectiveness as initially installed.

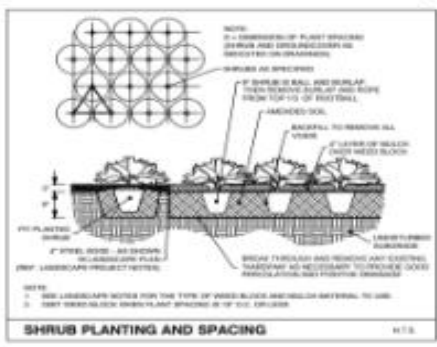
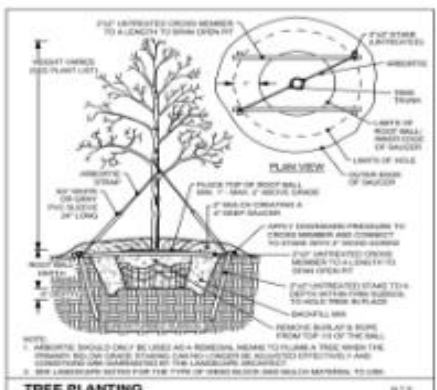


### LANDSCAPE PROJECT NOTES

Note to Client Representative: All information needed for landscape work shall be provided to the landscape architect at least 30 days prior to the start of construction. The landscape architect shall be responsible for providing all information needed for landscape work. The landscape architect shall be responsible for providing all information needed for landscape work. The landscape architect shall be responsible for providing all information needed for landscape work.

### SOD PROJECT NOTES

**SOIL PREPARATION**  
The soil shall be prepared in accordance with the standards prescribed by the Commissioner or designer. The soil shall be prepared in accordance with the standards prescribed by the Commissioner or designer. The soil shall be prepared in accordance with the standards prescribed by the Commissioner or designer.



### MAINTENANCE AND REPLACEMENT NOTE

All living and non-living landscaping including trees, walls, and permanent lighting, shall be maintained in a good condition and replaced as needed. The owner, manager, tenant, and agent of each site shall be jointly and severally responsible for the maintenance, repair, and replacement of all landscaping, screening, and walling required under this chapter or to be present at the same quality, quality, and effectiveness as initially installed.

### PLANT SCHEDULE

SYMBOL	REV	QTY	BOTANICAL / COMMON NAME	SIZE	ROOTS	REMARKS
1	0	1	POZA ARCS / NORWAY SPRUCE	6-8' xL	BAR	
2	0	3	MELANCHED 3 BRANDED 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	1-1/2\"/>		

Date	Description	No.
	Revisions	

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
600 Lakeside Center, Suite 210  
Cleveland, OH 44113  
T: 216.588.0000 www.langan.com

**BANK OF AMERICA**

**CITY OF CLEVELAND**  
CITY OF CLEVELAND  
Drawing Title

**LANDSCAPE PLAN**

Project No. **20200001**  
Drawing No. **L1.0**



### Far West Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 9:00 AM

Case Number: FW2023-13 Meeting Date: 02.21.24  
 Project Name: Bank of America Ward #: 11  
 Project Address: 3029 West 117th St  
 Project Rep.: Andrew Wehler, Nelson Architects  
 Existing Use: Vacant Proposed Use: New bank building  
 Project Scope: New construction of a Bank of America branch

Design Review Level Applied For: Final

Motion by Design Review Committee:

Approve (as presented)  Approve (with stated conditions)  Disapprove  Table

Conditions:

- Add landscaping along the northwestern corner of the property.
- Lower the monument sign to at least five feet.
- Study the need for additional signage; committee felt there is a lot on site already.

Committee Action:		(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)	
Andrews - NP (Alt.)	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Petratis -NP	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Blazek	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Provolt	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Hewitt	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Young (C)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Horton	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Howard	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Orehek- NP	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		

Applicant Signature & Date: \_\_\_\_\_ Virtual Meeting – No Signature Required

# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Cleveland City Planning Commission

## Near West Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

## **NW2023-031 – Treehouse Apartments New Construction: Seeking Schematic Design Approval**

**Project Location: Professor Street and College Avenue**

**Project Representatives: Ben Brannan, Geis Cos., Brandon Kline, Geis Cos.**

March 1, 2024

# ***Treehouse Apartments***

*Multi-family - Retail*





Ohio City

The Flats

Lake Erie

Duck Island

Lincoln Heights

Scranton Peninsula

Scranton River

Downtown

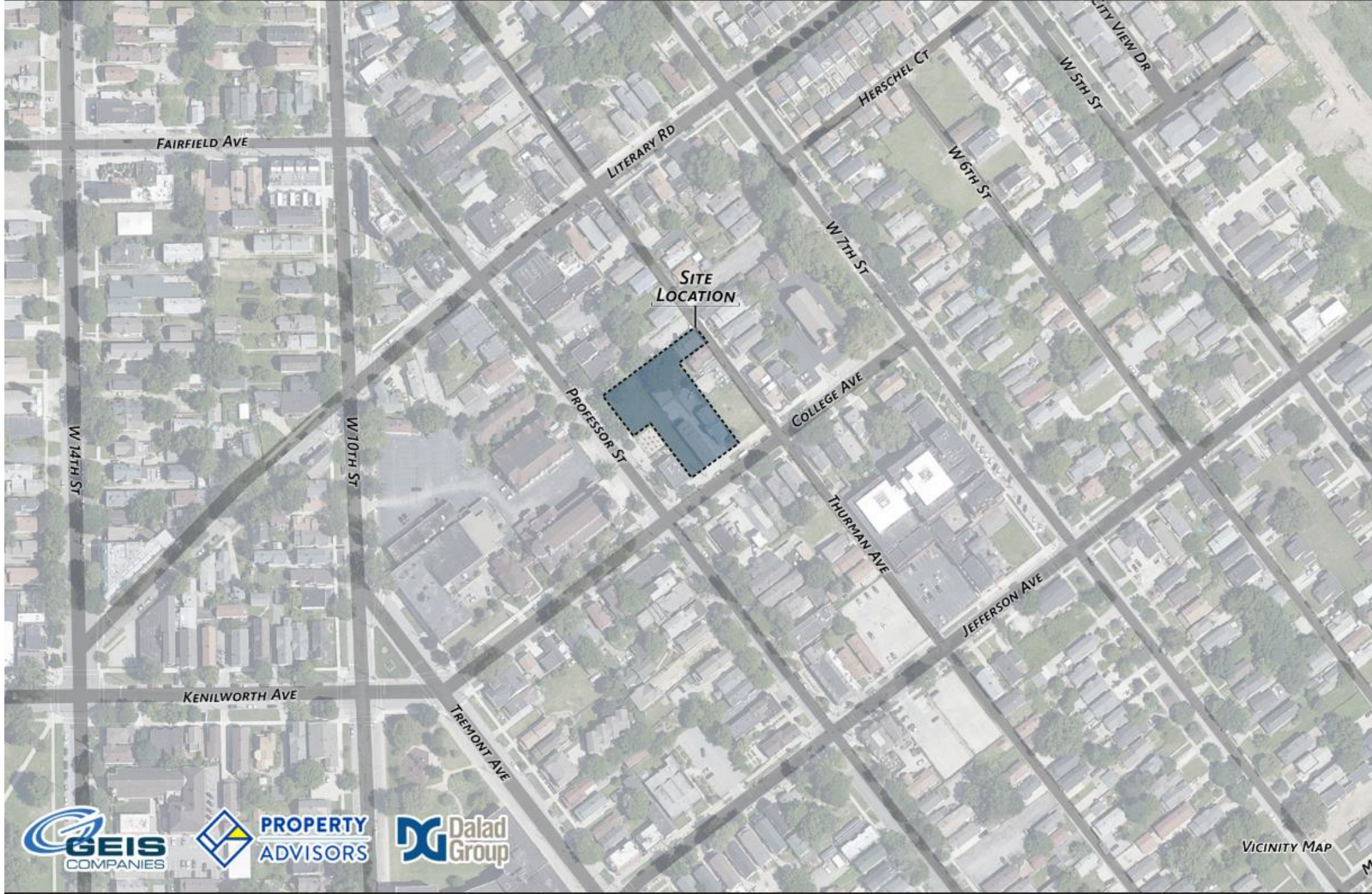
**TREMONT**

SITE

Midtown



AREA MAP



SITE  
LOCATION

FAIRFIELD AVE

LITERARY RD

HERSCHEL CT

W 5TH ST

CITY VIEW DR

W 6TH ST

W 7TH ST

PROFESSOR ST

COLLEGE AVE

W 14TH ST

W 10TH ST

THURMAN AVE

JEFFERSON AVE

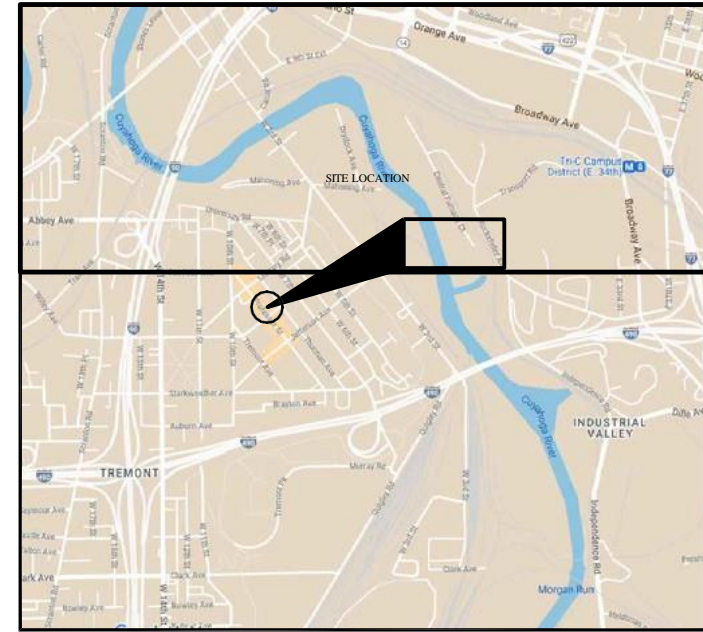
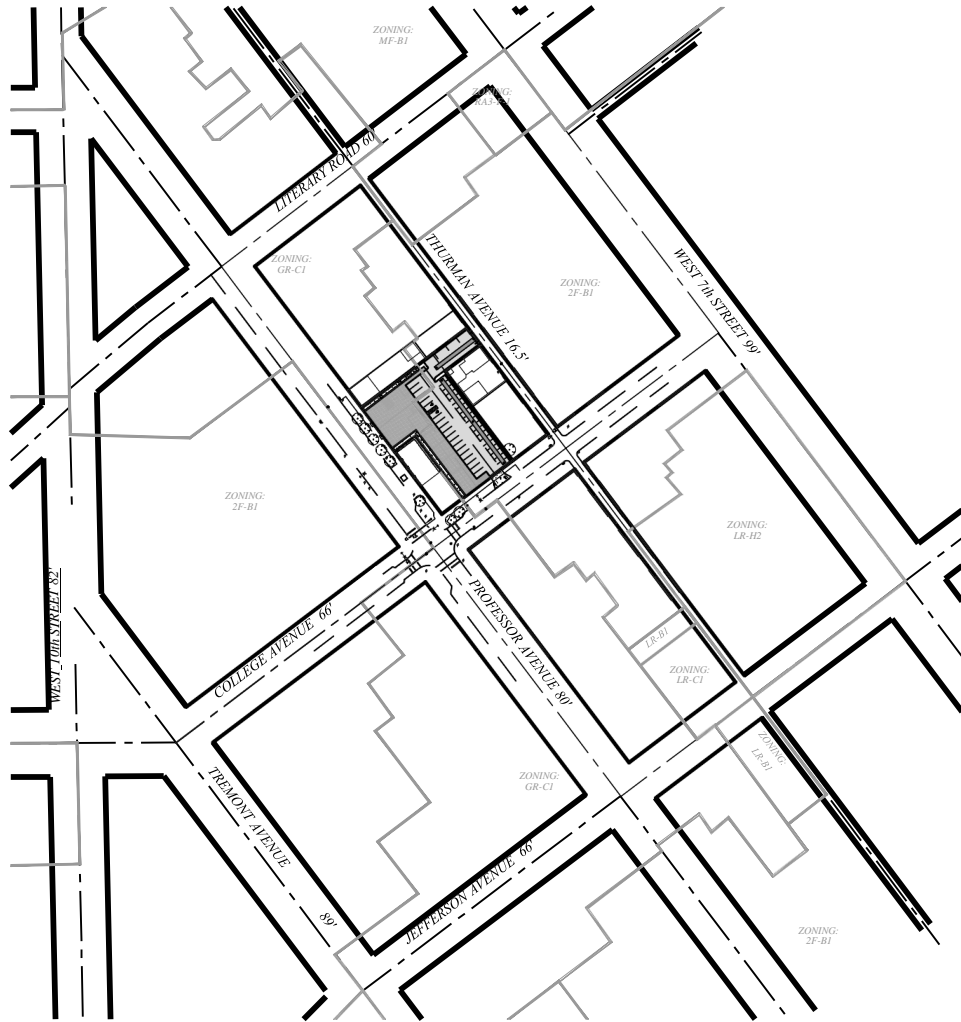
KENILWORTH AVE

TREMONT AVE

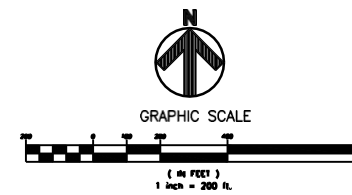


VICINITY MAP





SITE LOCATION MAP  
NO SCALE



Site Context Plan  
Treehouse Apartments  
Professor St & College Ave, Cleveland, OH





**Site Context Photos**

*Treehouse Apartments Professor St  
& College Ave, Cleveland, OH*



**Site & Ground Floor Plan**

Treehouse Apartments

Professor St & College Ave, Cleveland, OH

## Project Data

### Overall Building Areas

Ground Floor	15,686 gsf
2nd - 3rd Floors	15,383 gsf
4th Floor	13,410 gsf
<b>Total</b>	<b>59,862 gsf</b>

### Project Information

**Unit Count** 43 units

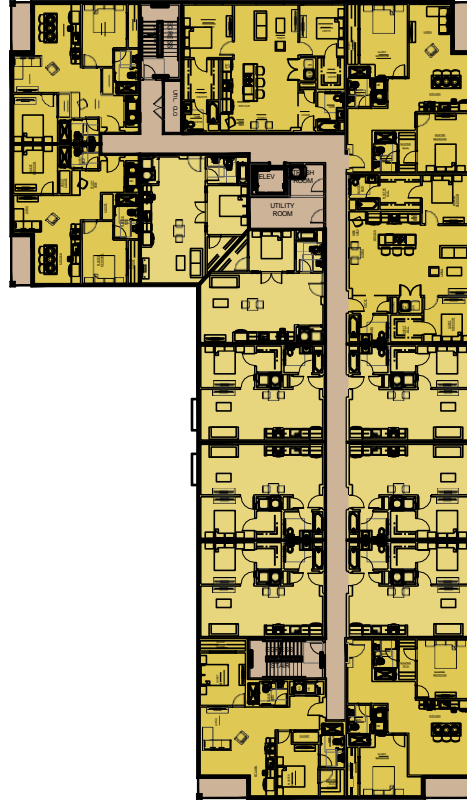
#### Areas

Lobby & Amenity	2,451 sf
Social Lounge	1,502 sf
Retail & Restaurant	5,470 sf
Circulation & Utility	3,120 sf

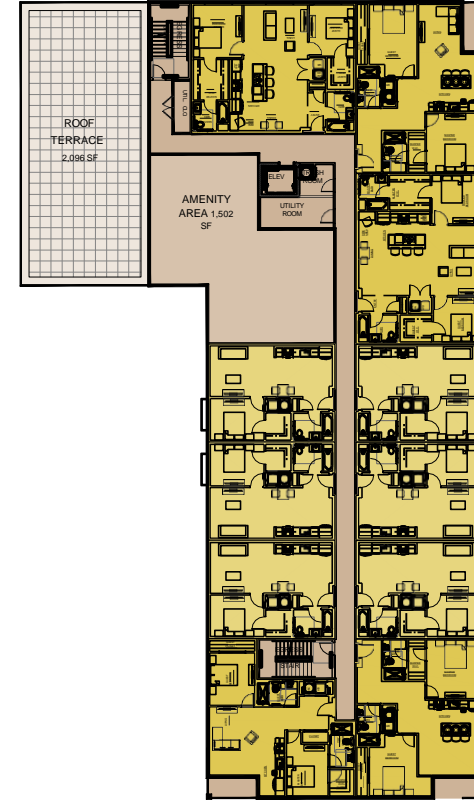
Residential RSF	39,648 rsf
1st - 4th Floors	39,648 rsf
Retail & Restaurant RSF	5,470 rsf
1st Floor	5,470 rsf
<b>Total RSF</b>	<b>45,118 rsf</b>

#### Unit Mix

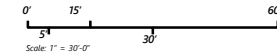
<b>Apartment</b>		
One Bedrooms	23	53%
Two Bedrooms	20	47%



Second - Third Floor Plan



Fourth Floor Plan



### Second - Fourth Floor Plans







*Rendering*  
*Treehouse Apartments*  
*Professor St & College Ave, Cleveland, OH*



*Rendering*  
*Treehouse Apartments*  
*Professor St & College Ave, Cleveland, OH*





*Rendering*  
*Treehouse Apartments*  
*Professor St & College Ave, Cleveland, OH*



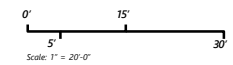
*Rendering*  
*Treehouse Apartments*  
*Professor St & College Ave, Cleveland, OH*



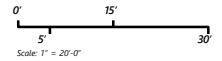
*Rendering*  
*Treehouse Apartments*  
*Professor St & College Ave, Cleveland, OH*



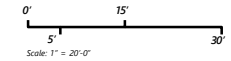
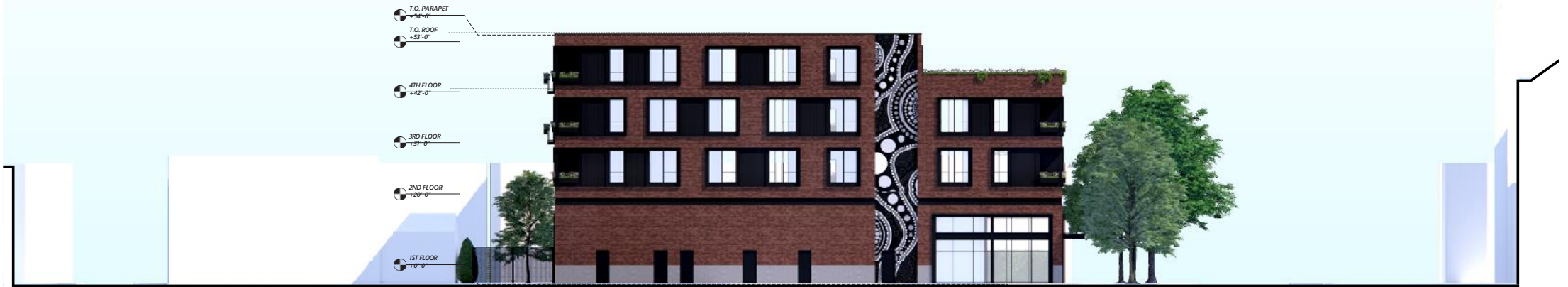
*Rendering*  
*Treehouse Apartments*  
*Professor St & College Ave, Cleveland, OH*



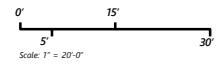
**East Elevation**  
Treehouse Apartments  
Professor St & College Ave, Cleveland, OH



*North Elevation*  
*Treehouse Apartments*  
*Professor St & College Ave, Cleveland, OH*

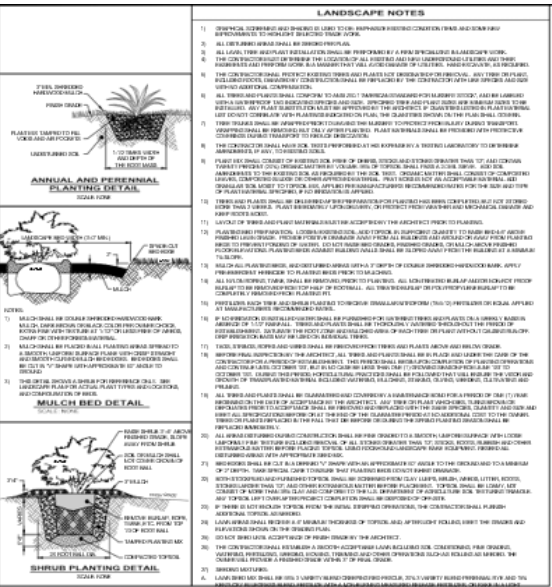
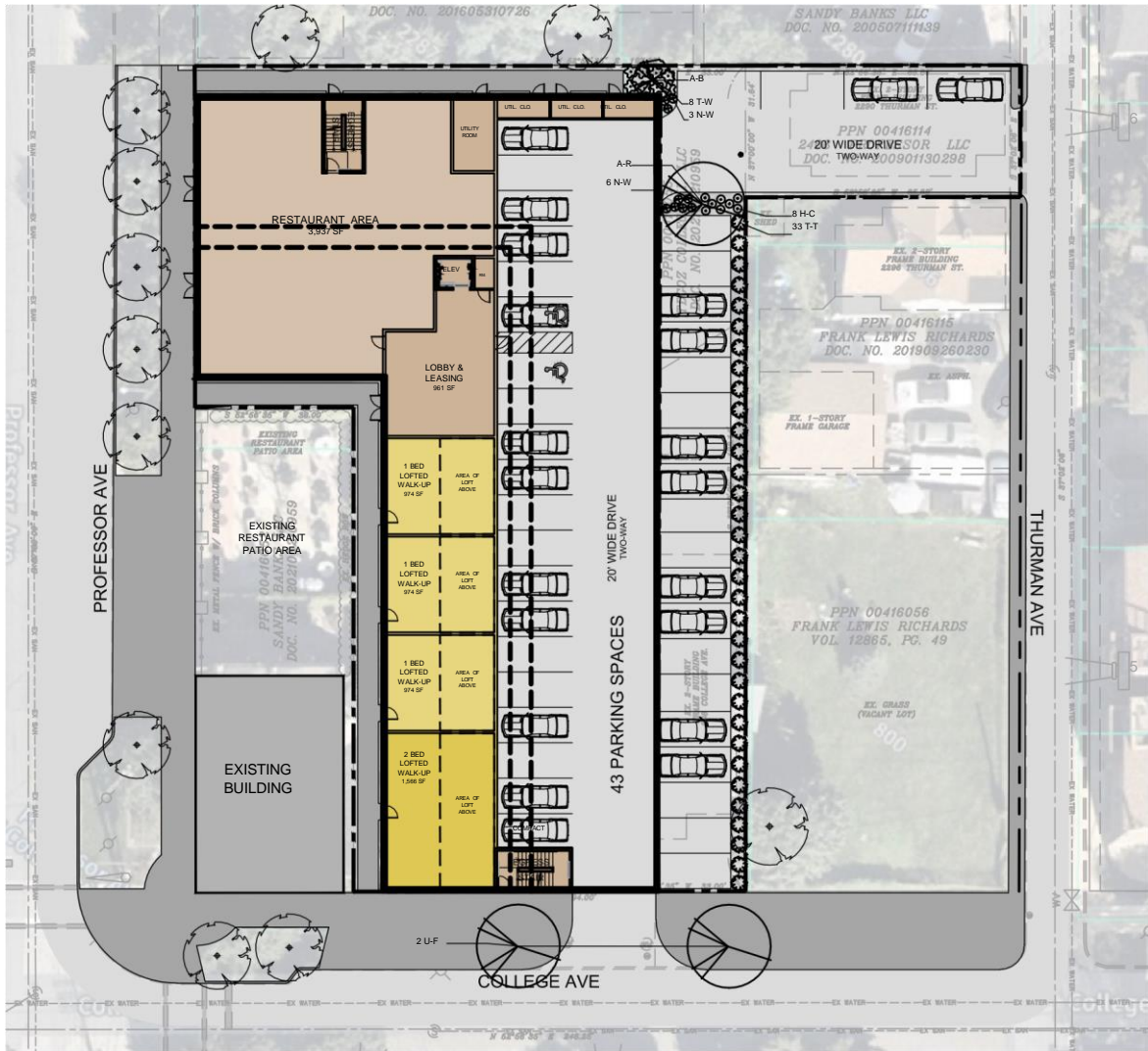


**West Elevation**  
*Treehouse Apartments*  
 Professor St & College Ave, Cleveland, OH



**South Elevation**  
Treehouse Apartments  
Professor St & College Ave, Cleveland, OH





PLANT MATERIAL LIST				
QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
1	AMELACHER G. 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICE BERRY	1-1/2' CAL.	B&S
1	ACER RUBRUM 'REDPONTE'	REDPONTE MAPLE	2' CAL.	B&S
7	TAXUS X M 'EVERLOW'	EVERLOW YEW	18"	KS CONT.
33	THUNJA O. 'WOODWARD'	WOODWARD GLOBE ASCLEPIADACEAE	24"	KS CONT.
8	HYPERICUM CALYCNUM	AARONSBEARDS ST JOHNSWORT	#1	CONT.
9	NEPETA X F 'WALKERS LOW'	WALKERS LOW CATMINT	#1	CONT.



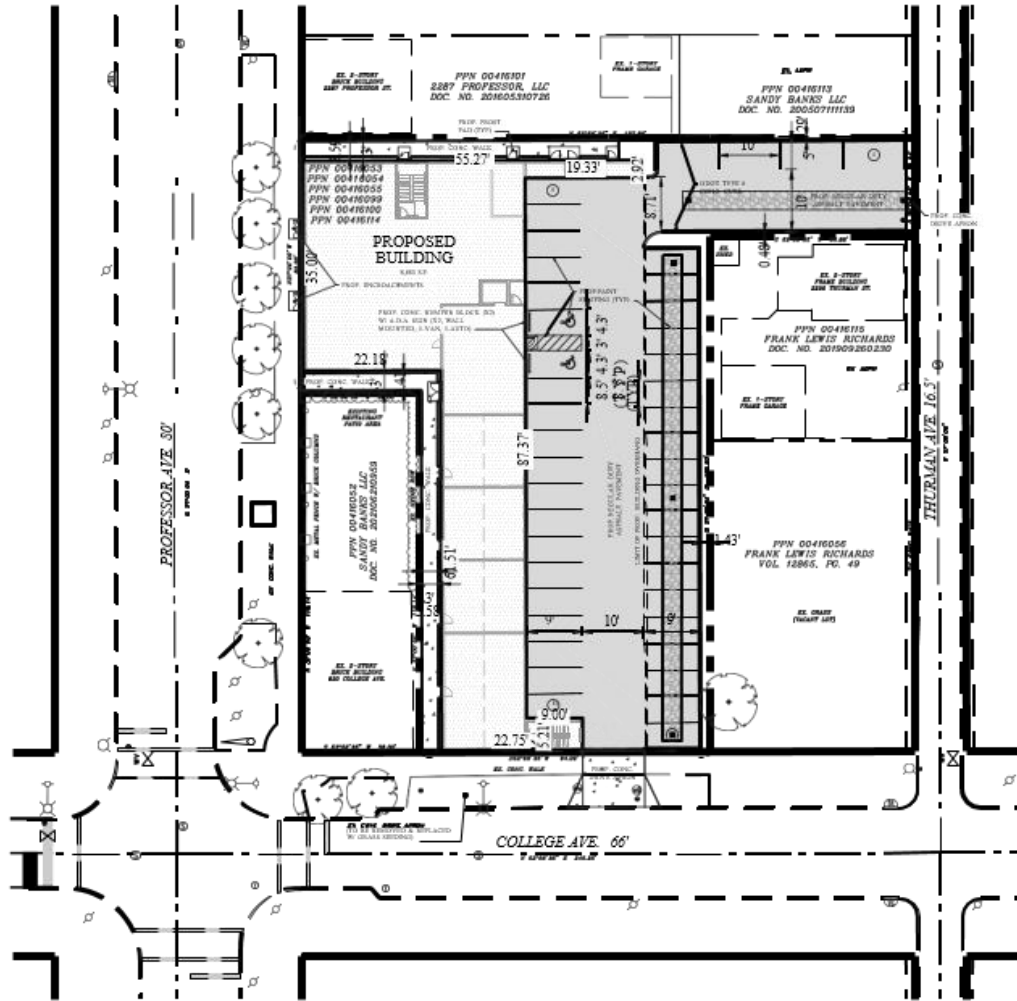
Landscaping Plan  
 Treehouse Apartments  
 Professor St & College Ave, Cleveland, OH



CATEGORY OF ON SITE TREES BY SPECIES	
Siberian Elm - Non-native, invasive and not desirable	
Mulberry - Native, vigorous, aggressive growing root system, not desirable	
Black Walnut - Native, messy, desirable in a suitable location, but not along buildings, roads, or walks	
Red Maple - Native, desirable if trunk structure is appropriate	Norway Maple - Non-native, invasive, not desirable
Eastern Hemlock - Native, medium size, desirable	
PROPOSED TREES	
SHADE TREES SHOWN ..... 2" CALIPER ORNAMENTAL TREES SHOWN ..... 1-1/2" CALIPER	
EXISTING TREE KEY	
S	Siberian Elm
B	Black Walnut
M	Mulberry
R	Red Maple
T	Trident Maple (City Owned)
H	Hemlock
N	Norway Maple
P	Pear (City owned)
(B) (P) (S) (T)	Off site trees to remain
LEGEND	
	EXISTING TREE TO BE REMAIN AND PROTECT
	EXISTING TREE TO BE REMOVED
NOTES	
REFER TO ARBORIST REPORT DATED 12-13-23	
TREE SURVEY AND EVALUATION CONDUCTED BY PROJECT CONSULTANT ARBORIST.	
John Palmer ISA Board Certified Master Arborist (#OH 6319B) ISA Tree Risk Assessment Qualified (TRAQ) Consultant. Lecturer, Author, Trainer. Past Marketing Chair, Ohio Chapter of ISA Ph: 440.227.8158	



*Tree Preservation Plan*  
Treehouse Apartments  
Professor St & College Ave, Cleveland, OH





**SITE DATA**

USE DISTRICT	= GR-C1 (GENERAL RETAIL) 2F-B1 (TWO FAMILY)
SITE AREA	= (0.55 AC.)
PROP. BUILDING AREA	= 8,683 S.F. (FOOTPRINT) NUMBER
<b>OF PARKING SPACES:</b>	
REGULAR PARKING SPACES	= 41
HANDICAP PARKING SPACES	= 2 TOTAL
PARKING SPACES	= 43


**FLOOD ZONE**

FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP  
 NUMBER 1963C 081 F COMMUNITY PANEL NUMBER  
 3905 081 F  
 EFFECTIVE DATE AUGUST 15, 2019

**LEGEND**

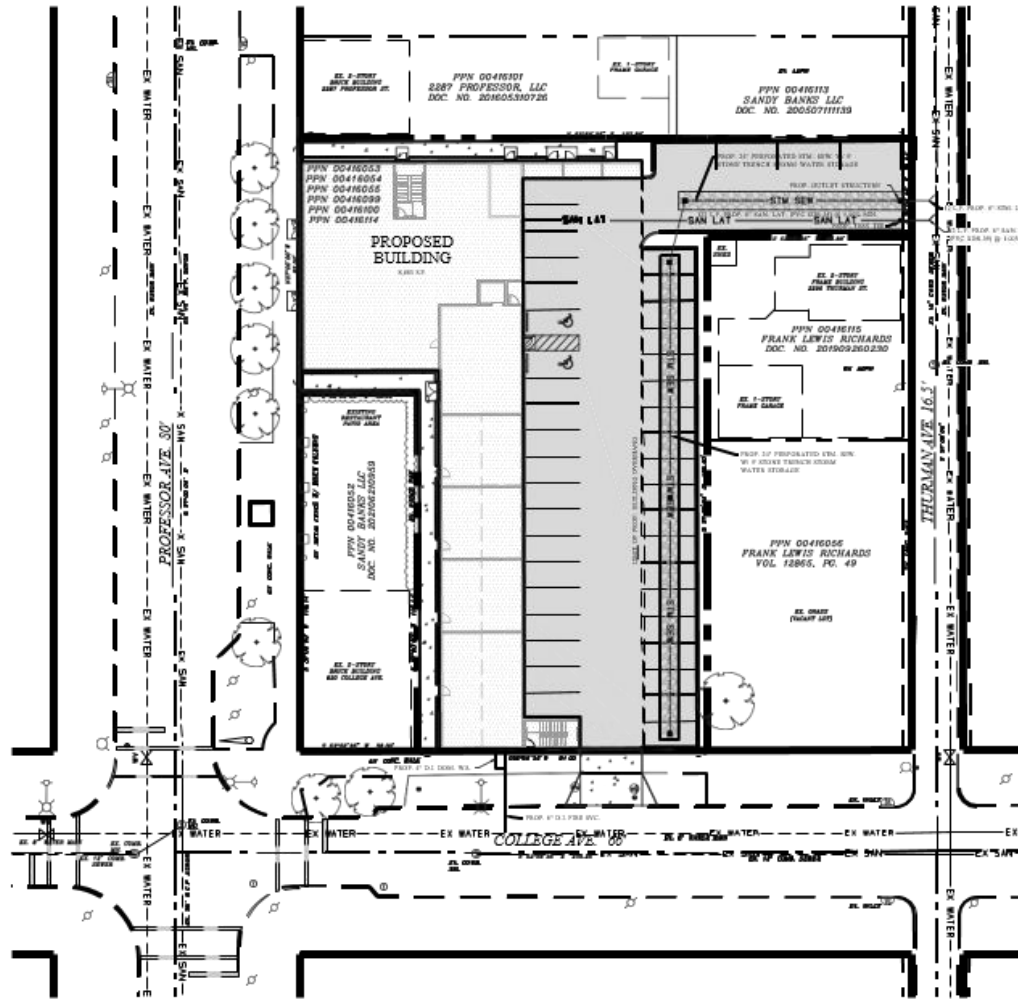
-  REGULAR DUTY ASPHALT
-  CONCRETE PAVING

*ITALICS TEXT REPRESENTS EXISTING CONDITION*  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

  
**GRAPHIC SCALE**  
 ( IN FEET )  
 1 Inch = 40 Ft.

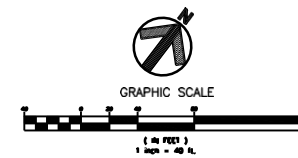


*Civil Site Plan*  
 Treehouse Apartments  
 Professor St & College Ave, Cleveland, OH



**LEGEND**

ITALICS TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



**Stormwater Management Plan**  
 Treehouse Apartments  
 Professor St & College Ave, Cleveland, OH

*FULL SIZED DRAWINGS ATTACHED ON THE FOLLOWING PAGES*





GIS COMPANIES  
10020 Aurora-Hudson Rd  
Shenandoah, Ohio 44241  
PH: (330) 528-5300  
FX: (330) 528-0008  
WWW.GISCOMPANIES.COM

**DATES AND REVISIONS**

09-19-22	CONCEPT LAYOUT
12-07-2022	REVISED LAYOUT
12-16-2022	REVISED LAYOUT
02-22-2023	REVISED LAYOUT
08-18-2023	REVISED LAYOUT
01-24-2024	REVISED LAYOUT

**NOTICE**

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**SITE CONCEPT**  
COLLEGE AVE & PROFESSOR AVE  
CLEVELAND, OH

Drawn By  
Checked By  
Project Number

SITE PLAN  
DRAWING NO:  
**SP-1**

**PROJECT DATA**

<b>APARTMENT BLDG.</b>	
STORIES	4
UNITS	43
1 BEDROOM	23
2 BEDROOM	20
<b>AREAS</b>	
TOTAL AREA	59,862 GSF
1ST FLOOR	18,686 GSF
2ND - 3RD FLOOR	15,383 GSF
4TH FLOOR	13,410 GSF
RENTABLE AREA	45,118 RSF
RESIDENTIAL	39,648 RSF
RESTAURANT	5,470 RSF

PROPERTY AREA: 0.55 ACRES 24,174 SF



CONCEPTUAL SITE PLAN  
SCALE: 1/16" = 1'-0"





**GEIS COMPANIES**  
 10020 Aurora-Hudson Rd  
 Steelesboro, Ohio 44241  
 PH: (330) 528-5300  
 FX: (330) 528-0008  
 WWW.GEISCOMP.COM

**DATES AND REVISIONS**

09-19-22	CONCEPT LAYOUT
12-07-2022	REVISED LAYOUT
12-16-2022	REVISED LAYOUT
02-22-2023	REVISED LAYOUT
08-18-2023	REVISED LAYOUT
	REVISED LAYOUT

**NOTICE**

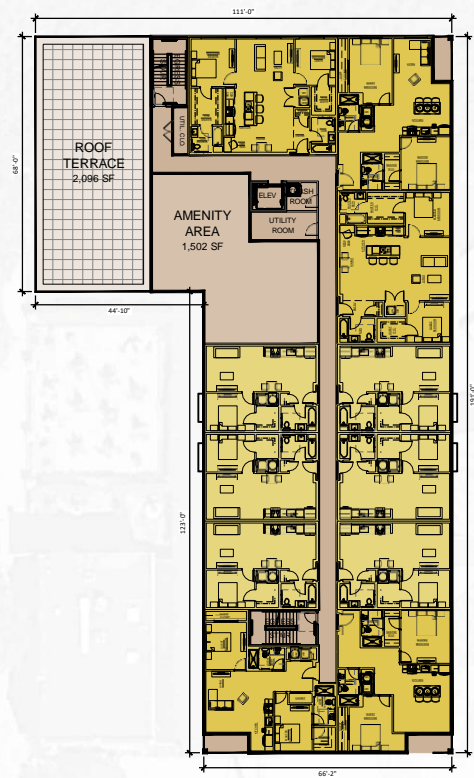
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**SITE CONCEPT**  
 COLLEGE AVE & PROFESSOR AVE  
 CLEVELAND, OH

Drawn By  
 Checked By  
 Project Number

SITE PLAN  
 DRAWING NO:

**SP-1**



**CONCEPTUAL 4TH FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



**PROJECT DATA**

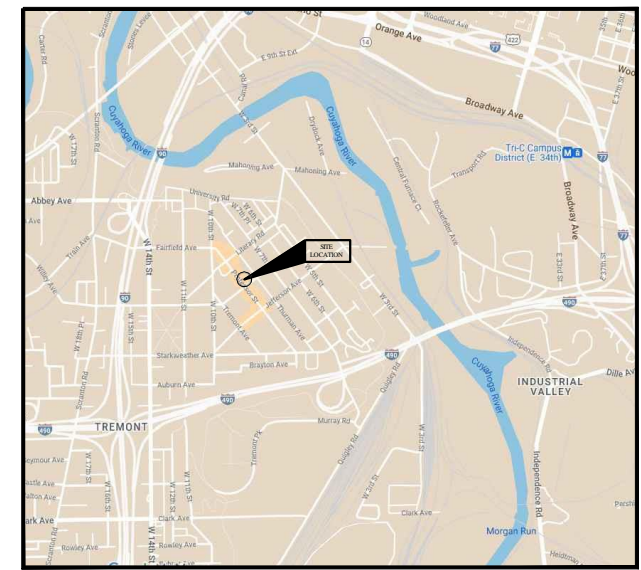
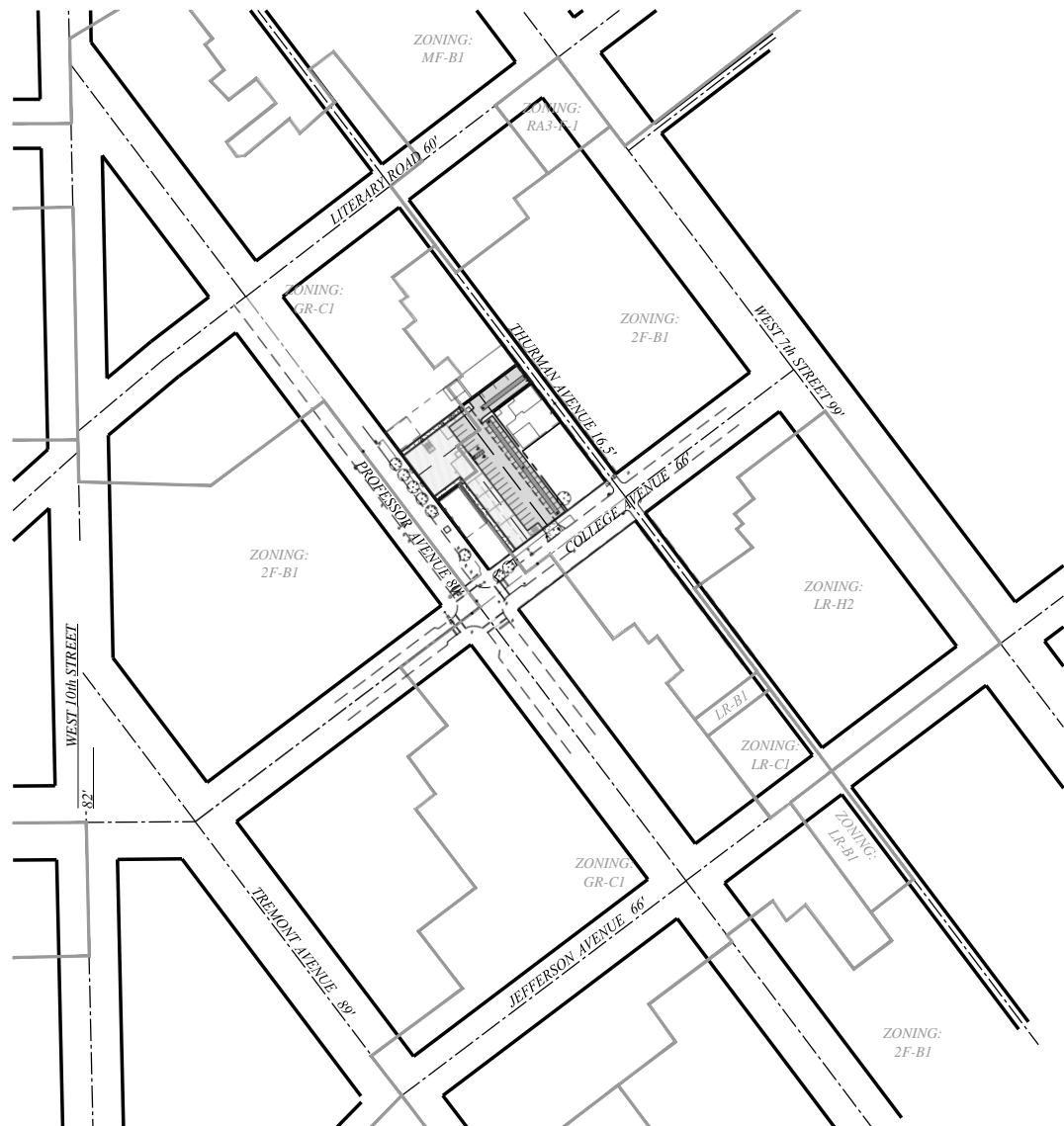
<b>APARTMENT BLDG.</b>	
<b>STORIES</b>	4
<b>UNITS</b>	43
1 BEDROOM	23
2 BEDROOM	20
<b>AREAS</b>	
<b>TOTAL AREA</b>	59,862 GSF
1ST FLOOR	15,686 GSF
2ND - 3RD FLOOR	15,383 GSF
4TH FLOOR	13,410 GSF
<b>RENTABLE AREA</b>	45,118 RSF
RESIDENTIAL	39,648 RSF
RESTAURANT	5,470 RSF



**CONCEPTUAL 2ND - 3RD FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



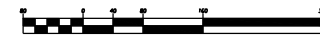
10/18/2023 10:58 AM: \\s:\projects\2022\2022-395\_Tremont\Drawings\SC1.dwg (12/21/2023 11:57:58 AM)



SITE LOCATION MAP  
NO SCALE



GRAPHIC SCALE



1 inch = 80 ft.

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[www.WeberEngineeringServices.com](http://www.WeberEngineeringServices.com)  
 330.329.2057  
[mat@webersvil.com](mailto:mat@webersvil.com)

STATE OF OHIO  
 MATTHEW WEBER  
 6759  
 PROFESSIONAL ENGINEER  
 Reg. No.: 61709

CLIENT:  
  
 10020 AURORA-HUDSON RD.  
 STREETSBORO, OHIO  
 JEN DIASIO  
[jend@geisco.net](mailto:jend@geisco.net) PHONE: (216) 218-3507

TREMONT TREEHOUSE  
 NEW CONSTRUCTION  
 COLLEGE AVE. & PROFESSOR AVE CLEVELAND, OH

Issue Date  
 12-01-2023  
 12-04-2023

SITE  
CONTEXT  
PLAN

SC1  
Project No. 2022-395

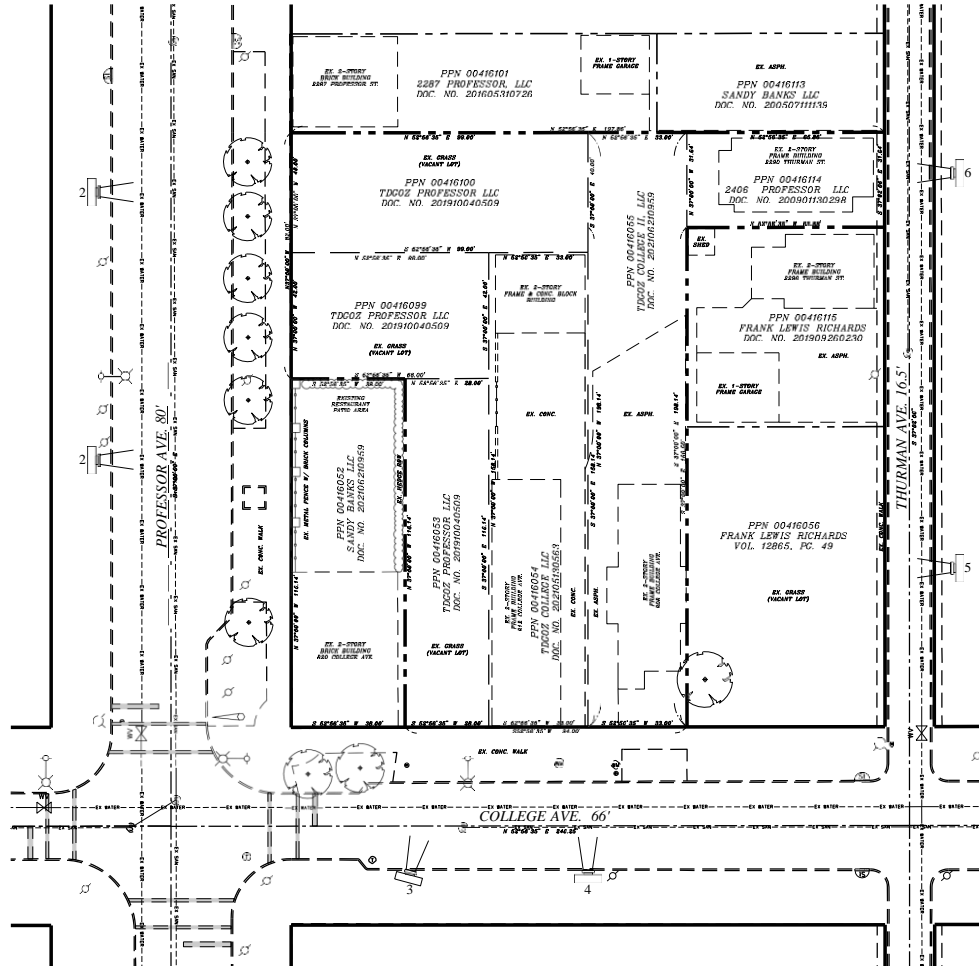




STREET SIDE PHOTO 1



STREET SIDE PHOTO 2



STREET SIDE PHOTO 6



STREET SIDE PHOTO 5



STREET SIDE PHOTO 3



STREET SIDE PHOTO 4

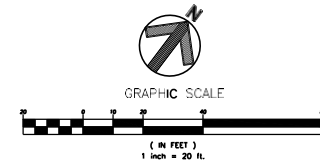
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[www.WeberEngineeringServices.com](http://www.WeberEngineeringServices.com)  
 330.329.2057  
[mat@webercivil.com](mailto:mat@webercivil.com)

STATE OF OHIO  
 MATTHEW WEBER  
 4770  
 PROFESSIONAL ENGINEER  
 Reg. No.: 61709

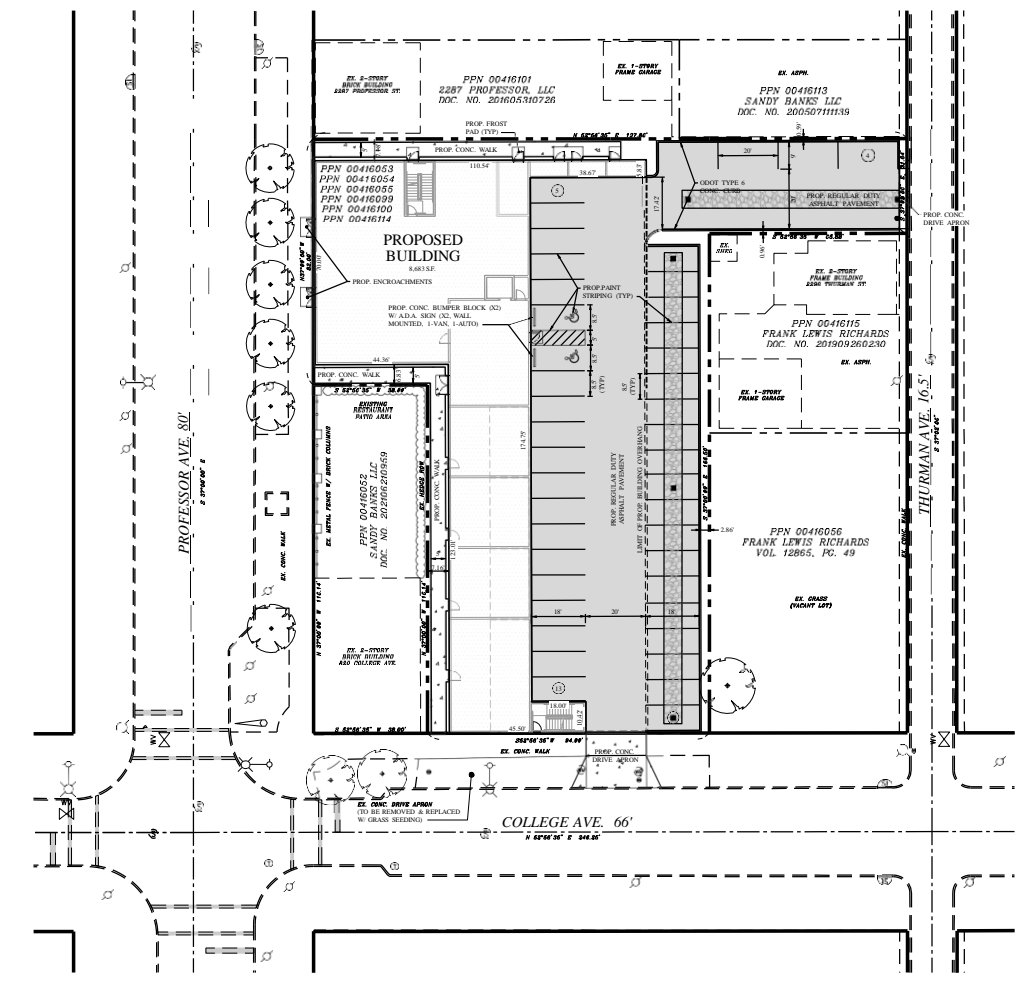
CLIENT:  
**GEIS**  
 10020 AURORA-HUDSON RD.  
 STREETSBORO, OHIO  
 JEN DASIO  
[jend@geisco.net](mailto:jend@geisco.net) PHONE:  
 (216) 218-3507

Issue Date  
 12-01-2023  
 12-04-2023  
 TREMONT TREEHOUSE  
 NEW CONSTRUCTION  
 COLLEGE AVE. & PROFESSOR AVE CLEVELAND, OH

EXISTING CONDITIONS  
**SC2**  
 Project No. 2022-395



10/18/2023 10:58 AM C:\Users\matt\OneDrive\Documents\2022-395\_Tremont\_Treehouse\SC2\SC2.dwg (12/4/2023 11:57:34 AM)



**SITE DATA**

USE DISTRICT	= GR-C1 (GENERAL RETAIL) 2F-B1 (TWO FAMILY)
SITE AREA	= (0.55 AC.)
PROP. BUILDING AREA	= 8,683 S.F. (FOOTPRINT)
<b>NUMBER OF PARKING SPACES:</b>	
REGULAR PARKING SPACES	= 41
HANDICAP PARKING SPACES	= 2
TOTAL PARKING SPACES	= 43

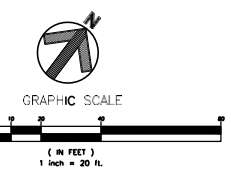
**FLOOD ZONE**

FLOOD ZONE "X" PER FLOOD INSURANCE  
 RATE MAP NUMBER: 19050CH11 F  
 COMMENT: PANEL NUMBER: 19050181 F  
 EFFECTIVE DATE: AUGUST 15, 2019

**LEGEND**

	REGULAR DUTY ASPHALT
	CONCRETE PAVING

THICK LINE REPRESENTS EXISTING CONDITIONS  
 NON-FALLS TEXT REPRESENTS PROPOSED CONDITION



2555 Hartsville Rd., Suite B  
 Rootstown, OH 44772  
 www.WeberEngineeringServices.com  
 330.329.2037  
 matt@webercsll.com

STATE OF OHIO  
 MATTHEW WEBER  
 6778  
 PROFESSIONAL ENGINEER  
 Reg. No.: 61709

**CLIENT:**

10220 AURORA-HUDSON RD.  
 STREETSBORO, OHIO  
 JEN DIASIO  
 jend@geisco.net PHONE:  
 (216) 218-3507

**Issue Date**

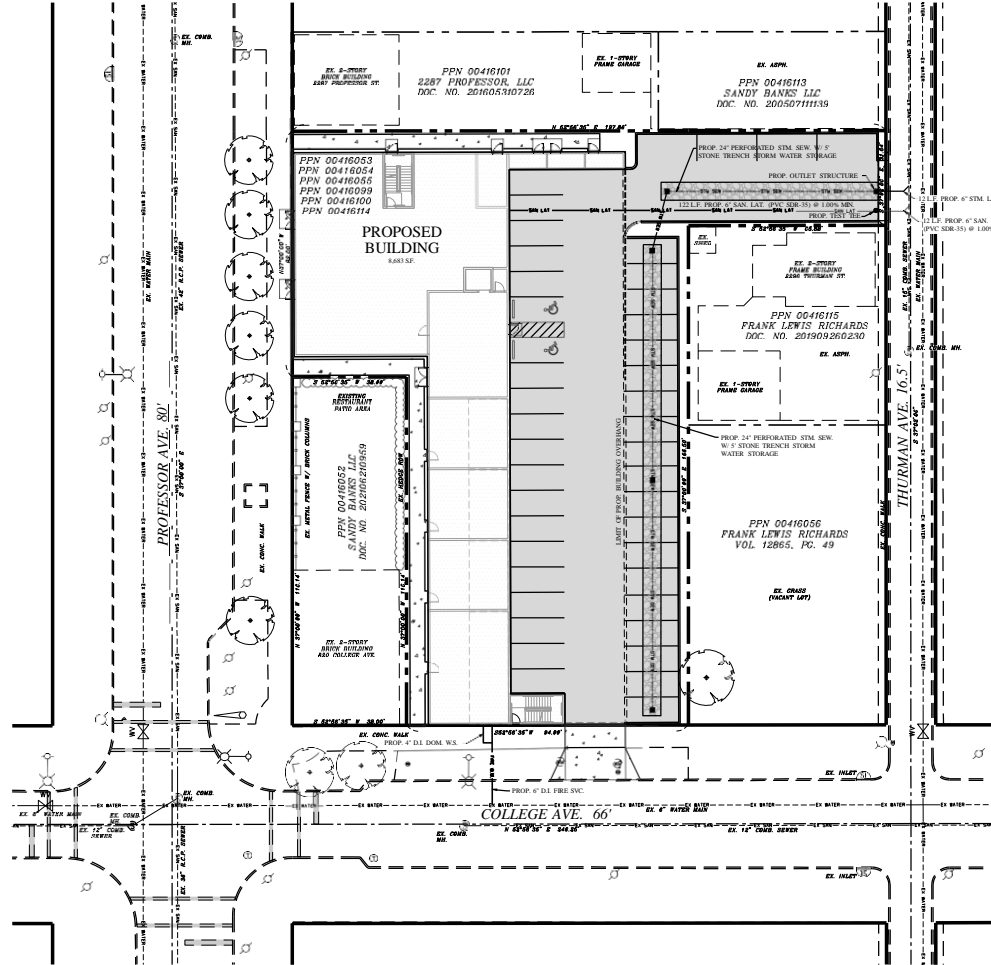
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 12-04-2023

**TREMONT TREEHOUSE  
 NEW CONSTRUCTION**  
 COLLEGE AVE. & PROFESSOR AVE CLEVELAND, OH

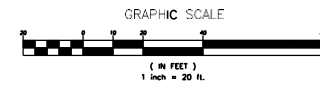
**SITE PLAN**

**SC3**  
 Project No. 2022-395

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 12/04/2023 10:58 AM: C:\Users\matt\OneDrive\Documents\2022-395\_Tremont\_Treehouse\SC3\2022-395\_SitePlan.dwg, User: matt, 12/04/2023 10:58 AM



LEGEND  
 (Dashed lines with arrows) EXISTING UTILITIES  
 (Dashed lines) NON-TALKS TEXT REPRESENTS PROPOSED CONDITION



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STATE OF OHIO  
 PROFESSIONAL ENGINEER  
 MATTHEW WEBER  
 6775  
 REGISTRATION NO. 61709

CLIENT:  
  
 10020 AURORA-HUDSON RD.  
 STREETSBORO, OHIO  
 JEN DNASIO  
[jend@geisco.net](mailto:jend@geisco.net) PHONE:  
 (216) 218-3507

Issue Date	12-01-2023
	12-04-2023

TREMONT TREEHOUSE  
 NEW CONSTRUCTION  
 COLLEGE AVE. & PROFESSOR AVE - CLEVELAND, OH

GENERAL UTILITY  
 & STORM WATER  
 PLAN

**SC4**  
 Project No. 2022-395



D:\9105 Projects\Working\2022-395 Tremont Treehouse\GIS\2022-395 Rootstn - 12-04-2023\2022-395 Rootstn - 12-04-2023\11-15-24.dwg  
 11/15/24 AM

December 12, 2023

Matthew Weber, P.E.  
Weber Engineering Services  
2555 Hartville Road, Suite B  
Rootstown, OH 44272

**Re: Tremont Treehouse - Cleveland, Ohio  
Title IV Review Applicability Determination**

Dear Ms. Weber,

The Title IV Combined Sewer Code of the Northeast Ohio Regional Sewer District's (NEORS) Code of Regulations provides the NEORS with the authority to control combined sewer overflows (CSOs) from the combined sewer system and to control peak flows from local combined sewer systems at the point of connection into sewers owned by the NEORS or a member community. Therefore, the NEORS has the authority to review all requests for connection approval within the combined sewer system.

Based on preliminary information, the referenced project:

- Will be subject to review by the NEORS under Title IV - Combined Sewer Code. The proposed stormwater management design for the site must meet the current NEORS Title IV Combined Sewer Code requirements, detailed in the attached guidance document, *Submittal Requirements for Connections to the Combined Sewer System - Guidelines for Review and Approval*.
- Will not be subject to review by the NEORS under Title IV - Combined Sewer Code.

If you have any questions, please feel free to contact me at ext. 6881.

Kind Regards,



Jeffrey Jowett,  
Community Discharge Permit Program Manager

cc:  
Elie Ramy, Cleveland WPC  
Adam Davenport, Cleveland City Planning Commission



**CATEGORY OF ON SITE TREES BY SPECIES**

Siberian Elm - Non-native, invasive and not desirable  
 Mulberry - Native, vigorous, aggressive growing root system, not desirable  
 Black Walnut - Native, messy, desirable in a suitable location, but not along buildings, roads, or walks  
 Red Maple - Native, desirable if trunk structure is appropriate  
 Norway Maple - Non-native, invasive, not desirable  
 Eastern Hemlock - Native, medium size, desirable

**PROPOSED TREES**

SHADE TREES SHOWN ..... 2" CALIPER  
 ORNAMENTAL TREES SHOWN ..... 1-1/2" CALIPER

**EXISTING TREE KEY**

S	Siberian Elm
B	Black Walnut
M	Mulberry
R	Red Maple
T	Trident Maple (City Owned)
H	Hemlock
N	Norway Maple
P	Pear (City owned)
(B) (P) (S) (T)	Off site trees to remain

**LEGEND**



EXISTING TREE TO BE  
REMAIN AND PROTECT



EXISTING TREE  
TO BE REMOVED

**NOTES**

REFER TO ARBORIST REPORT DATED 12-13-23

TREE SURVEY AND EVALUATION  
CONDUCTED BY PROJECT CONSULTANT  
ARBORIST

John Palmer  
 ISA Board Certified Master Arborist (#OH 6319B)  
 ISA Tree Risk Assessment Qualified (TRAQ)  
 Consultant, Lecturer, Author, Trainer.  
 Past Marketing Chair, Ohio Chapter of ISA  
 Ph: 440.227.8158

(P)

(P)

(P)

(P)

(T)

(P)

(P) (P)

(S)

(B)

B X M

H X X

R

(N)

EX. 2-STORY  
FRAME BUILDING  
2296 THURMAN ST.

PPN 00416114  
2406 PROFESSOR LLC  
DOC. NO. 200901130298

EX. 2-STORY  
FRAME BUILDING  
2296 THURMAN ST.

PPN 00416115  
FRANK LEWIS RICHARDS  
DOC. NO. 201909260230

EX. 1-STORY  
FRAME GARAGE

PPN 00416056  
FRANK LEWIS RICHARDS  
VOL. 12865, PG. 49

EX. GRASS  
(VACANT LOT)

EXISTING  
RESTAURANT  
PATIO-AREA

PPN 00416052  
SANDY BANKS LLC  
DOC. NO. 202106210959

EX. 4-STORY  
BRICK BUILDING  
830 COLLEGE AVE.



Drawn By: RW  
 Checked By: RW  
 Project Number: 232560

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 HEREBY EXPRESSLY RESERVED.  
 REVISIONS REFLECTED IN THESE  
 DRAWINGS INDICATE CHANGES TO  
 CONTRACT PRICE. PREVIOUSLY  
 PROVIDED OWNER CONSENT WILL BE  
 REQUIRED FOR ALL OTHER CHANGES.  
 CHANGES ARE NOT IN THE BASE BID

**DATES AND REVISIONS**

12-15-2023	SUBMITTAL



**GEIS COMPANIES**  
 10020 Aurora-Hudson Rd  
 Streetsboro, Ohio 44241  
 Ph: (330) 528-5500  
 FX: (330) 528-0008  
[www.geisco.net](http://www.geisco.net)

**RESIDENTIAL BUILDING**  
 COLLEGE AVE & PROFESSOR AVE  
 CLEVELAND, OH

TREE PRESERVATION PLAN

TP-1



John Palmer  
ISA Board Certified Master  
Arborist® ISA Tree Risk  
Assessment Qualified #OH-6319B  
Cleveland, OH USA

December 13,  
2023

Richard Washington CT  
Consultants, Inc. 8150  
Sterling Court  
Mentor, OH 44060

Richard,

Here is my inventory and assessment of the trees at the Treehouse project at College Avenue and Professor St.

I visited the site on December 10<sup>th</sup> 2023. I walked as much of the site as was safely available to me to inventory the necessary trees. For trees I was unable to get close enough to, I estimated their size and species. There were homes and businesses near the trees and I didn't want to be seen as a trespasser. If a more detailed examination of them is necessary, I'm happy to go back with the proper permissions and assess them. With the leaves being off most of the trees, those I viewed from a distance made it harder to determine what the exact species was.

Since this is the dormant season, tree ID can be difficult with only buds, bud scars, and trunk texture to use for identification, plus in most tree species there is a difference between immature and mature bark. Tree ID was made to best of my ability and knowledge.

As with most Cleveland properties, there are a lot of invasive or undesirable tree species on the site. I have also included the trees on City property, if only to address their species and size, and their desirability as a part of the building project in the long term.

Here is how I would categorize the trees on the site (not city owned) by

- species. Siberian Elm – Non-native, invasive and not desirable
- Mulberry – Native, vigorous, aggressive growing root system, not desirable
- Black Walnut – Native, messy, desirable in a suitable location, but not along buildings, roads, or walks
- Red Maple – Native, desirable if trunk structure is appropriate
- Norway Maple – Non-native, invasive, not desirable
- Eastern Hemlock – Native, medium size, desirable

Along Professor and College streets, there are multiple trees on City property, that may have to be considered for the project. I measured 5 Callery Pear trees, and one Trident Maple along the street.

The Trident Maple is likely the only tree with a long-term future on the site. The Callery Pears have had utility pruning that has caused them to sprout profusely under the above ground wires, poor structure, and a history of failure. They are also a non-native, invasive species and the City will likely remove them as they begin to show structural issues.

Most of the trees inventoried were either classified as non-native or "invasive", or an undesirable species, and not listed on the "Species Selection Matrix" published by the City of Cleveland in the Cleveland Tree Plan. (Appendix A, A Guide for Species Selection, 2015)

Trees with "co-dominant" trunks were classified by DBH of each individual trunk (where possible), and listed accordingly. I believe that to be the best way to most consistently categorize them. All trees were evaluated and assessed according to ANSI A300 Arboricultural industry standards and BMP's.

See map below for tree locations.

My inventory of the trees is as follows: (DBH = Diameter At Breast Height)

#### Along Professor and College Street City owned trees

##### **Callery Pear (*Pyrus calleryana*)**

1	-	15" DBH
2	-	17" DBH
1	-	9"/15"/4"DBH
1	-	15" DBH

##### **Trident Maple (*Acer buergerianum*) (possibly Amur Maple)**

1	-	9"DBH
---	---	-------

### Trees on property

#### **Mulberry (Morus)**

1 - 40+” DBH 60’ tall (at least 6 trunks. Not able to get close to measure). Extremely wide canopy.

#### **Eastern Hemlock (Tsuga canadensis)**

1 - 12” DBH 20’ tall. Utility pruned for overhead wires.

#### **Norway Maple (Acer platanoides)**

1 - 18” DBH 30’ tall

Root damage from construction and soil compaction is a possibility.

#### **Red Maple (Acer rubrum)**

1 - 15” DBH 45’ tall. Good condition.

#### **Black Walnut (Juglans nigra)**

1 - 14” DBH 50’ tall. Good condition.

There is 1 tree over the fence (25+” DBH?, roughly 60’ tall), near the building to the north that I could not get access to. It’s hard to ID it. It has at least 4 trunks, which is not a desirable structure, but it’s got a Siberian Elm on one side, and a Black Walnut on the other, so there is some species uncertainty, but after discussion with other Arborists, our thinking is, it is probably a Black Walnut. It also has what appears to be some sort of trunk injury to it, so that is at least a little concerning. It would require access beyond the north fence to be sure. Root damage from construction and soil compaction is a possibility.

There is a second tree on the N side of the fence that is a multi trunk Siberian Elm (Ulmus pumila). I estimate its size to be roughly 30+” DBH, and 50’ tall, with multiple trunks. It is close to the edge of the construction site plan. Root damage from construction and soil compaction is likely.

The rest of the trees are below 4” DBH, and brush.

Additionally, since tree roots grow laterally and not deep, and can grow 2 to 3 times the diameter of the “drip line” of the canopy, any trees remaining near construction work, may have existing roots damaged or cut and as a result, and could then be more prone to failure after losing a portion of their root

system. Research done by Bartlett Research in N. Carolina (Tom Smiley) indicates that “tension” roots, growing in the direction of the prevailing wind, are the most important roots for tree stability. Any trees remaining that have these tension roots cut or damaged may be more likely to experience decline and destabilization.

Any trees remaining that have surrounding soil compacted or destroyed by the construction process, may no longer be able to develop roots into the surrounding soil to help the tree rebound from the construction process. Research shows that soil compacted to greater than 80% Proctor density, will become impenetrable to roots. This “root limiting bulk density” should be determined and measured before considering leaving any trees on or near a construction site.

And, finally, hydrology is important for any remaining trees. Most trees have grown in a specific hydrologic profile for decades. Any change to that profile (how and where that water moves) can be detrimental to existing tree health. Caution should be used around any remaining trees.

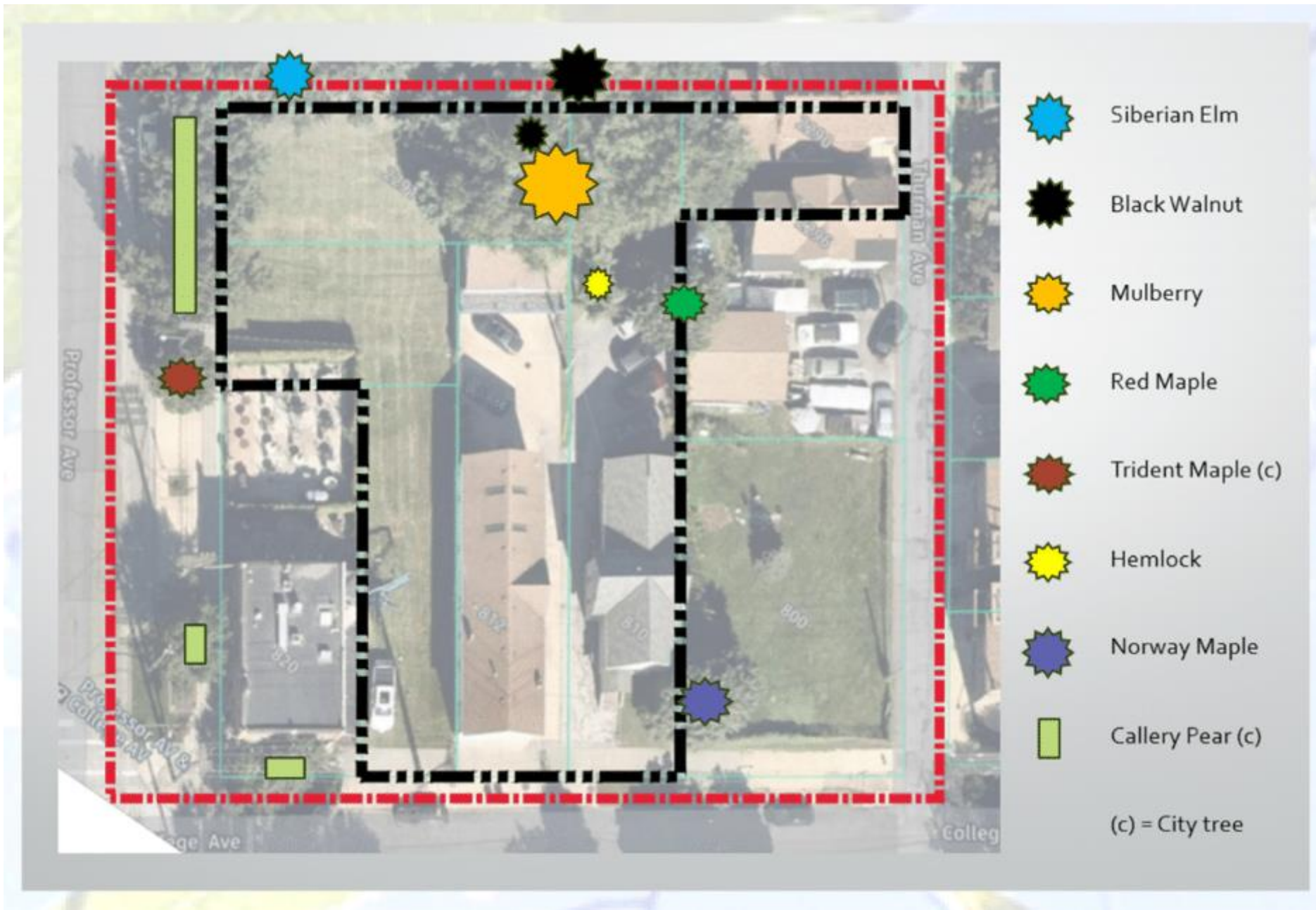
Thank you again for allowing me some small input into this project. If I can be of additional assistance, just let me know.

John



John Palmer  
ISA Board Certified Master Arborist (#OH  
6319B) ISA Tree Risk Assessment Qualified  
(TRAQ) Consultant. Lecturer. Author.  
Trainer.  
Past Marketing Chair, Ohio Chapter of  
ISA Ph: 440.227.8158







## Near West Design Review District

Design Review Advisory Committee

### Meeting Motion and Report Form

**Meeting Location:** Virtual

**Case Number:** NW 2023-031

**Meeting Date:** 02/28/2024

**Project Name:** Tremont Treehouse Apartments

**Project Address:** College and Professor Ave

**Contact Person:** Dan Spirko

**Architect/Contractor:** Brandon Kline; Geis

**General Description:** New apartments

---

**Motion by Design Review Committee:**

#### **Schematic Design Approval**

**Approve:** Contreras, Gallagher, Gardin, Jurca, Rakauskas, Sandoval

**Disapprove:**

**Abstain:**

**Non-Voting Members:** Donna Grigonis; Tremont West CDC, Britany Pabon; Administrator

---

**Motion: Approved as presented:**

Kerry 1st; 2nd Gallagher.

Consider potential expansion of the walkway and/or doors off of professor, Look into loft walk ups presence on the street off of college, Consider outdoor space for the restaurant, consider more exterior facade detailing -- Will need to go to PETBOT for Parking/driveway configuration

Petbot Contact: Robert Knof; Rknopf@Clevelandohio.gov

# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Cleveland City Planning Commission

## East Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

## **EAST2023-037 – East 93rd Street Apartments New Construction: Seeking Final Approval**

**Project Location: East 93rd Street near Cedar Avenue**

**Project Representative: Kevin O'Malia, MPG Architects**

March 1, 2024

**Note: the Planning Commission granted this item Schematic Design  
Approval with Conditions on December 15, 2023.**

**Applicant to explore further the parking, sidewalks, landscaping, and  
site amenities.**

---



City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Cleveland City Hall
601 Lakeside Avenue, Room 501
Cleveland, Ohio 44114
T: 216/664-2210 F: 216/664-3281
www.planning.clevelandohio.gov



phone 330.666.5770

3660 Embassy Parkway
Fairlawn, OH 44333

mpg-architects.com

Planning Commission/Design Review Application

DATE: 2-20-2024

PROJECT NAME: E. 93rd Street Apartments

PROJECT ADDRESS: 2212 E. 93rd Street, Cleveland, Ohio 44106

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review): Kevin O'Malia

COMPANY: MPG Architects, Inc.

PHONE: 330.666.5770

EMAIL: kevin@mpg-architects.com

OWNER: Jonathan Schaefer

ARCHITECT/ CONTRACTOR: Randy Parsons

PROJECT TYPE: [X] New Building [ ] Rehabilitation [ ] Addition [ ] Sign [ ] Fence [ ] Parking

USE TYPE: [X] Residential [ ] Commercial [ ] Industrial [ ] Institutional [ ] Mixed-Use

Review Level: [ ] Storefront [ ] Conceptual [ ] Schematic Design [X] Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project.

[Handwritten signature]

2-20-2024

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

January 24, 2024

Cleveland Planning Commission
601 Lakeside Ave. E.
Cleveland, Ohio 44114

Please find enclosed the Planning Commission - Final Design Development Approval Application and supporting documentation for the proposed Apartments located at 2212 E. 93rd Street, Cleveland, Ohio 44212. It is located at the following parcel numbers, which are being consolidated:

11933022, 11933023, 11933024, 11933045, 11933046, 11933047, 11933105

This project will include demolition of two dilapidated houses that were previously converted into multi-family apartment buildings. Three new multi-family apartment buildings will be constructed on the enlarged site, three stories tall with 12 units each, for a total of 36 units. The gross floor area of all buildings will be 28,161 SF.

At the request of the Planning Commission and Design Review Advisory Committee, we reduced parking from the zoning code minimum of 36 spaces to 19 spaces. Each building will have exterior and interior bicycle storage spaces.

The exterior design of the buildings and site layout is intended to match the adjacent single-family housing, duplexes, and apartment buildings. They will be raised on masonry bases, with vinyl siding, porches, and multi-tiered, shingled gable roofs.

The intended demographic for these apartments is employees of the Cleveland Clinic main campus, which is within walking distance.

As part of our submittal, please find enclosed the following information:

- Application
Project Summary (this document)
Site Location Map
Site Context Plan
Existing Conditions Photos
Architectural Site Plan
Floor Plans
Exterior Elevations
Exterior Perspectives/Renderings
Civil Drawings, which include the Site Furnishing and Amenities, Tree Preservation Plan, Landscape Plan, and Storm Water Management
NEORS D Determination Letter

Should you have any questions or concerns about the project, please feel free to reach out to me.

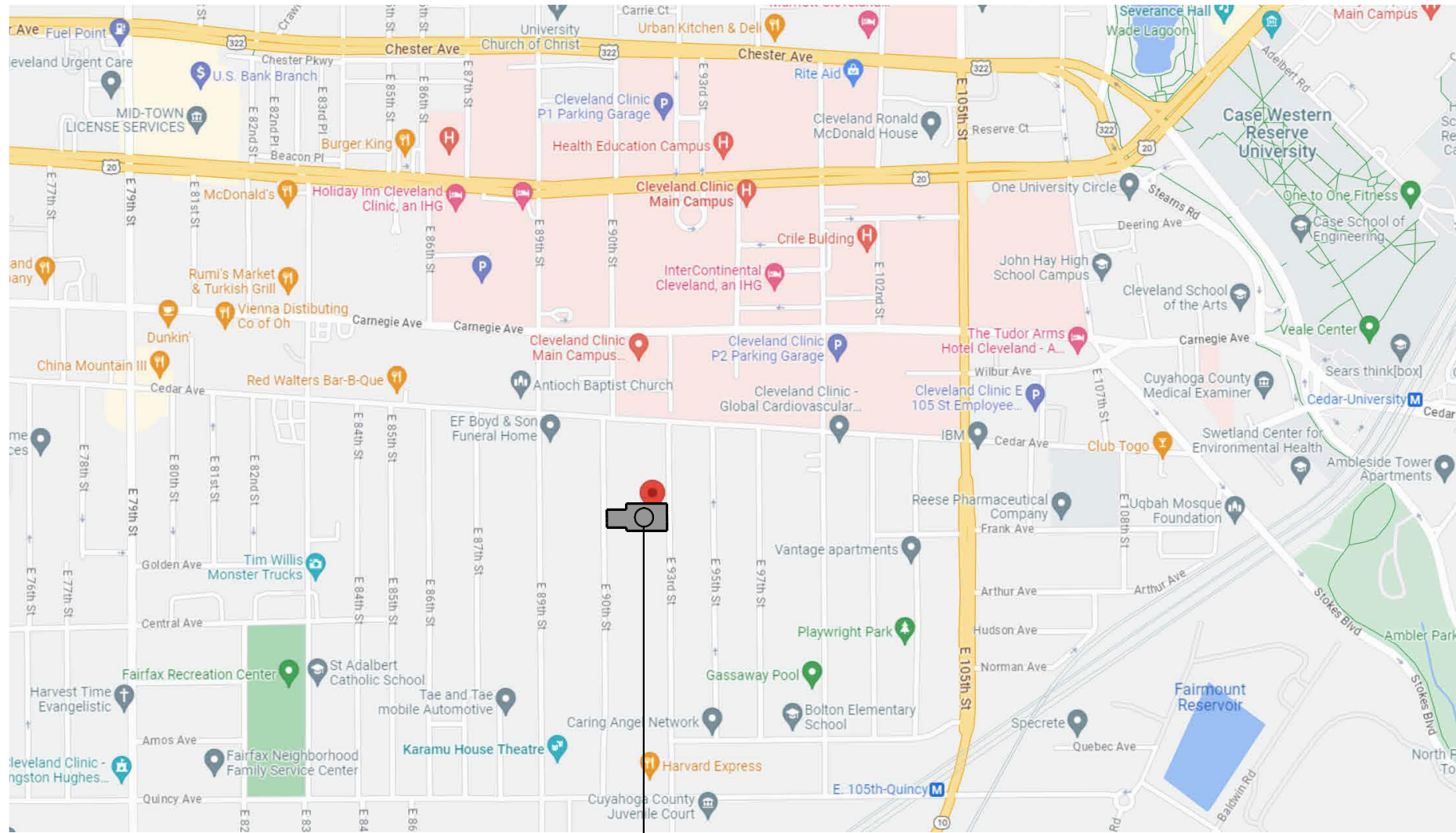
Sincerely,

[Handwritten signature]

Kevin O'Malia, NCARB
Architect

**PRELIMINARY**

NOTE!!!  
THIS DRAWING IS NOT  
FOR CONSTRUCTION



PROJECT LOCATION

REVISIONS

MPG ARCHITECTS  
MANN - PARSONS - GRAY  
phone 330.666.5770  
3650 Embassy Parkway  
Cleveland, OH 44115

SITE LOCATION MAP

PROJECT #:  
5023  
EAST 93rd STREET APARTMENTS  
DATE: FEBRUARY 14, 2024  
CLEVELAND, OHIO 44106

1 SITE LOCATION MAP  
NOT TO SCALE

PSK08

mpg-architects.com



1 SITE CONTEXT PLAN  
NOT TO SCALE

**PRELIMINARY**

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REVISIONS

**MPG** ARCHITECTS  
MANN - PARSONS - GRAY  
phone 330.666.5770  
3660 Embassy Parkway  
Cleveland, OH 44130

mpg-architects.com

SITE CONTEXT PLAN

PROJECT #:  
5023

**EAST 93rd STREET APARTMENTS**

DATE: FEBRUARY 14, 2024

CLEVELAND, OHIO 44106

PSK09





9 HOUSE TO NORTH OF SITE ON E. 90TH  
NOT TO SCALE



8 VACANT NORTH LOT ON E. 90TH  
NOT TO SCALE



7 VACANT SOUTH LOT ON E. 90TH  
NOT TO SCALE



6 HOUSE TO SOUTH OF SITE ON E. 90TH  
NOT TO SCALE



5 HOUSE TO SOUTH OF SITE ON E. 93RD  
NOT TO SCALE



4 VACANT LOT ON E. 93RD  
NOT TO SCALE



3 SOUTH HOUSE ON SITE ON E. 93RD  
NOT TO SCALE



2 NORTH HOUSE ON SITE ON E. 93RD  
NOT TO SCALE



1 HOUSE TO NORTH OF SITE ON E. 93RD  
NOT TO SCALE

**PRELIMINARY**

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phone 330.666.5770

**MPG**

MANN - PARSONS - GRAY  
ARCHITECTS

3680 Embassy Parkway  
Cleveland, OH 44115

mpg-architects.com

EXISTING CONDITIONS

PROJECT #:  
5023

EAST 93rd STREET APARTMENTS

DATE: FEBRUARY 13, 2024

CLEVELAND, OHIO 44106

PSK10



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ARCHITECTS

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EXISTING CONDITIONS

PROJECT #:

5023

EAST 93rd STREET APARTMENTS

DATE:

FEBRUARY 14, 2024

CLEVELAND, OHIO 44106

PSK11



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**MPG**  
MANN - PARSONS - GRAY  
ARCHITECTS

3660 Embassy Parkway  
Cleveland, OH 44135  
mpg-architects.com

EXISTING CONDITIONS

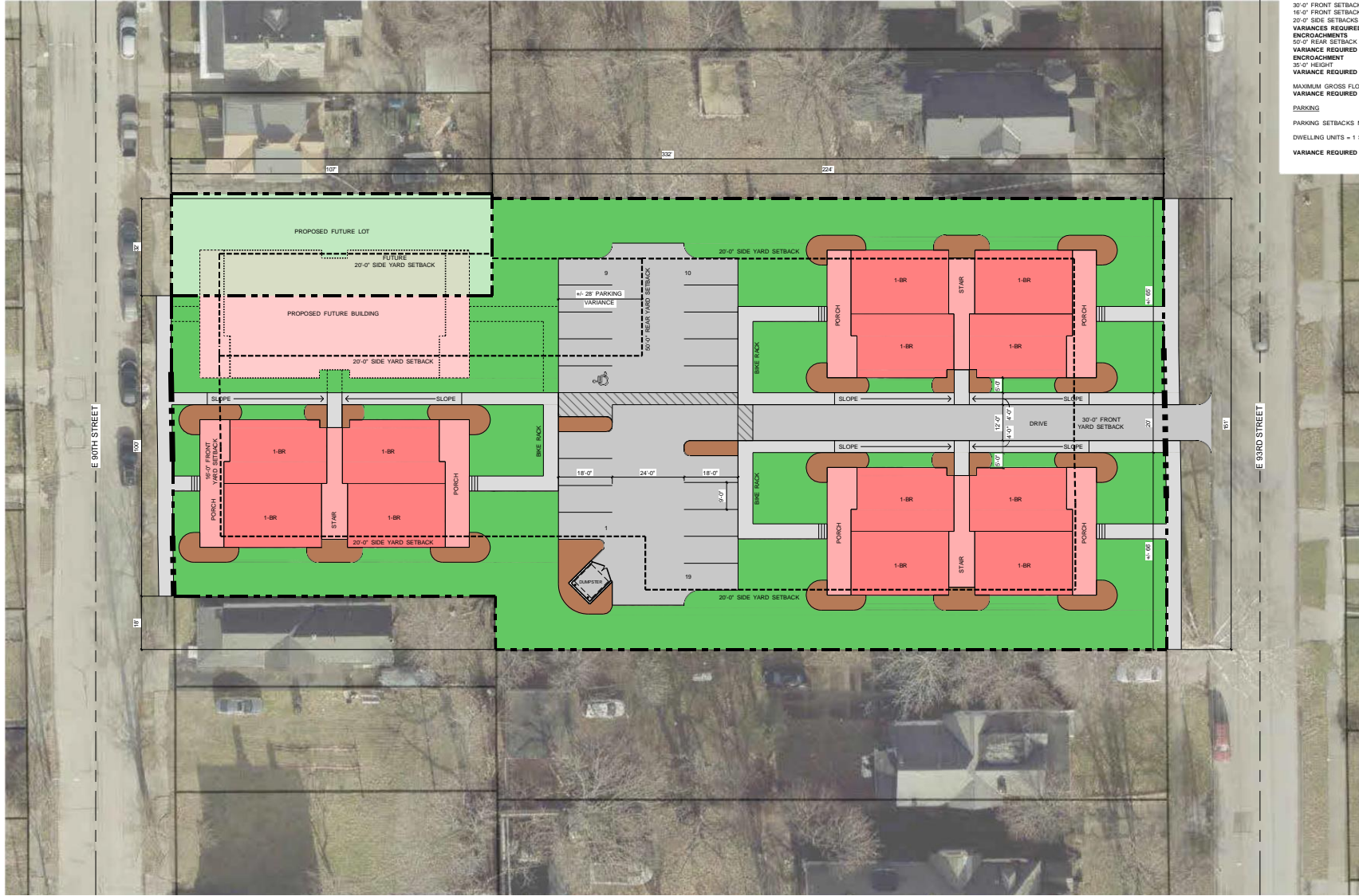
PROJECT #:  
5023

EAST 93rd STREET APARTMENTS

DATE: FEBRUARY 14, 2024

CLEVELAND, OHIO 44106

PSK12



**3-STORY APARTMENT BUILDING**

**BUILDING DATA**  
 28,161 SF  
 3 STORIES ABOVE GRADE, 4'-4"  
 (36) 650 SF 1-BEDROOM APARTMENTS

**ZONING DATA**

**DISTRICTS**  
 2F-B1 TWO-FAMILY AND MF-C1 MULTI-FAMILY DISTRICTS  
 PROPOSED CONSOLIDATED LOT TO BE MF-C1

30'-0" FRONT SETBACK ALONG E. 93rd ST. (15% OF 224)  
 16'-0" FRONT SETBACK ALONG E. 90th ST. (15% OF 107)  
 20'-0" SIDE SETBACKS  
 VARIANCES REQUIRED FOR 2', 3', & 4' SIDE BUILDING SETBACK ENCROACHMENTS  
 50'-0" REAR SETBACK  
 VARIANCE REQUIRED FOR 16' REAR PARKING SETBACK ENCROACHMENT  
 35'-0" HEIGHT  
 VARIANCE REQUIRED FOR 41' HEIGHT

MAXIMUM GROSS FLOOR AREA = 1/2 LOT AREA = 44,5902 = 22,295 SF  
 VARIANCE REQUIRED FOR 28,161 SF GROSS BUILDING AREA

**PARKING**  
 PARKING SETBACKS MATCH BUILDING PER 349.05  
 DWELLING UNITS = 1 SPACE PER UNIT = 36 SPACES  
 VARIANCE REQUIRED FOR 19 SPACES PROVIDED

**PRELIMINARY**  
 NOTE!!!  
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DATE PRINTED  
 FEBRUARY 19, 2024

REVISIONS



PRELIMINARY SITE PLAN

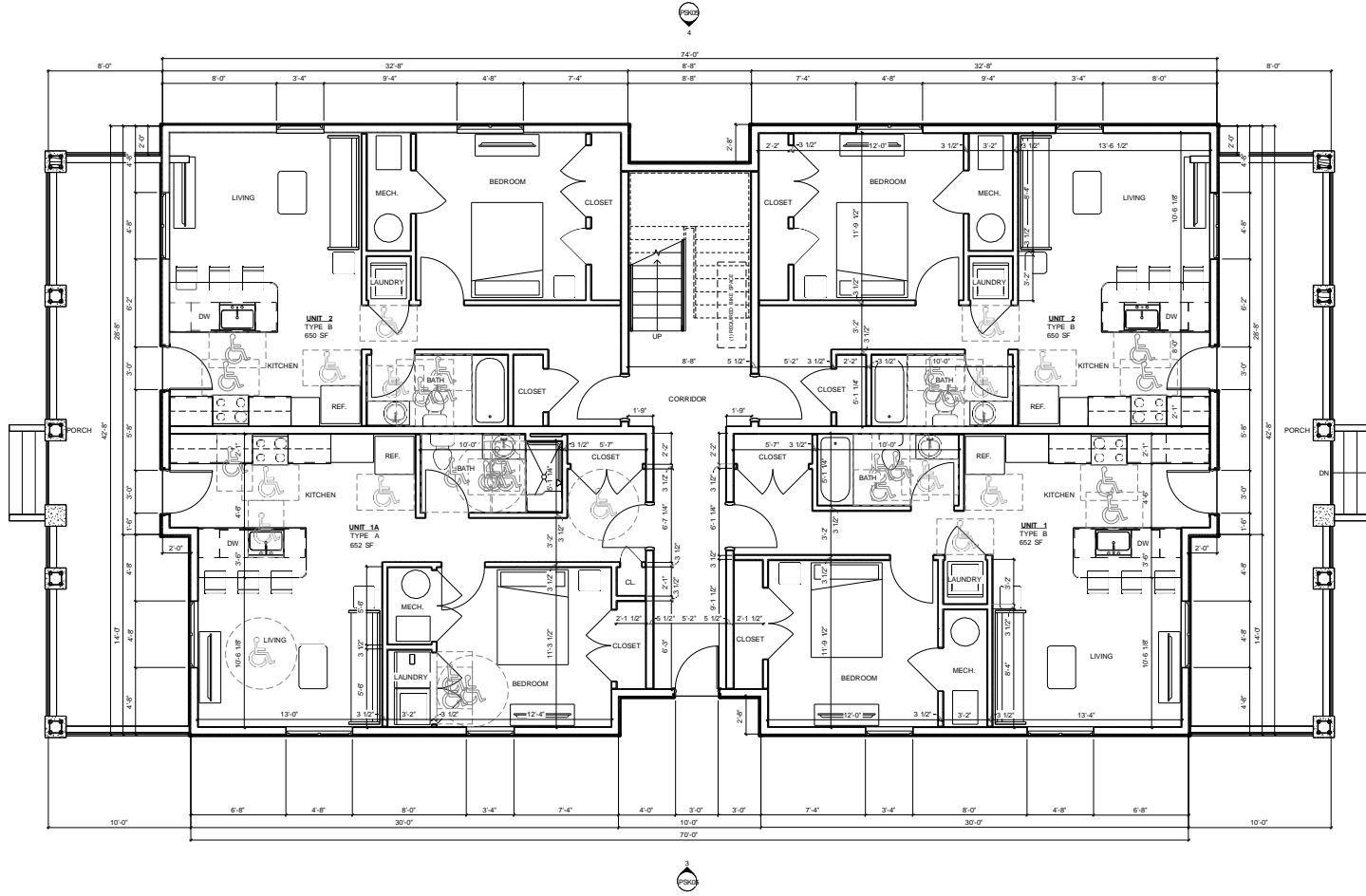
EAST 93rd STREET APARTMENTS  
 CLEVELAND, OHIO  
 44106

PROJECT #: 5023

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**1** PLAN PRELIMINARY FIRST FLOOR



PRELIMINARY FIRST FLOOR PLAN

PROJECT #:  
5023  
**EAST 93rd STREET APARTMENTS**  
 DATE: FEBRUARY 13, 2024  
 CLEVELAND, OHIO 44106

**MPG** ARCHITECTS  
 MANN - PARSONS - GRAY  
 phone 330.666.5770  
 3690 Embassy Parkway  
 Cleveland, OH 44130

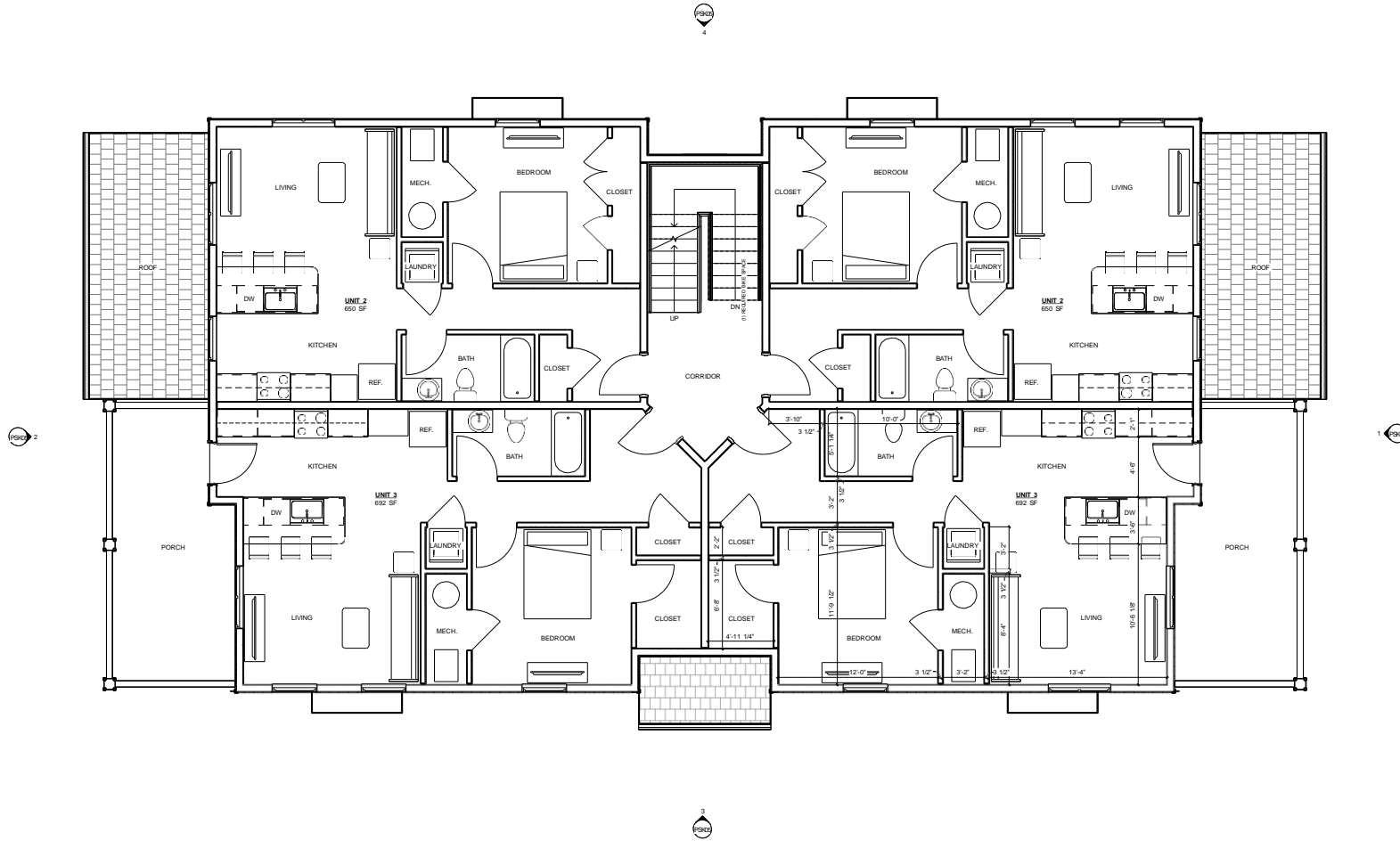
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PSK02

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PRELIMINARY SECOND FLOOR PLAN

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5023  
EAST 93rd STREET APARTMENTS  
DATE: FEBRUARY 13, 2024  
CLEVELAND, OHIO 44106

**MPG** ARCHITECTS  
MANN - PARSONS - GRAY  
3690 Embassy Parkway  
Cleveland, OH 44130  
phone 330.666.5770  
mpg-architects.com

1 PLAN PRELIMINARY SECOND FLOOR  
1/4" = 1'-0"

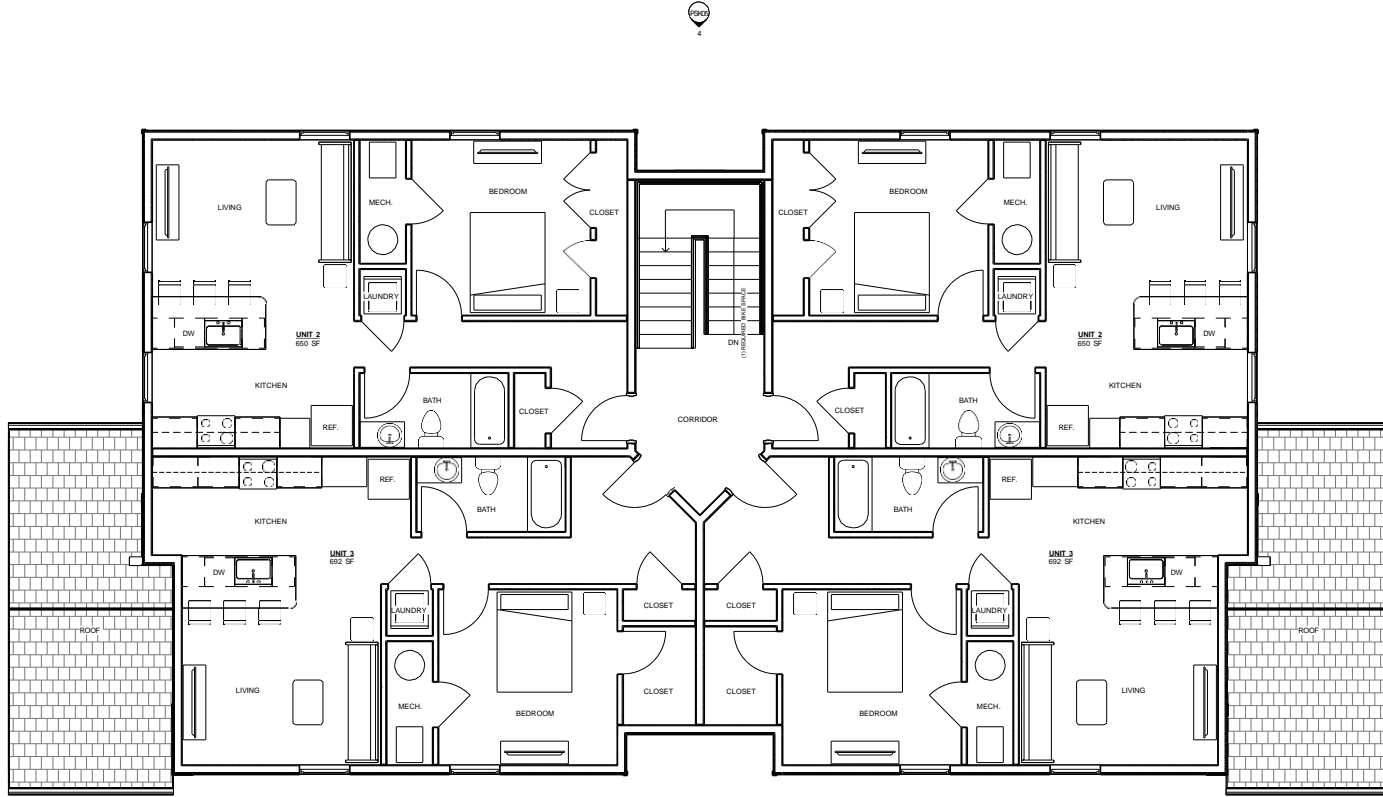


PSK03

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phone 330.666.5770

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PRELIMINARY THIRD FLOOR PLAN

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EAST 93rd STREET APARTMENTS  
DATE: FEBRUARY 13, 2024  
CLEVELAND, OHIO 44106

1 PLAN PRELIMINARY THIRD FLOOR

1/4" = 1'-0"



PSK04

**PRELIMINARY**

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REVISIONS

phone 330.666.5770  
3660 Embassy Parkway  
Fallawn, OH 44333  
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ARCHITECTS  
mpg-architects.com

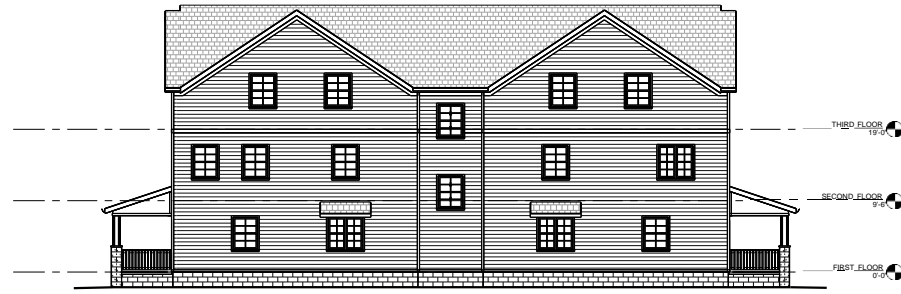
PRELIMINARY EXTERIOR ELEVATIONS

PROJECT #: 5023 DATE: FEBRUARY 19, 2024

EAST 93rd STREET APARTMENTS

CLEVELAND, OHIO 44106

PSK05



4 ELEVATION SIDE  
1/8" = 1'-0"



3 ELEVATION SIDE  
1/8" = 1'-0"



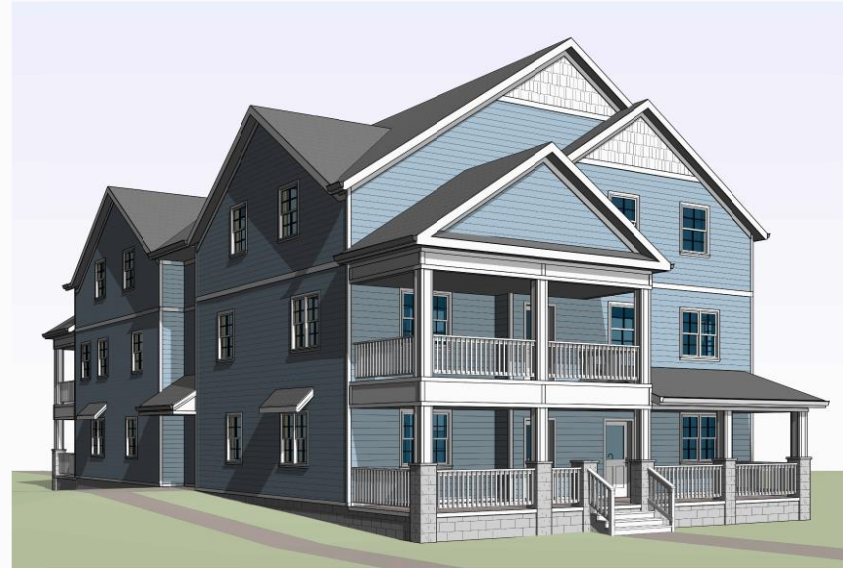
2 ELEVATION REAR  
1/8" = 1'-0"



1 ELEVATION FRONT  
1/8" = 1'-0"







ROYAL BUILDING PRODUCTS - BLUE VINTAGE CREAM VINYL SIDING

ROYAL BUILDING PRODUCTS - BLUE GRAY VINYL SIDING

**PRELIMINARY**

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PERSPECTIVES

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PSK06

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ROYAL BUILDING PRODUCTS - LINEN VINYL SIDING

ROYAL BUILDING PRODUCTS - SAND VINYL SIDING

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ARCHITECTS

PERSPECTIVES  
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EAST 93rd STREET APARTMENTS  
DATE: FEBRUARY 14, 2024  
CLEVELAND, OHIO 44106

PSK07

3690 Embassy Parkway  
Cleveland, OH 44130  
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# EAST 93RD STREET APARTMENTS

## CITY OF CLEVELAND COUNTY OF CUYAHOGA STATE OF OHIO



Reg. No.: 61709

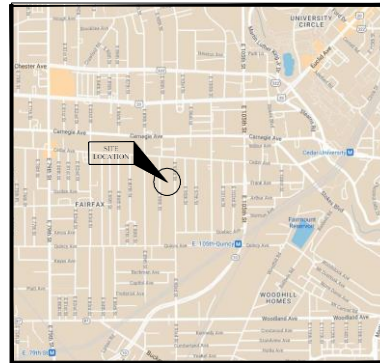
REVISIONS

### GENERAL NOTES

1. THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION, THE LATEST STANDARD CONSTRUCTION DRAWINGS, AND THE CITY OF CLEVELAND SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS.
2. ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEEDED.
3. CALL OHIO UTILITIES PROTECTION SERVICE BEFORE DIGGING (800) 362-2764.
4. ALL STORAGE WAYS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) SMOOTH LINED PER ODOT (ITEM 3673).
5. ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE UTILITY OWNER.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SITUATION CONTROL MEASURES NECESSARY TO PREVENT SILE FROM LEAVING THE SITE.
8. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
9. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION, OR BETTER.
10. TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH THE CITY OF CLEVELAND ENGINEER'S OFFICE.
11. A PRE-CONSTRUCTION MEETING MUST BE HELD AT THE CITY OF CLEVELAND ENGINEER'S OFFICE PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. IN ADDITION, THE CONTRACTOR SHALL PROVIDE ADDRESS NOTICES TO THE CITY OF CLEVELAND BEFORE BEGINNING WORK TO AVOID INSPECTION.
12. A 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
13. A 30 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
14. AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER.

### NEORS GENERAL NOTES

1. THE EXISTING LATERALS TO BE USED SHALL BE INSPECTED BY VIDEO CAMERA, AND A COPY OF THE VIDEO SHALL BE SUBMITTED TO THE NEORS FOR REVIEW AND APPROVAL PRIOR TO THE CONNECTIONS BEING MADE. UPON REVIEW OF THE VIDEO BY THE NEORS, IF THE EXISTING LATERAL NEEDS TO BE CLEANED AND/OR REPAIRED, THE WORK SHALL BE PERFORMED AT NO COST TO THE NEORS PRIOR TO THE CONNECTIONS BEING MADE.
2. THE LATERALS SHALL BE RE-INSPECTED AFTER THE CLEANING AND/OR REPAIR AND A COPY OF THE VIDEO SHALL BE SUBMITTED TO THE NEORS FOR REVIEW AND APPROVAL PRIOR TO THE CONNECTION BEING MADE. ALL LATERALS NOT APPROVED FOR USE SHALL BE ABANDONED.
3. THE CONTRACTOR SHALL PROVIDE A WATER TIGHT CONNECTION TO THE EXISTING LATERAL AND ENCASE THE CONNECTION IN CONCRETE.
4. THE OWNER SHALL WARRANT THAT THE CONNECTION WILL BE WATER TIGHT FOR A PERIOD OF ONE YEAR.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE SEWER AS DETERMINED BY THE NEORS.
6. THE CONTRACTOR SHALL PREVENT ANY DEBRIS FROM ENTERING THE SEWER. ANY DEBRIS ENTERING THE SEWER SHALL BE REMOVED BY THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED FOR THE WORK.
8. THE ENGINEER SHALL PROVIDE AN "AS-BUILT" DRAWING OF THE CONNECTION UPON COMPLETION OF THE WORK.
9. A 72-HOUR NOTICE SHALL BE PROVIDED TO SEWER SYSTEM MAINTENANCE AND OPERATION (SSMO) AT 216-644-6000 TO SCHEDULE AN NEORS INSPECTOR FOR THE CONNECTION.



VICINITY MAP  
NO SCALE



### SANITARY NOTES

1. ALL SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF CLEVELAND DIVISION OF WATER POLLUTION CONTROL (DWPC) AND THE NORTHEAST OHIO REGIONAL SEWER DISTRICT (NEORS).
2. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
3. APPROVAL BY THE CITY OF CLEVELAND DIVISION OF WATER POLLUTION CONTROL (DWPC) AND THE NORTHEAST OHIO REGIONAL SEWER DISTRICT (NEORS) OF THIS CONSTITUTIONS NEITHER EXPRESSLY NOR IMPLIED WARRANTIES AS TO THE FITNESS, ACCURACY, OR SUFFICIENCY OF PLANS, DESIGN OR SPECIFICATIONS.
4. ALL SANITARY SEWER LATERALS SHALL BE LAID AT NO LESS THAN 1% GRADE.
5. SANITARY SEWER MATERIALS SHALL CONFORM TO THE CITY OF CLEVELAND DIVISION OF WATER POLLUTION CONTROL (DWPC) AND THE NORTHEAST OHIO REGIONAL SEWER DISTRICT (NEORS) STANDARDS OF GENERAL SPECIFICATION.
6. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE EXISTING SEWERAGE SYSTEM RESULTING FROM NON-COMPLIANCE WITH THE CITY OF CLEVELAND DIVISION OF WATER POLLUTION CONTROL (DWPC) AND THE NORTHEAST OHIO REGIONAL SEWER DISTRICT (NEORS) STANDARDS OF GENERAL SPECIFICATION.
7. SANITARY SEWER MATERIAL SHALL CONSIST OF PVC SDR-35 SLEETING ASTM D2688 WITH JOINTS CONFORMING TO ASTM D2688, UNLESS OTHERWISE SPECIFIED.
8. THE OWNER/CONTRACTOR MUST ALERT THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 AT LEAST 48 HOURS BEFORE ANY EXCAVATING HAS BEGUN.
9. ALL UNDERGROUND LINES ENCOUNTERED BY CONSTRUCTION OF SANITARY SYSTEM ARE TO BE COMPLETELY RESTORED AT THE EXPENSE OF THE CONTRACTOR.

### INDEX

DESCRIPTION	SHEET NO.
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GRADING PLAN	C4.0
SITE DETAILS	C5.0
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ABBREVIATED SWP3 DETAILS	C7.0-C9.0
LANDSCAPE PLAN	L1.0
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TREE PRESERVATION PLAN	L1.2

### SHEET NO.

C0.0
C1.0
C2.0
C3.0
C4.0
C5.0
C6.0
C7.0-C9.0
L1.0
L1.1
L1.2



2555 Harrisville Rd., Suite B  
Rosenstown, OH 44872  
www.WeberEngineeringServices.com  
330-329-2037  
matt@webercivil.com

WES Proj. No. 2023-229

TITLE SHEET

PROJECT #: 5023 DATE: DECEMBER 4, 2023

EAST 93RD STREET APARTMENTS

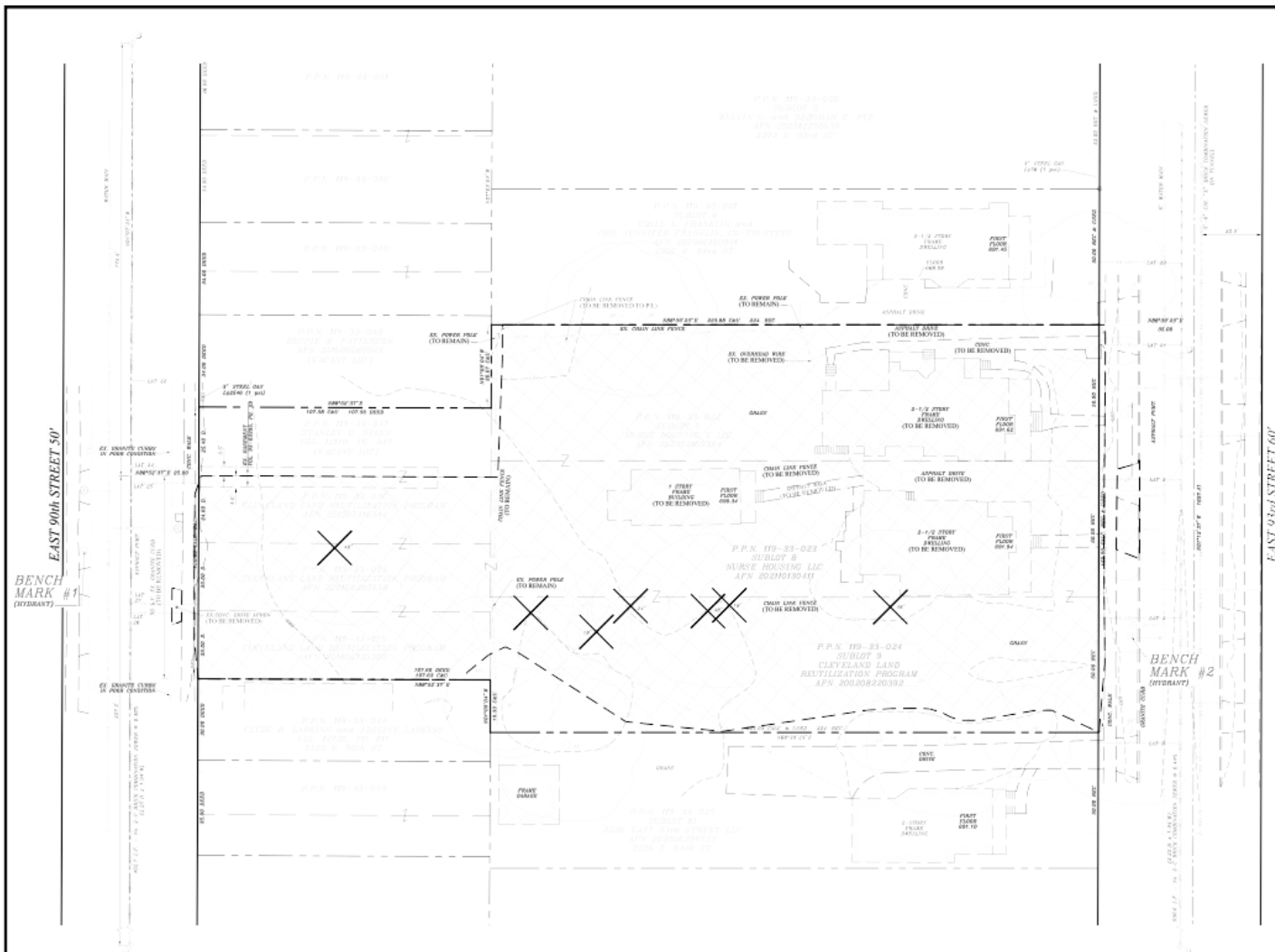
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433  
mpg-architects.com

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C0.0





<b>SITE BENCH MARK</b> BENCH MARK #1 TOP OF HYDRANT	<b>SITE BENCH MARK</b> BENCH MARK #2 TOP OF HYDRANT
ELEVATION = 687.56	ELEVATION = 688.08

**EX. COMBINED  
SEWER STRUCTURE  
SCHEDULE**

- 1 EX. COMBINED SEWER STRUCTURE  
200' DIA. AL. 2-1' DUCT IRON. 7' x 7'
- 2 EX. COMBINED SEWER STRUCTURE  
200' DIA. AL. 2-1' DUCT IRON. 7' x 7'
- 3 EX. COMBINED SEWER STRUCTURE  
200' DIA. AL. 2-1' DUCT IRON. 7' x 7'
- 4 EX. COMBINED SEWER STRUCTURE  
200' DIA. AL. 2-1' DUCT IRON. 7' x 7'
- 5 EX. COMBINED SEWER STRUCTURE  
200' DIA. AL. 2-1' DUCT IRON. 7' x 7'

**SYMBOL LEGEND**

- ⊗ WORKOFF
- WATER VALVE
- ⊕ WATER METER BURNER
- ⊙ WATER METER
- ⊕ TRAFFIC CONE
- ⊕ UTILITY POLE

**LEGEND**

- ⊔ 600 AC. AREA OF DEMOLITION & CLEARING
- ⊗ THIS TO BE REMOVED
- ⊔ (POLLUTED) THIS NOT APPROVED BY APPLICANT (PROHIBITED)
- ⊔ (UNRELIABLE) THIS REPRESENTS PROPOSED UNDERGROUNDS



Reg. No.: 61709

**REVISIONS**

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phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433

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**DEMOLITION PLAN**

DATE: DECEMBER 4, 2023

PROJECT #: 5023

**EAST 93rd STREET APARTMENTS**

CLEVELAND, OHIO 44106 (ADDRESS PENDING)

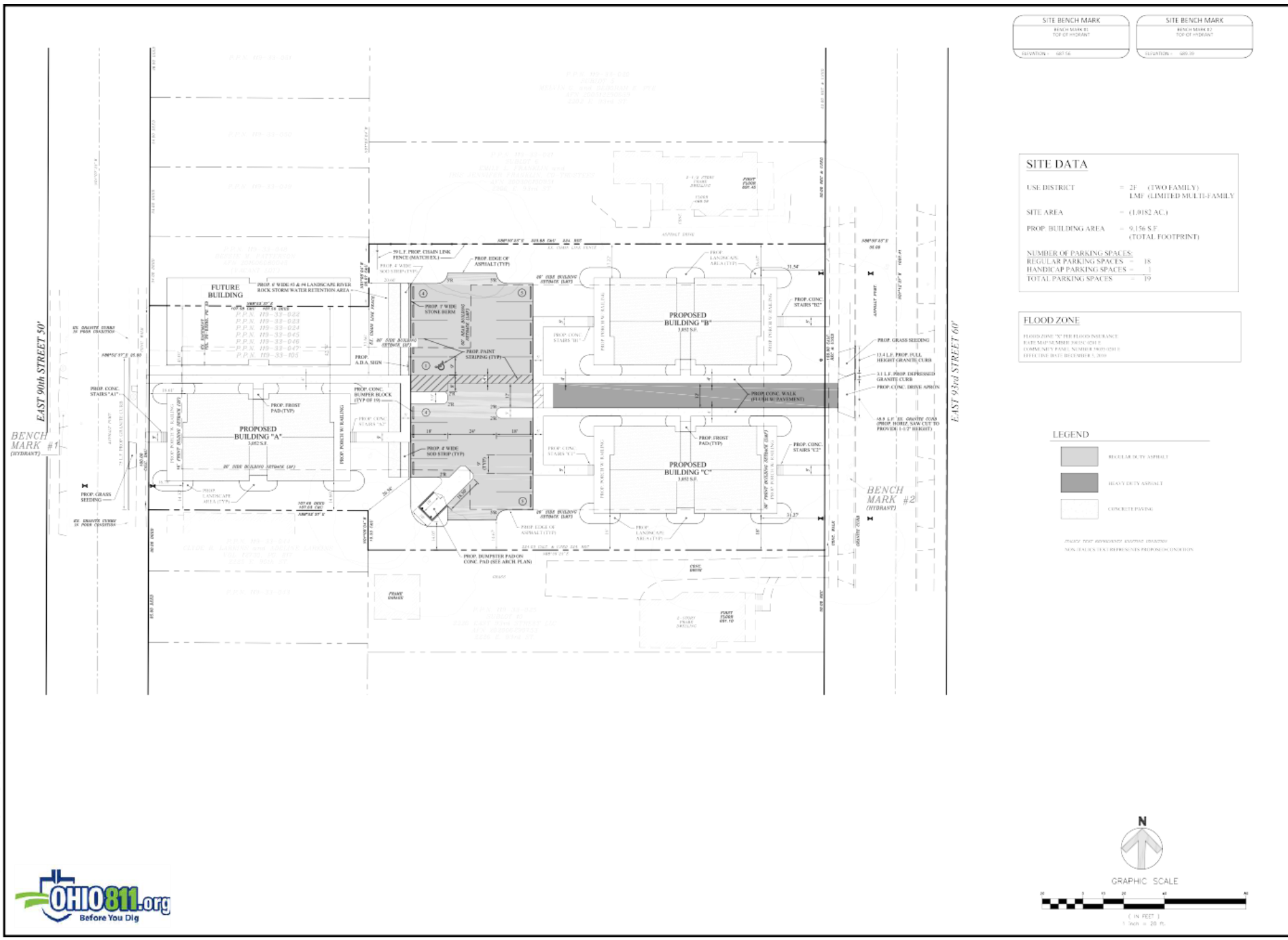
**C1.0**



**UNDERGROUND UTILITIES NOTE:**  
The site and location, both horizontal and vertical, of underground utilities shown herein, have been obtained by a search of available records. Identification by field observation has been conducted where practical. However, field and office copies does not guarantee the completeness or accuracy thereof.

CONTRACTOR SHALL COORDINATE REMOVAL / RELOCATION OF ALL EX. POWER / TELECOMMUNICATION POLES & WIRES WITH UTILITY OWNER PRIOR TO THE START OF CONSTRUCTION. COORDINATE WITH ELECTRICAL DESIGN TEAM.  
  
POLES & WIRES DESIGNATED "TO REMAIN", "TO BE REMOVED" OR "TO BE RELOCATED" ARE FOR REFERENCE ONLY.

10/20/23 10:58 AM C:\Users\mweber\OneDrive\Documents\Projects\5023\5023.dwg (PLOT) 11/14/23 10:58 AM



<b>SITE BENCH MARK</b> BENCH MARK #1 TOP OF HYDRANT	<b>SITE BENCH MARK</b> BENCH MARK #2 TOP OF HYDRANT
ELEVATION = 687.56	ELEVATION = 688.00

**SITE DATA**

USE DISTRICT	= 2F - (TWO FAMILY)
	LMF - (LIMITED MULTI-FAMILY)
SITE AREA	= (1,0182 AC.)
PROP. BUILDING AREA	= 9,156 S.F.
	(TOTAL FOOTPRINT)
NUMBER OF PARKING SPACES	
REGULAR PARKING SPACES	= 18
HANDICAP PARKING SPACES	= 1
TOTAL PARKING SPACES	= 19

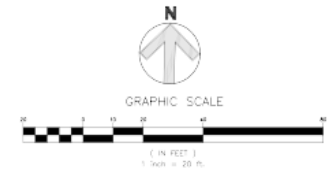
**FLOOD ZONE**

FLOOD ZONE "C" PRE-FLOOD INSURANCE  
 EAST MAP SHEET: 6006-011E  
 CORNER MAP PANEL NUMBER: 6006-011E  
 EFFECTIVE DATE: DECEMBER 1, 2010

**LEGEND**

	REGULAR DUTY ASPHALT
	HEAVY DUTY ASPHALT
	CONCRETE PAVING

MANY PROP. IMPROVEMENTS UNDETAILED  
 MULTIPLE LINE TEXT REPRESENTS PROPOSED DIMENSIONS



Reg. No.: 61709

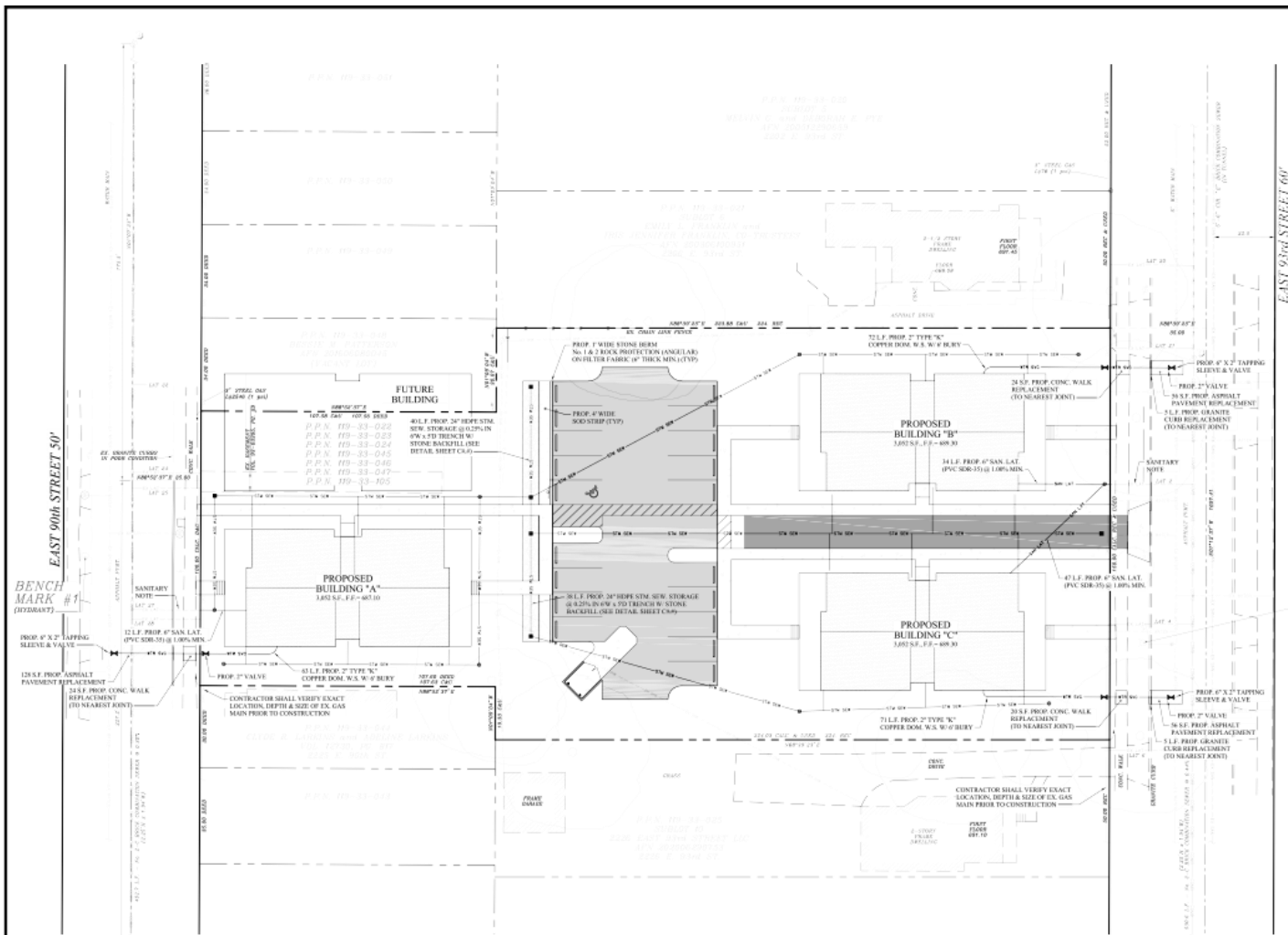
REVISIONS

phone 330.666.5770  
 3660 Embassy Parkway  
 Fairlawn, OH 44433

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**ARCHITECTS**

**SITE PLAN**  
 PROJECT #: 5023  
 DATE: DECEMBER 4, 2023  
**EAST 93rd STREET APARTMENTS**  
 CLEVELAND, OHIO 44106 (ADDRESS PENDING)

**C2.0**



<b>SITE BENCH MARK</b> BENCH MARK #1 TOP OF HYDRANT ELEVATION: 687.56	<b>SITE BENCH MARK</b> BENCH MARK #2 TOP OF HYDRANT ELEVATION: 688.00
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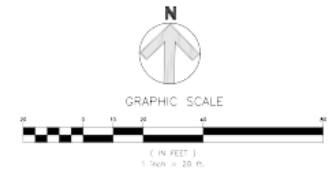
**EX. COMBINED  
SEWER STRUCTURE  
SCHEDULE**

- 1. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" DEPTH. JERKIN. 7' x 4'
- 2. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" DEPTH. JERKIN. 7' x 4'
- 3. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" DEPTH. JERKIN. 7' x 4'
- 4. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" DEPTH. JERKIN. 7' x 4'

- NOTES**
- ALL UNUSED EX. WATER SERVICES SERVING ADJACENT TO THE PARCEL SHALL BE PLUGGED BY THE CITY OF CLEVELAND AND DIVISION OF WATER AT THE DEVELOPER'S EXPENSE.
  - ALL EXISTING DRIVE APRONS NOT USED AS PART OF THIS PROJECT SHALL BE REMOVED & REPLACED WITH SEED AND/OR SIDEWALK AS SHOWN ON SHEET C-01 OR AS FURTHER DETERMINED IN THE FIELD.
  - SANITARY LATERALS SHOWN PER RECORD CITY OF CLEVELAND LATERAL RECORDS.
  - CONTRACTOR SHALL VERIFY EXACT LOCATION & DEPTH OF ALL CONNECTIONS PRIOR TO START OF ANY CONSTRUCTION ON THE SITE. NOTIFY SITE ENGINEER (MATT WEBER 190-129-2057) OF ANY DIFFERENCE BETWEEN PLAN DESIGN AND FIELD CONDITIONS.
  - ALL EXISTING UTILITIES WITHIN THE ROW SHALL REMAIN - DO NOT REMOVE.
  - THE CONTRACTOR IS REQUIRED TO OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND AND DIVISION OF WATER POLLUTION CONTROL (DWPC) FOR THE SEWER CONNECTION PRIOR TO PERFORMING ANY SEWER WORK.
  - THE CONTRACTOR SHALL CONSTRUCT ALL UNUSUAL CATCH BASINS WITHIN THE LIMITS OF FLEXIBLE PAVEMENT WITH FINGER DRAINS.

- FIRE SERVICE NOTES:**
- ALL WATERLINE UTILIZED FOR FIRE SERVICE ON SITE SHALL BE D.I.W.M. CL25 CEMENT LINED PER CITY OF CLEVELAND STANDARDS AND BE INSTALLED IN COMPLIANCE WITH NFPA 74 STANDARDS.
  - PRIVATE FIRE WATER SERVICE SHALL BE INSTALLED WITHIN A STEEL 4" CARBIDE PIPE AT A DEPTH OF 6'-0" BELOW THROUGH ANY AREAS WHERE A CONCRETE FOOTER WILL BE INSTALLED.
  - SEE PLUMBING PLAN FOR ADDITIONAL CONNECTION INFORMATION.
- CITY OF CLEVELAND ENGINEERING & CONSTRUCTION INC.:**
- ALL STREET OPENING WORK IN THE PUBLIC RIGHT-OF-WAY SHALL USE THE CURRENT CITY OF CLEVELAND REPAIR STANDARDS.
  - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE TO THE CITY OF CLEVELAND STREET OPENING STANDARDS.
  - ALL NEW SIDEWALK AND DRIVE APRONS MUST BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY OF CLEVELAND STANDARDS.

- NOTE 1:**  
CONTRACTOR SHALL VERIFY EXACT LOCATION, DEPTH, SIZE, AND CONNECTION OF EX. SANITARY, WATER & GAS MAINS PRIOR TO CONSTRUCTION. AT ALL TIMES, INSTALL BENCH MARKS AS NECESSARY.
- SANITARY NOTE:**  
CONTRACTOR SHALL VERIFY EXACT LOCATION, DEPTH, SIZE, AND CONNECTION OF EX. SANITARY, WATER & GAS MAINS PRIOR TO CONSTRUCTION. AT ALL TIMES, INSTALL BENCH MARKS AS NECESSARY. IF DEPTH OF EX. SANITARY MAIN IS LESS THAN 7'-0" A NEW SANITARY MAIN IS REQUIRED IT SHALL BE 24" I.D. 4' x 7' x 10' MIN.
- FOR ON-SITE LIGHT POLES & FIXTURES SEE ELECTRICAL PLANS**
- ALL CATCH BASINS WITHIN PAVED AREAS SHALL HAVE FOUR (4) FINGER DRAINS**
- UNDERGROUND STORMWATER MANAGEMENT SYSTEM SHALL BE INSTALLED ONLY AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN FULLY STABILIZED**
- ALL SLANTS PER FILES 958A & 2674A**
- CONTRACTOR SHALL COORDINATE EX. WATER SERVICE ABANDONMENT WITH THE CITY OF CLEVELAND WATER DEPARTMENT. FEE SHALL BE PAID BY CONTRACTOR.**



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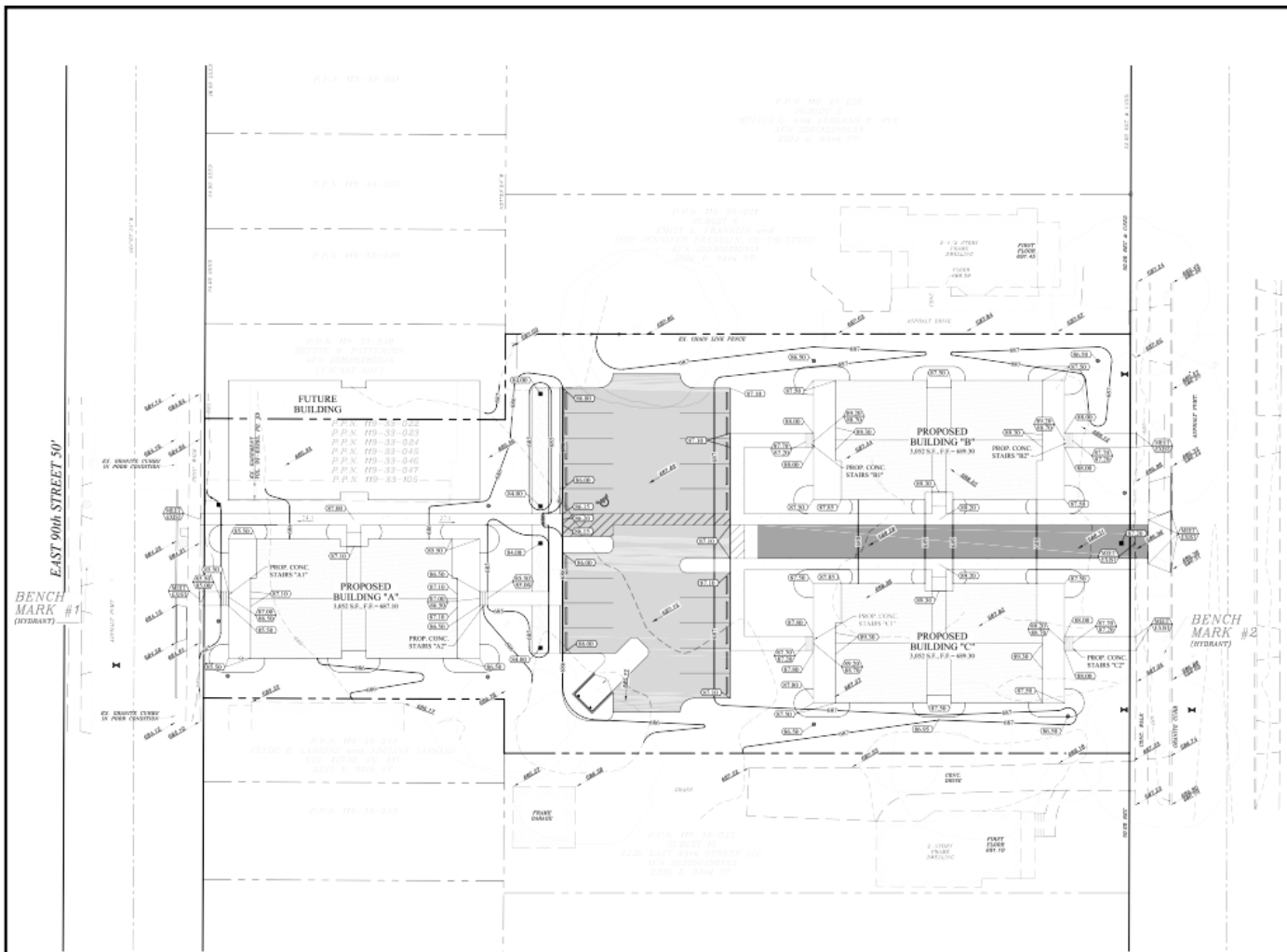
REVISIONS

**MPG ARCHITECTS**  
MANN - PAISSONS - GRAY  
phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44133  
mpg-architects.com

**UTILITY PLAN**  
PROJECT #: 5023  
DATE: DECEMBER 4, 2023  
**EAST 93rd STREET APARTMENTS**  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

**C3.0**





<b>SITE BENCH MARK</b> BENCH MARK #1 TOP OF HYDRANT ELEVATION: 487.54	<b>SITE BENCH MARK</b> BENCH MARK #2 TOP OF HYDRANT ELEVATION: 488.38
--	--

**LEGEND**

- THICK RED DASHED LINE: EXISTING DRAINAGE
- SUN-DOTTED TEXT: PROPOSED DRAINAGE
- : PROPOSED SPOT GRADE
- : PROPOSED GRADE AT CURB
- : EXISTING SPOT GRADE



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**REVISIONS**

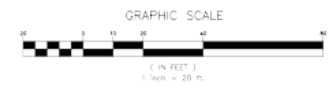
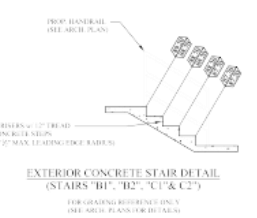
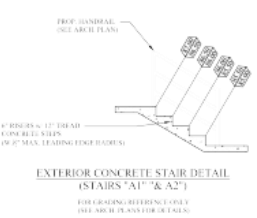
NO.	DESCRIPTION

phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433



**GRADING PLAN**  
PROJECT #: 5023  
DATE: DECEMBER 4, 2023  
**EAST 93rd STREET APARTMENTS**  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

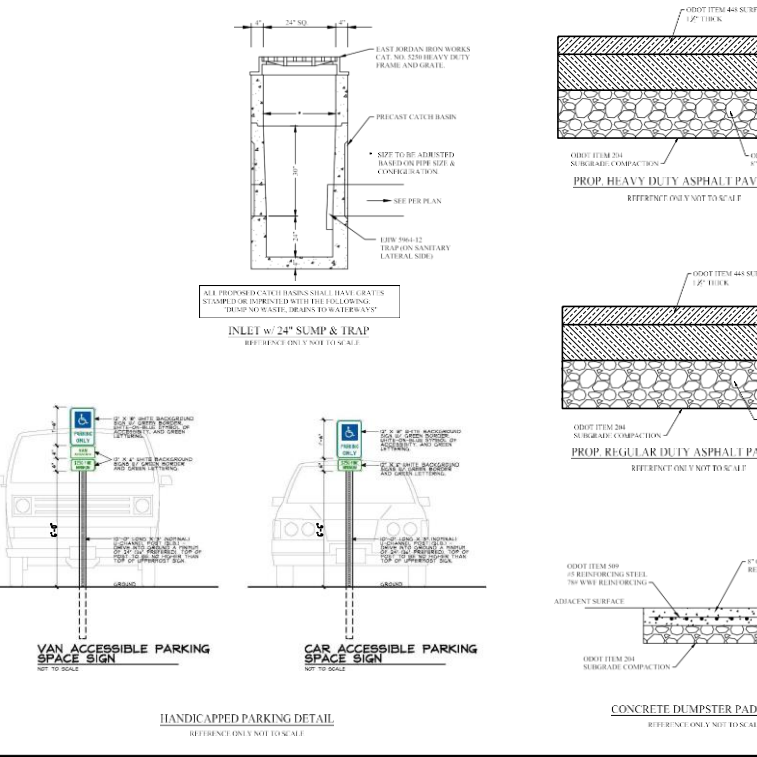
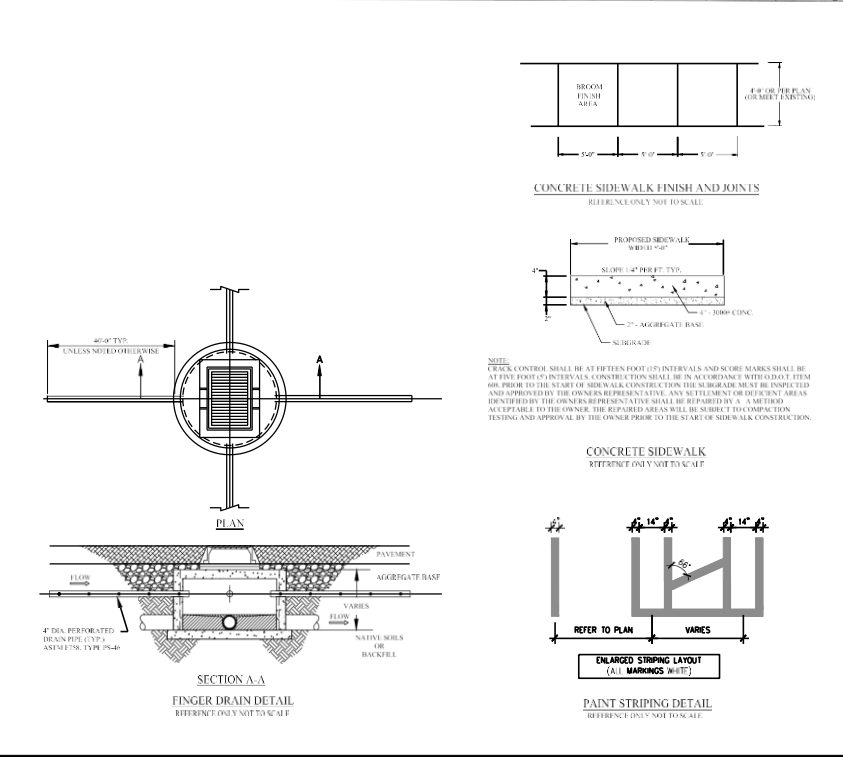
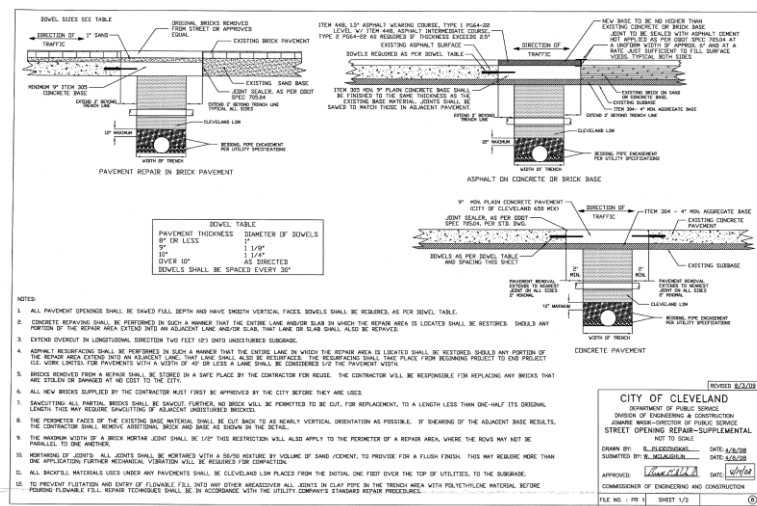
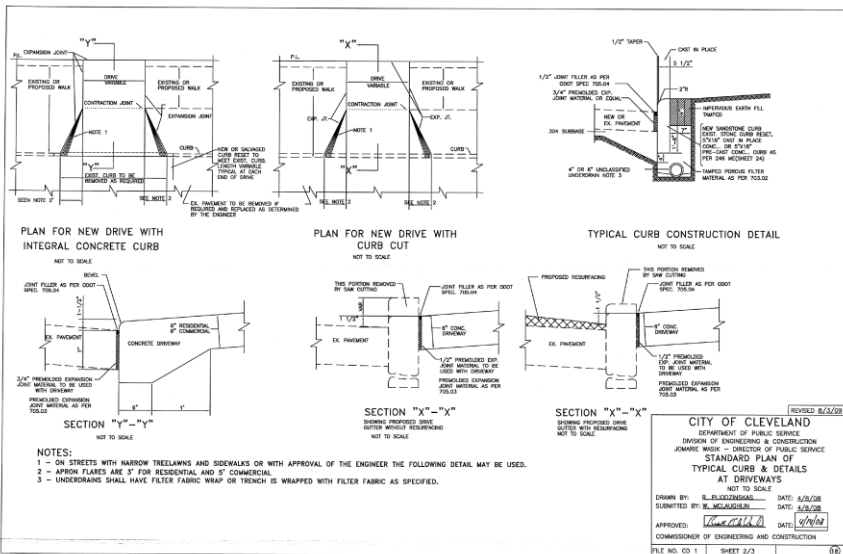
**C4.0**





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REVISIONS



phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433  
mnp-architects.com



DATE: DECEMBER 4, 2023  
PROJECT #: 5023  
EAST 93rd STREET APARTMENTS  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

C5.0



**CLEVELAND WATER NOTES FOR WATER MAIN INSTALLATION AND/OR REPLACEMENT**

DESIGNERS, ENGINEERS, AND CONTRACTORS ARE TO ADHERE BY THE MOST CURRENT VERSION OF THE FOLLOWING WATER NOTES AND DETAILS. THE MOST UP-TO-DATE VERSION CAN BE FOUND AT [WWW.CLEVELANDWATER.COM/CONSTRUCTION/](http://WWW.CLEVELANDWATER.COM/CONSTRUCTION/).

- GENERAL**
- 1. ALL WATER WORK REQUIRED, WHETHER SHOWN ON THE PLANS OR AS DIRECTED BY CLEVELAND WATER, SHALL BE AT THE EXPENSE OF THE PROJECT UNLESS OTHERWISE AGREED TO BY THE COMMISSIONER OF THE CLEVELAND DIVISION OF WATER.
  - 2. THE INFORMATION SHOWN ON THE CLEVELAND DIVISION OF WATER'S SUMMARY OF WORK/CHANGE LETTER, OTHER MAIL, OR BEST DRAWINGS, AND ALL ARE TAKEN FROM HISTORICAL AVAILABLE RECORDS, AND THEIR ACCURACY IS NOT GUARANTEED.
  - 3. CALL THE INSPECTION AND COMPLETION UNIT AT 216-664-2342 TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST 5 WEEKS PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR AND ANY OTHER REPRESENTATIVE OF ANY PART OF THE WATER SYSTEM OR CONTRACTORS OR OTHER EMPLOYEES IS PROHIBITED FROM THE SUPERVISION OF THE FIELD LAYOUTS AND EASEMENTS TRAVELING PRIVATE PROPERTY.
  - 4. PRIOR TO REQUESTING COORDINATION, THE CONTRACTOR SHALL SUPPLY THE CLEVELAND WATER SPECIAL DETAIL FIELD MEASUREMENTS SHOWING CHANGES MADE FROM THE APPROVED DESIGN DRAWINGS AND ALL ACTUAL MEASUREMENTS. COORDINATION SHALL NOT OCCUR BEFORE THESE DRAWINGS ARE SUBMITTED.
  - 5. FOR THE PURPOSES OF CHLORINATION AND BACTERIOLOGICAL TESTING OF THE WATER MAINS, THE CONTRACTOR SHALL PROVIDE AND INSTALL AT EACH OF THE COORDINATION POINT LOCATIONS SHOWN AND AT OTHER LOCATIONS DETERMINED BY CLEVELAND WATER. DISBURSE / SAMPLING TAP SIZES ARE TO BE DETERMINED BY CLEVELAND WATER. COORDINATION POINTS SHALL BE ON 180° SQUARE AND ARE TO MEET CITY STANDARDS. NO CUSTOMER TAPS SHALL BE INSTALLED PRIOR TO CHLORINATION.
  - 6. A TWO-YEAR WARRANTY, COMMENSURATE FROM THE DATE OF ACCEPTANCE OF THE FINAL COORDINATION OF THE WATER MAIN INSTALLATION SHALL BE PROVIDED BY THE BUILDER/DEVELOPER AND/OR CONTRACTOR FOR ALL WATER MAINS AND SERVICE CONNECTIONS WORK PERFORMED BY THE CONTRACTOR, INCLUDING TAPS IF PERFORMED. SHOULD ANY LEAKS OCCUR AND REPAIRS BE REQUIRED DUE TO DEFECTIVE MATERIAL OR POOR WORKMANSHIP, A LETTER INDICATING THE CORRECTIVE DATE AND THE DATE OF THE WARRANTY SHALL BE INCLUDED WITH THE AS-BUILT SUBMISSION IN NOTE 12.
  - 7. USE BACKFILL MATERIAL AS SPECIFIED AND CONTACT SUFFICIENTLY IN THOSE AREAS WHERE EXISTING MAINS AND WATER SERVICE CONNECTIONS ARE EXPOSED. USE CLEVELAND WATER STANDARD DETAIL STD-001.
  - 8. ALL MATERIALS, INCLUDING BUT NOT LIMITED TO WATER MAINS, FIRE HYDRANTS, VALVES, CONNECTIONS, MATERIALS, AND OTHER WATER APPURTENANCES, SHALL BE NEW UNLESS OTHERWISE SPECIFIED AND TO THE MOST CURRENT CLEVELAND WATER SPECIFICATIONS. ALL MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH CLEVELAND WATER'S STANDARDS.
  - 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING WATER MAINS AND APPURTENANCES THEREON WHEN CONSTRUCTING OR CONNECTING THE NEW WATER MAIN. THIS SHALL

INCLUDE LEAD-ON JOINTS IN EXISTING FITTINGS WHICH MAY REQUIRE REPLACEMENT FITTINGS AT THE DISCRETION OF THE SUPERVISOR IF IT IS DETERMINED THEY ARE DAMAGED. ALL FITTINGS TO DAMAGED EXISTING FACILITIES SHALL BE MADE BY THE CONTRACTOR, AT THE PROJECT EXPENSE, TO THE SATISFACTION OF CLEVELAND WATER.

10. ALL HYDROSTATIC PRESSURE TESTING SHALL BE DONE BY THE CONTRACTOR IN THE PRESENCE OF THE CLEVELAND WATER SUPERVISOR. THE HYDROSTATIC TEST PRESSURE SHALL BE 75 PSI ABOVE THE STATIC PRESSURE PRESENT AT THE SITE, BUT NOT EXCEED 150 PSI. THE PRESSURE TEST SHALL BE FOR A DURATION OF TWO (2) HOURS WITH THE PRESSURE BEING MAINTAINED WITHIN TWO (2) PERCENT TOLERANCE. SHOULD THE PRESSURE TEST FAIL, THE CONTRACTOR SHALL FIND AND CORRECT THE DEFECTS TO THE SATISFACTION OF CLEVELAND WATER AND REPEAT THE TWO (2) HOUR PRESSURE TEST.

11. ALL BURIED WATER MAINS, FITTINGS, VALVES, THE HYDRANT BRANCH TRENCH AND APPURTENANCES SHALL BE PROTECTED WITHIN THE WRAPPING IN ACCORDANCE WITH THE MOST CURRENT VERSION OF ANSII/AWWA C900. THE CONTRACTOR SHALL NOTIFY CLEVELAND WATER IMMEDIATELY BY TELEPHONE OR ALTERNATE INSTALLATION METHOD FOR ANY BRANCH CONNECTIONS SHALL BE USED WHEN WATER MAINS ARE INSTALLED UNDER OR ADJACENT TO EXISTING TRENCHES AND EASEMENTS TRAVELING PRIVATE PROPERTY.

12. THE PROJECT'S PROFESSIONAL ENGINEER OR A DESIGNATED PROFESSIONAL ENGINEER SHALL OBTAIN ALL FIELD MEASUREMENTS OF THE MAIN DURING INSTALLATION AND SHALL FURNISH THE CLEVELAND WATER SUPERVISOR WITH ALL NECESSARY AS-BUILT CLEVELAND WATER STANDARD WITHIN 30 DAYS OF THE WATER MAIN GOING INTO SERVICE AND ALL SUBJECT DRAWINGS, EASEMENT, ONE SHEET COPY AND ONE PDF COPY SHALL BE PROVIDED. DRAWINGS SHALL BE SIGNED, DATED, AND STAMPED WITH THE ENGINEER OR SUPERVISOR'S SEAL. REVISIONS ARE NOT SUPPORTED. CLEVELAND WATER RESERVES THE RIGHT TO REVIEW AND OBTAIN APPROVAL OF FUTURE WORK AS RESULTS ARE NOT SUPPORTED.

**WATER MAINS**

- 13. ALL PIPE, UNLESS OTHERWISE APPROVED BY CLEVELAND WATER, SHALL BE POLYETHYLENE GLASS REINFORCED (PFR) OR POLYETHYLENE GLASS REINFORCED RUBBER BING CASSETT AND BE INSTALLED TO THE MOST CURRENT VERSION OF AWWA C900.
- 14. ALL FITTINGS, UNLESS OTHERWISE CALLED FOR, SHALL BE APPROVED DUCTILE IRON, CLASS 300, GRIENT UNED OR FUSION BONDED FIBER REINFORCED PLASTIC. ALL FITTINGS AND PIPE CONNECTED TO FITTINGS SHALL BE RESTRAINED USING A "RESTRAINED" MECHANICAL JOINT CONFORMING TO THE MATERIAL AND PERFORMANCE REQUIREMENTS OF FITTINGS. SEE L160423.10 AND ANSII/AWWA C115.01.11, OR "COMPACT" FITTING IN ACCORDANCE WITH ANSII/AWWA C115.01.11. EXCEPT AS OTHERWISE NOTED, THESE JOINTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF AWWA C900.
- 15. ALL BOLTS AND NUTS ON ALL "RESTRAINED" MECHANICAL JOINTS SHALL HAVE FIVE APPLIED ONE (1) COAT OF BUTYLATIC PAINTING.
- 16. WHERE SHOWN ON THE PLANS, OR WHEN OTHERWISE CALLED FOR, PIPE AND FITTINGS SHALL HAVE AN APPROVED TYPE "F" TYPE OF BOLTED RESTRAINED PUSH ON JOINTS TO THE LIMITS SHOWN ON THE DRAWINGS.
- 17. AT THE END OF EACH WORKDAY, THE CONTRACTOR SHALL PLUG ALL OPEN PIPE ENDS WITH WATER TIGHT PLUGS AS PER THE "PREVENTIVE

AND CORRECTIVE MEASURES DURING CONSTRUCTION TO ARRANGE FOR OBTAINING PERMITS FOR ALL WATER SERVICE CONNECTIONS BEFORE ANY SERVICE CONNECTION WORK MAY PROCEED. ALL PERMITS CAN BE OBTAINED FROM THE CLEVELAND WATER PERMITS AND PAID SECTION AT 216-664-2300. PROFORM # 108-216-664-2443-2020.

ACCOUNTS SHALL BE INITIALED IN THE LAND OWNER'S NAME AS PART OF THE PERMITTING PROCESS. ALL RESPONSIBILITIES ASSOCIATED WITH EACH WATER SERVICE, INCLUDING, THE OWNER, SITE INSPECTIONS, METER SCHEDULING, METER INSPECTION AND THE METER INSTALLATION SHALL BE THE RESPONSIBILITY OF THE SMO/OWNER.

METERS INSTALLATIONS WILL NOT BE AUTHORIZED TO BE INSTALLED UNTIL ALL INSPECTIONS HAVE BEEN COMPLETED. ESTIMATED BILLS MAY ENDEAVOR TO BE A WORK IN PROGRESS AS HAVING WATER SERVICE BUT NO METER HAS BEEN INSTALLED. IF NEW OWNERS, ONE PARTICIPANT IS SOLD OFF AND TRANSFER TITLE, DO NOT CONTACT CLEVELAND WATER TO STOP SERVICE ACCOUNTS IN THEIR NAME. ACCOUNTS, AND THEIR ASSOCIATED BILLS WILL REMAIN IN THE NAME OF OUR LAST OWNER OF RECORD UNLESS A BILL IS PAID BY THE BUYER OR BUYER'S AGENT. IT IS THE RESPONSIBILITY OF THE NEW OWNER TO TRANSFER ACCOUNTS INTO THEIR NAME WHILE THE ACCOUNTS ARE BEING TRANSFERRED. LOCAL TRANSFER OF PROPERTY, SELLER OF PROPERTY MUST CONTACT ALL UNCOMPLETED PORTIONS OF THE REFERENCED RESPONSIBILITIES TO THE NEW OWNER.

**INSTRUMENTS**

18. IN ALL WATER MAIN INSTALLATIONS, THE CONTRACTOR SHALL HAVE ALL INSTRUMENTS (ESTIMATOR) MOVED THROUGH THE PAVEMENT PRIOR TO ANY WATER MAIN WORK. ALL INSTRUMENTS TO BE INSTALLED WATER APPROVED INSTRUMENT MODELS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S ENGINEERING OR SERVICE DEPARTMENT TO OBTAIN INSTANT NOTICE REQUIREMENTS AS NOT INDICATED ON THE APPROVED PLANS.

**VALVES**

19. ALL VALVES SHALL BE AN APPROVED MODEL, RESEMBLING STATED DATE VALVES AS PER THE MOST CURRENT VERSION OF AWWA C500 OR C115. VALVE OPERATING NUTS SHALL BE TURNED 1/16" TO 1/8" FROM TOP TO BOTTOM AND 2" DEEP. VALVES MORE THAN 10 YEARS OLD AT THE TIME OF INSTALLATION SHALL BE REPLACED AT THE PROJECT'S EXPENSE UNLESS OTHERWISE NOTED.

**SERVICE CONNECTIONS**

20. ANY C/T SIDE LEAD SERVICE CONNECTION UNEXPECTED SHALL BE REPAIRED WITH THE C/T OR OTHER APPROVED MATERIAL. IF C/T SERVICE LEAD SHALL REMAIN, THE CONTRACTOR SHALL MANUALLY TAP-ON JOINTS WITH ADHESIVE COMPRESSED RUBBER BING CASSETT AND BE INSTALLED TO THE MOST CURRENT VERSION OF AWWA C900.

21. AS PART OF THE AS-BUILT SUBMISSION IN NOTE 12, THE CONTRACTOR SHALL PROVIDE A TABLE SHOWING ALL EXISTING CONNECTIONS IDENTIFIED BY CLEVELAND WATER CONNECTION NUMBER, SHOWING THE COORDINATE CONNECTION MATERIAL, BOTH THE CITY AND CHLORINATION CONNECTION, AS WELL AS THE NEW CONNECTION MATERIAL FOR ALL CONNECTIONS REPAIRED. THE TABLE SHALL ALSO NOTE ANY SERVICE CONNECTION MEASUREMENTS AND SIZES. A SAMPLE TABLE WILL BE PROVIDED. THE SUBMISSION SHALL BE IN HERENT EXACT FORMAT. CLEVELAND WATER SHALL REQUIRE THE DELIVERY AND ACCEPTANCE OF THIS TABLE BEFORE THE PRESSURE TEST AND CHLORINATION/COORDINATION OF THE MAIN WILL BE PERMITTED.

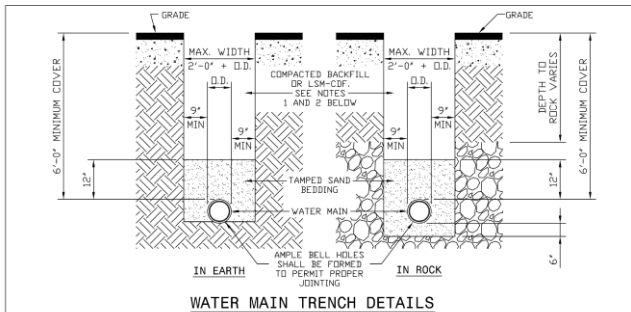
**EMERGENCIES**

22. NEW WATER SERVICE CONNECTION LOCATIONS SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY AND ARE NOT PART OF THE WATER MAIN APPROVAL. THE SPECIFIC LOCATION FOR EACH CONNECTION WILL BE DETERMINED BY CLEVELAND WATER PRIOR TO TAPS BEING INSTALLED. ALL PERMITS FOR TAPS AND METERS FOR BARRELS ASSOCIATED WITH THE WATER MAINS INSTALLED ON THIS PROJECT ARE TO BE OBTAINED BY THE LAND OWNER OF SAID IMPROVEMENT PLANS.

DATE: 11/20/2017 BY: FSR STD-011

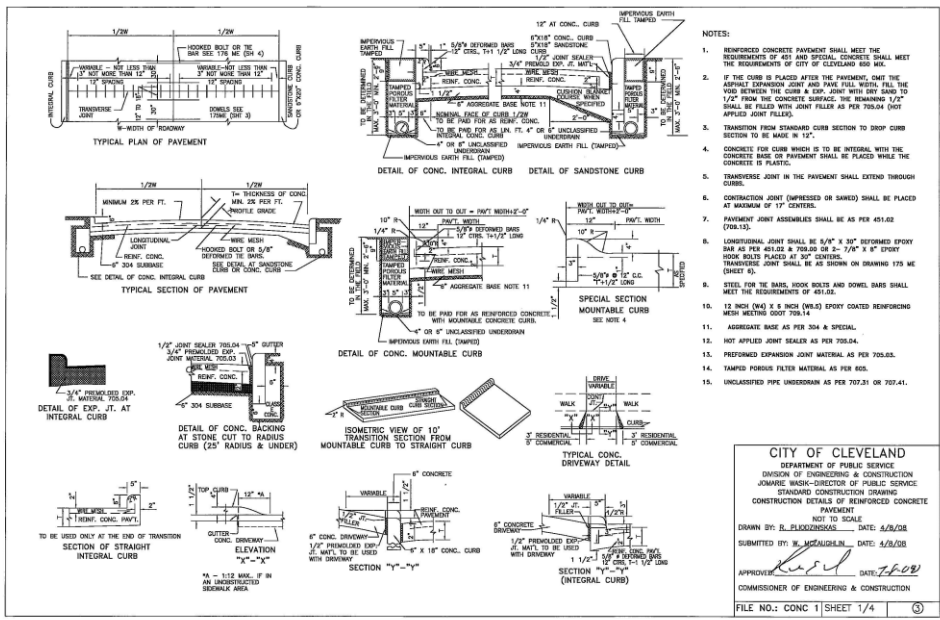


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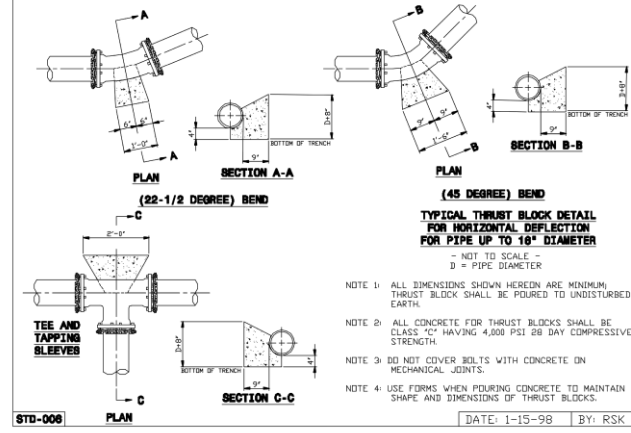
- NOTES:
- 1) PREMIUM BACKFILL CONSISTING OF LOW STRENGTH MORTAR - CONTROLLED DENSITY FILL (LSDM-CDF) "FOLDABLE FILL" IS REQUIRED.
    - a) UNDER ALL EXISTING OR FUTURE PAVEMENTS, SIDEWALKS AND DRIVES WITHIN THE CITY OF CLEVELAND CORPORATION LIMITS AS SPECIFIED IN LOCAL MUNICIPALITIES SERVED BY CWD (SEE LOCAL REQUIREMENTS).
    - b) WHEN PREMIUM BACKFILL IS REQUIRED BY THE LOCAL MUNICIPALITY FOR CASES OTHER THAN THOSE LISTED IN NOTE 1 ABOVE.
    - c) SHALL BE LIMESTONE GRADED PER DDDT 30402 OR DDDT 411. NO SLAG IS PERMITTED.
  - 2) CONTRACTOR SHALL USE SPECIAL CARE IN PLACING THE SAND BEDDING, SO AS TO AVOID SCRAPING OF THE EXISTING COATING, INCLUDING THE PIPE, DISTURBING OR MOVING THE PIPE WHEN COMPACTING THE SAND. THE SAND BEDDING SHALL BE TAMPERED IN SIX (6) INCH LAYERS, SIMULTANEOUSLY ON EACH SIDE OF THE PIPE, AND THOROUGHLY COMPACTED SO AS TO PROVIDE A SOLID BACKING AGAINST THE EXTERNAL SURFACE OF THE PIPE.
  - 3) MINIMUM COMPACT FOR ALL SAND BEDDING, BACKFILL AND PREMIUM BACKFILL SHALL BE 95% STANDARD PROCTOR.
  - 4) PAVEMENT, SIDEWALK OR DRIVES TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPALITY'S SPECIFICATIONS.

STD-001 DATE: 6-21-2012



- NOTES:**
1. REINFORCED CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS OF AASHTO M191 AND SHALL MEET THE REQUIREMENTS OF CITY OF CLEVELAND 801.04.
  2. CURB SHALL BE 12" HIGH AT ALL POINTS. THE APPLIED EXPANSION JOINT AND PAVE WITHIN FALL THE 1/2" FROM THE CONCRETE SURFACE. THE REINFORING 1/2" X 1/2" CONCRETE JOINT FILLER AS PER 705.04 (DOT APPLIED JOINT FILLER).
  3. TRANSITION FROM STANDARD CURB SECTION TO DROP CURB SECTION TO BE MADE IN 1'.  
CONCRETE FOR CURB WHICH IS TO BE INTEGRAL WITH THE CONCRETE IN PAVEMENT SHALL BE PLACED WHILE THE CONCRETE IS PLACING.
  4. TRANSVERSE JOINT IN THE PAVEMENT SHALL EXTEND THROUGH CURB.
  5. CONTRACTION JOINT (EMERGED OR SAVED) SHALL BE PLACED AT MAXIMUM OF 17' CENTERS.
  6. PAVEMENT JOINT ASSEMBLIES SHALL BE AS PER 451.42 (2015).
  7. LONGITUDINAL JOINT SHALL BE 5/8" X 3/8" 30" REFORMED EPOXY RESIN AS PER 452.42 & 705.00. 8" X 1/2" REFORMED EPOXY RESIN SHALL BE USED ON DRAWING 175 MC (SHEET 9).
  8. EPXY FOR THE SAND, ROCK BOTS AND DOWEL BARS SHALL MEET THE REQUIREMENTS OF 451.52.
  9. 12 INCH (W4 X 6 INCH (W6)) EPOXY COATED REINFORCING SHALL BE USED PER 705.04.
  10. AGGREGATE BASE AS PER 304 & SPECIAL.
  11. HOT APPLIED JOINT SEALER AS PER 705.04.
  12. PERFORMED EXPANSION JOINT MATERIAL AS PER 705.05.
  13. TAMPER FORDUS FILTER MATERIAL AS PER 805.
  14. UNCLASSIFIED PIPE UNDERDRAIN AS PER 707.21 OR 707.41.

**CITY OF CLEVELAND**  
DEPARTMENT OF PUBLIC SERVICE  
DIVISION OF ENGINEERING & CONSTRUCTION  
JONAHAS WASKO - DIRECTOR OF PUBLIC SERVICE  
STANDARD CONSTRUCTION DRAWING  
CONSTRUCTION DETAILS OF REINFORCED CONCRETE PAVEMENT  
NOT TO SCALE  
DRAWN BY: R. FLOKOSZKAS DATE: 6/8/08  
SUBMITTED BY: M. WILKINS DATE: 6/8/08  
APPROVED: [Signature] DATE: 7/2/08  
COMMISSIONER OF ENGINEERING & CONSTRUCTION  
FILE NO.: CONC 1 SHEET 1/4



- NOTE 1: ALL DIMENSIONS SHOWN HEREIN ARE MINIMUM. THRUST BLOCK SHALL BE POURED TO UNDISTURBED EARTH.
- NOTE 2: ALL CONCRETE FOR THRUST BLOCKS SHALL BE CLASS "C" HAVING 4,000 PSI 28 DAY COMPRESSIVE STRENGTH.
- NOTE 3: DO NOT COVER BOLTS WITH CONCRETE ON MECHANICAL JOINTS.
- NOTE 4: USE FORMS WHEN POURING CONCRETE TO MAINTAIN SHAPE AND DIMENSIONS OF THRUST BLOCKS.
- STD-006 DATE: 1-15-98 BY: RSK

DATE: DECEMBER 4, 2023  
PROJECT #: 5023  
EAST 93rd STREET APARTMENTS  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)



phone 330.660.5770  
3660 Embassy Parkway  
Fairfax, OH 44133  
mpg-architects.com

C5.1



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phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433

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**SITE DETAILS**

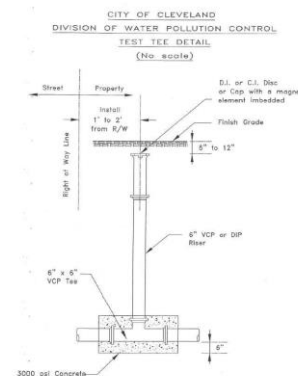
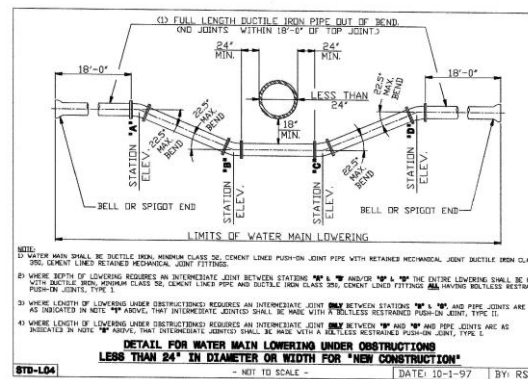
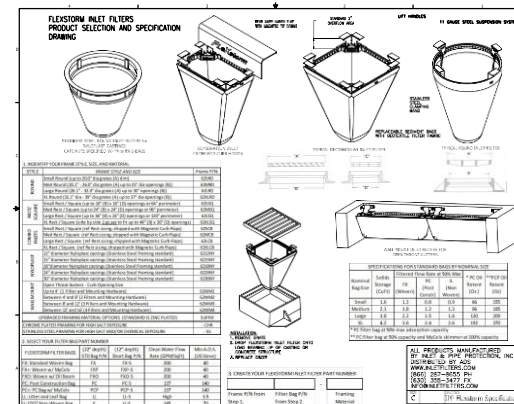
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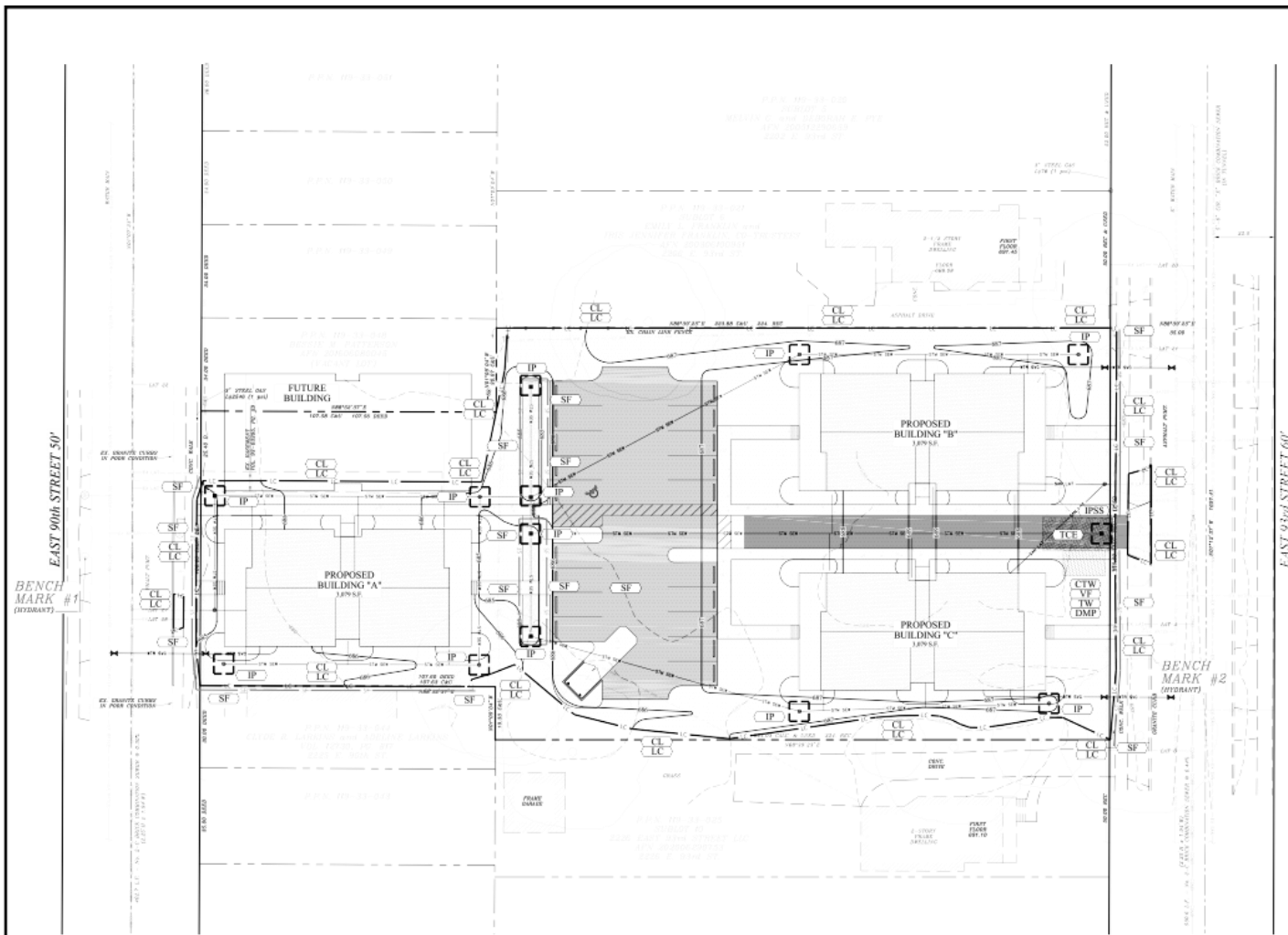
PROJECT #: 5023

**EAST 93rd STREET APARTMENTS**

CLEVELAND, OHIO 44106 (ADDRESS PENDING)

C5.2





**SITE BENCH MARK**  
 BENCH MARK #1  
 TOP OF HIGHWAY  
 ELEVATION = 687.56

**SITE BENCH MARK**  
 BENCH MARK #2  
 TOP OF HIGHWAY  
 ELEVATION = 688.00

**FLOOD ZONE**  
 FLOOD ZONE: "X" SEE CLEARING REPORT  
 FIRM MAP NUMBER: 2410-C-0214  
 COMMUNITY PANEL NUMBER: 2405-0204  
 EFFECTIVE DATE: 04-10-2009

**ABBREVIATED SWP3 AMENDMENT ACTIVITIES**  
 CRISPING: DATE:  
 SITE DEMOLITION: DATE:  
 ABBREVIATED SWP3 AMENDMENT: DATE:

**ABBREVIATED SWP3 RESPONSIBLE PARTY**  
 TO BE DETERMINED

**ESTIMATED CONSTRUCTION DATES**  
 START DATE: TO BE DETERMINED  
 END DATE: TO BE DETERMINED

**ABBREVIATED SWP3 PREPARED**  
 11.26.2023

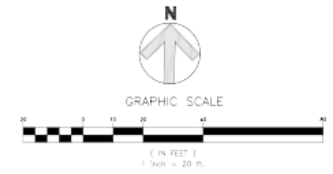
ALL OFF-SITE BORROW OR SPILO AREAS SHALL BE REQUIRED TO BE PERMITTED BY A SEPARATE NOI AND RELATED SWP3

TAG	HATCH/SYMBOL	SWP3 BMP
CL LC	[Symbol]	CLEARING LIMITS LINE FOR CONSTRUCTION
TCE	[Symbol]	TEMPORARY CONSTRUCTION ENTRANCE
CTW VF TW DMP	[Symbol]	CEMENT TRUCK WASHING VEHICLE WASHING TANK WASTE OIL/DEGREASER TREATMENT
IP	[Symbol]	POST PROTECTION, SEE DETAIL ON SHEET C-009
IPSS	[Symbol]	POST PROTECTION, SEE DETAIL ON SHEET C-009
TAG	LINE	SWP3 BMP
SF	[Symbol]	SEED FENCE
CFS	[Symbol]	2" COMPACT GELER SOCK SHALL BE REQUIRED TO BE SET FENCE AT CONTRACTORS DISCRETION.

**INSPECTION CHECKLIST**

INSPECTIONS SHALL BE MADE ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD

DATE	INSPECTOR	WEATHER CONDITIONS	RAINFALL AMOUNT	SEDIMENT DISCHARGE	DISCHARGE LOCATION	BMPs FAILED	ADDITIONAL BMPs NEEDED	CORRECTION MADE



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phone 330.666.5770  
 3660 Embassy Parkway  
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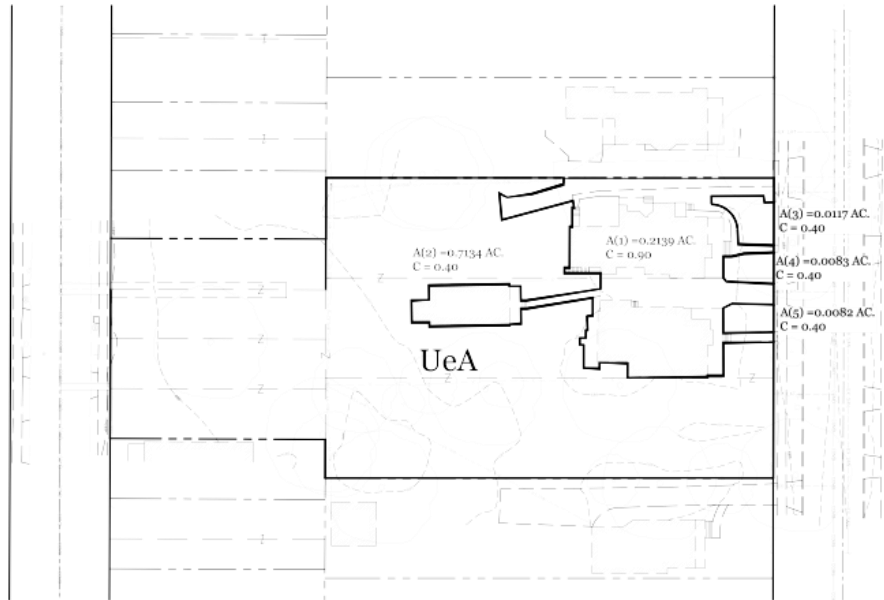
**ABBREVIATED SWP3**  
 PROJECT #: 5023  
 DATE: DECEMBER 4, 2023  
**EAST 93rd STREET APARTMENTS**  
 CLEVELAND, OHIO 44106 (ADDRESS PENDING)

**C6.0**



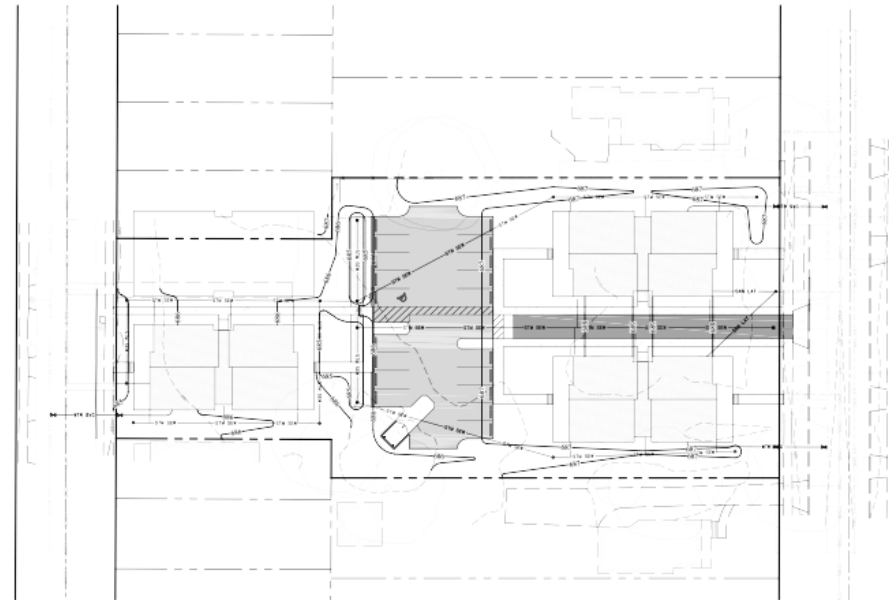
Reg. No.: 61709

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PRE-DEVELOPED DRAINAGE MAP & SOILS MAP

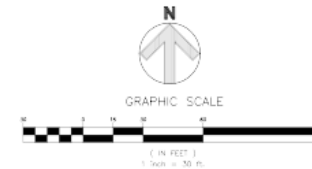
PRE-DEVELOPED: AREA = 0.9555 AC., C = 0.51, TC = 15 MIN.  
UeA - Urban land-Ehlers complex, nearly level



STORM DRAINAGE MAP & POST DEVELOPED DRAINAGE

POST-DEVELOPED: AREA = 0.9555 AC., C = 0.85, TC = 15 MIN.

A(R1) = 1.05 AC.  
C = 0.90  
USE THIS AS EXAMPLE TEXT FOR  
DRAINAGE AREAS



phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433  
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ABBREVIATED SWP3 DETAILS

PROJECT #: 5023 DATE: DECEMBER 4, 2023

EAST 93rd STREET APARTMENTS

CLEVELAND, OHIO 44106 (ADDRESS PENDING)

C7.0



**SPECIFICATIONS FOR MULCHING**

- MULCH AND OTHER APPROPRIATE VEGETATIVE MATERIALS SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING OF THE AREA TO PREVENT EROSION. EXPOSED SOILS SHALL BE COVERED WITHIN 10 DAYS OF GRADING. MULCHING SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING. MULCHING SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
- MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
  - STRAW: SHALL BE 1.50 TO 2.00 INCHES IN LENGTH AND 1/4 TO 1/2 INCHES IN WIDTH. IT SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING. MULCH SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
  - WOOD CHIPS: SHALL BE 1.50 TO 2.00 INCHES IN LENGTH AND 1/4 TO 1/2 INCHES IN WIDTH. IT SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING. MULCH SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
  - COMPOST: SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING. MULCH SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
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**MATERIALS**

- MULCH SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 60 DAYS. MULCH SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
- MULCH SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
- MULCH SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.

**SITE PREPARATION**

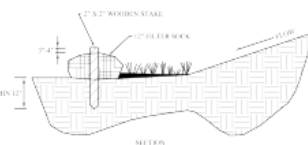
- SOIL AMENDMENTS: MULCH SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
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**SOIL PREPARATION**

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**MATERIALS**

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- MATERIALS: COMPOST FILTER SOCKS SHALL BE APPLIED TO EXPOSED SOILS WITHIN 10 DAYS OF GRADING.
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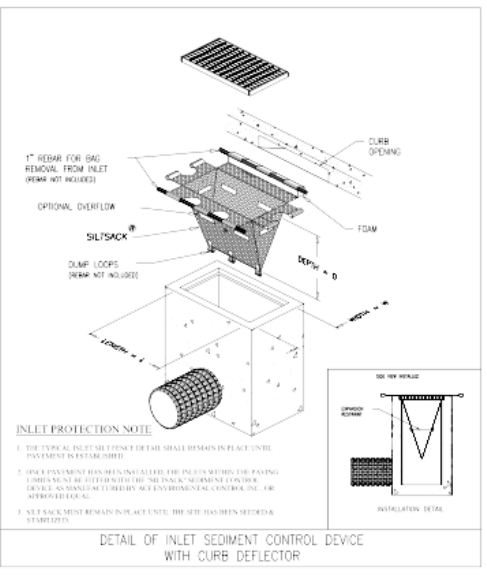
**(CFS) COMPOST FILTER SOCK DETAIL**  
REFER TO ONLY NOT TO SCALE

**SPECIFICATIONS FOR DUST CONTROL**

ADHESIVES FOR DUST CONTROL			
ADHESIVE	WATER DILUTION (ADHESIVE:WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12:5:1	FINE	235
TESSIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

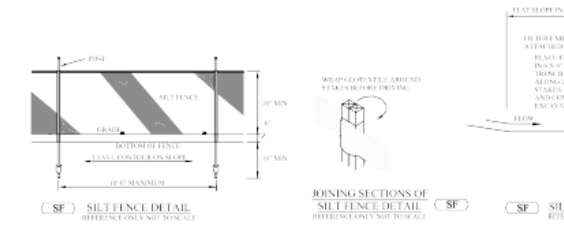
- VEGETATIVE COVER AND MULCH: APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN BARE FOR OVER 21 DAYS. SEEDING EXISTING TREES AND LARGE SHRUBS WITHIN THE FOLLOWING RADIUS AND AREA ADJACENT TO EXISTING DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES, AND TREE AND NATURAL AREA PROTECTION FOR MORE INFORMATION.
- WATERING: SPRAY SEED WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRASSING AND AFTER. SEED SHOULD BE APPLIED TO BARE AREAS AND ADJACENT TO EXISTING DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES, AND TREE AND NATURAL AREA PROTECTION FOR MORE INFORMATION.
- SPRAY ON ADHESIVE: APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OF MANUFACTURER'S INSTRUCTIONS.
- STONE: GRADED ROADWAYS AND OTHER SURFACE AREAS SHALL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM STABILIZATION GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS: EXISTING BARRIERS AND VEGETATION SHALL BE MARKED AND PRESERVED. NEW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERIM STABILIZATION TIMES. THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- CALCIUM CHLORIDE: THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADERS AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLY AT THE RATE SPECIFIED BY THE MANUFACTURER. IT IS TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- OPERATION AND MAINTENANCE: WHEN TEMPORARY DUST CONTROL MEASURES ARE USED REPEATED TREATMENT SCHEDULES SHOULD BE APPLIED AS NECESSARY TO ACCOMPLISH CONTROL.

STREET CLEANING: PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NECESSARY, TO PREVENT STREET CLOGGING OR BLOCKAGE OF DRAINAGE OR SCRAPERS.



**(PSS) SILT SACK DETAIL**

**(CFS) COMPOST FILTER SOCK DETAIL**  
REFER TO ONLY NOT TO SCALE



**(SF) SILT FENCE DETAIL**  
REFER TO ONLY NOT TO SCALE

**(CFS) COMPOST FILTER SOCK DETAIL**  
REFER TO ONLY NOT TO SCALE

**(SF) SILT FENCE SECTION**  
REFER TO ONLY NOT TO SCALE

**(PSS) SILT SACK DETAIL**  
REFER TO ONLY NOT TO SCALE

**(GFI) GEOTEXTILE INLET PROTECTION**  
REFER TO ONLY NOT TO SCALE



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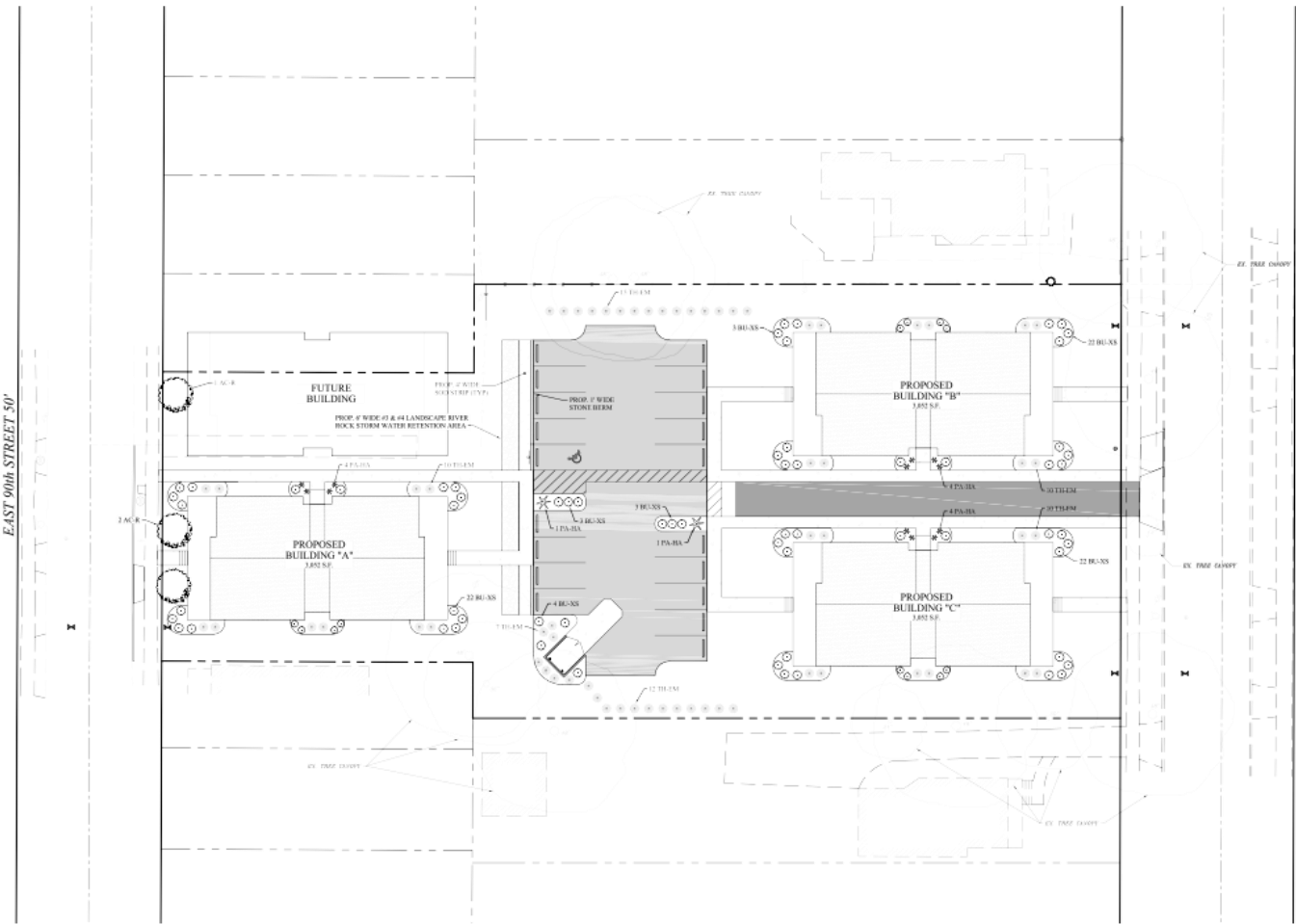
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DATE: DECEMBER 4, 2023  
PROJECT #: 5023  
ABBREVIATED SWP3 DETAILS  
EAST 93rd STREET APARTMENTS  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

C9.0

EAST 90th STREET 50'



EAST 93rd STREET 60'

PLANT SCHEDULE			
ID	QTY	Botanical Name	COMMON NAME
TH-EM	64	THELLO EMBELIS	EMERALD GREEN ANEMONE
BU-SX	96	BUSCH BURNING	GREEN VELVET BURNING
PA-RS	14	PENNSYLVANIA BLUE BELL	BLUE MOUNTAIN GRASS
AC-R	2	ACER RUBRA	RED SWAMP WHITE



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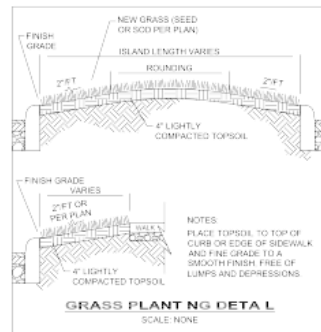
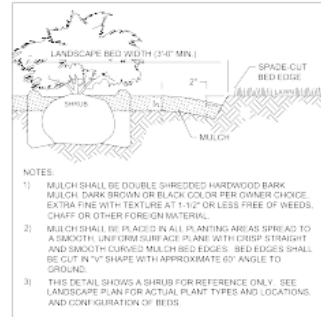
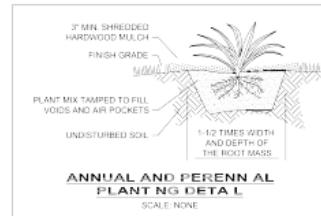
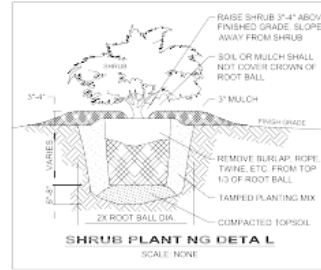
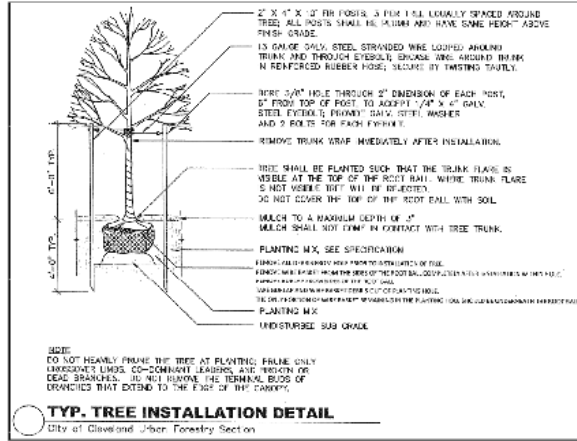
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phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433



LANDSCAPE PLAN  
PROJECT #: 5023  
DATE: DECEMBER 4, 2023  
EAST 93rd STREET APARTMENTS  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

L1.0  
L1.0



**LANDSCAPE NOTES**

- 1) GRAPHICAL SCREENING AND SHADING IS USED TO EMPHASIZE EXISTING CONDITION ITEMS AND SOME NEW IMPROVEMENTS TO HIGHLIGHT SELECTED TRADE WORK.
- 2) ALL DISTURBED AREAS SHALL BE RESEED PER PLAN.
- 3) ALL LAWN, TREE AND PLANT INSTALLATION SHALL BE PERFORMED BY A FIRM SPECIALIZING IN LANDSCAPE WORK.
- 4) THE CONTRACTOR MUST DETERMINE THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES AND THEIR EXEMPTIONS AND PERFORM WORK IN A MANNER THAT WILL AVOID DAMAGE OF UTILITIES. HAND EXCAVATE, AS REQUIRED.
- 5) THE CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTS NOT DESIGNATED FOR REMOVAL AND TREE OR PLANT INCLUDING ROOTS, DAMAGED BY CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH LIKE SPECIES AND SIZE WITH NO ADDITIONAL COMPENSATION.
- 6) ALL TREES AND PLANTS SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" AND BE LABELED WITH A WATERPROOF TAG INDICATING SPECIES AND SIZE. SPECIFIED TREE AND PLANT SIZES ARE MINIMUM SIZES TO BE INSTALLED. ANY PLANT SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT. IF QUANTITIES LISTED IN PLANT MATERIAL LIST DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN.
- 7) TREE TRUNKS SHALL BE WRAPPED PRIOR TO LEAVING THE NURSERY TO PROTECT FROM INJURY DURING TRANSPORT. WRAPPING SHALL BE REMOVED BUT ONLY AFTER PLANTED. PLANT MATERIALS SHALL BE PROVIDED WITH PROTECTIVE COVERINGS DURING TRANSPORT TO REDUCE DESICCATION.
- 8) THE CONTRACTOR SHALL HAVE SOIL TESTS PERFORMED AT HIS EXPENSE BY A TESTING LABORATORY TO DETERMINE AMENDMENTS, IF ANY, TO EXISTING SOILS.
- 9) PLANT MIX SHALL CONSIST OF EXISTING SOIL FREE OF DEBRIS, STICKS AND STONES GREATER THAN 1/2" AND CONTAIN TWENTY PERCENT (20%) ORGANIC MATTER BY VOLUME. 50% OF TOPSOIL SHALL PASS A 2.0 MM. SIEVE. ADD SOIL AMENDMENTS TO THE EXISTING SOIL, AS REQUIRED BY THE SOIL TEST. ORGANIC MATTER SHALL CONSIST OF COMPOSTED LEAVES, COMPOSTED SLUDGE OR OTHER APPROVED MATERIAL. PEAT MOSS IS NOT AN ACCEPTABLE MATERIAL AND GRANULAR SOIL MUST TO TOPSOIL MIX, APPLIED PER MANUFACTURER'S RECOMMENDED RATES FOR THE SIZE AND TYPE OF PLANT MATERIAL, SPECIFIED. IF NO IRRIGATION IS APPLIED.
- 10) TREES AND PLANTS SHALL BE DELIVERED AFTER PREPARATION FOR PLANTING HAS BEEN COMPLETED, BUT NOT STORED MORE THAN 2 WEEKS. PLANT IMMEDIATELY UPON DELIVERY OR PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST.
- 11) LAYOUT OF TREES AND PLANT MATERIALS MUST BE ACCEPTED BY THE ARCHITECT PRIOR TO PLANTING.
- 12) PLANTING BED PREPARATION: LOOSEN EXISTING SOIL, ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4\"/>
- 13) MULCH ALL PLANTING BEDS AND DISTURBED AREAS WITH A 3\"/>
- 14) ALL NYLON ROPING, TWINE, SHALL BE REMOVED, PRIOR TO PLANTING. ALL NON-TREATED BURLAP AND/OR NON-ROOF PROOF BURLAP TO BE REMOVED FROM TOP HALF OF ROOTBALL. ALL TREATED BURLAP OR POLYPROPYLENE BURLAP TO BE COMPLETELY REMOVED FROM PLANTING PIT.
- 15) FERTILIZER EACH TREE AND SHRUB PLANTING TO RECEIVE GRANULAR NITROGEN (18-6-12) FERTILIZER OR EQUAL APPLIED AT MANUFACTURER'S RECOMMENDED RATES.
- 16) IF NO IRRIGATION IS INSTALLED WATER SHALL BE FURNISHED FOR WATERING TREES AND PLANTS ON A WEEKLY BASIS IN ABSENCE OF 1\"/>
- 17) TAGS, STRINGS, RIPSES AND WIRES SHALL BE REMOVED FROM TREES AND PLANTS ABOVE AND BELOW GRADE.
- 18) BEFORE FINAL INSPECTION BY THE ARCHITECT, ALL TREES AND PLANTS SHALL BE IN PLACE AND UNDER THE CARE OF THE CONTRACTOR FOR A PERIOD OF ESTABLISHMENT. THIS PERIOD SHALL BEGIN UPON COMPLETION OF PLANTING OPERATIONS AND CONTINUE UNTIL OCTOBER 1ST, BUT IN NO CASE BE LESS THAN ONE (1) GROWING SEASON FROM JUNE 1ST TO OCTOBER 1ST. DURING THIS PERIOD, HORTICULTURAL PRACTICES SHALL BE FOLLOWED THAT WILL ENSURE THE VIGOR AND GROWTH OF TRANSPLANTED MATERIAL INCLUDING WATERING, MULCHING, STAKING, GUYING, WEEDING, CULTIVATING AND PRUNING.
- 19) ALL TREES AND PLANTS SHALL BE GUARANTEED AND COVERED BY A MAINTENANCE BOND FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF ACCEPTANCE BY THE ARCHITECT. ANY TREE OR PLANT WHICH DIES, TURNING BROWN OR DECEASES PRIOR TO ACCEPTANCE SHALL BE REMOVED AND REPLACED WITH THE SAME SPECIES, QUANTITY AND SIZE AND MEET ALL SPECIFICATIONS BEFORE GREAT THE END OF THE GUARANTEED PERIOD AT NO ADDITIONAL COST TO THE OWNER. TREES OR PLANTS REPLACED IN THE FALL, THAT DIE BEFORE OR DURING THE SPRING PLANTING SEASON SHALL BE REPLACED IMMEDIATELY.
- 20) ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE GRADED TO A SMOOTH, UNIFORM SURFACE WITH LOOSE, UNIFORM, FINE TEXTURE INCLUDING REMOVAL OF ALL STONES GREATER THAN 1/2\"/>
- 21) BED EDGES SHALL BE CUT IN A DEFINED "V" SHAPE WITH AN APPROXIMATE 60° ANGLE TO THE GROUND AND TO A MINIMUM OF 2\"/>
- 22) BOTH STOCKPILED AND FURNISHED TOPSOIL SHALL BE SCREENED FROM CLAY LUMPS, BRUSH, WEEDS, LITTER, ROOTS, STONES LARGER THAN 1/2\"/>
- 23) IF THERE IS NOT ENOUGH TOPSOIL FROM THE INITIAL STRIPPING OPERATIONS, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL AS NEEDED.
- 24) LAWN AREAS SHALL RECEIVE A 4\"/>
- 25) DO NOT SEED UNTIL ACCEPTANCE OF FINISH GRADE BY THE ARCHITECT.
- 26) THE CONTRACTOR SHALL ESTABLISH A SMOOTH ACCEPTABLE LAWN INCLUDING SOIL CONDITIONING, FINE GRADING, WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING AS NEEDED. THE OWNER WILL PROVIDE A FINISHED GRADE WITHIN 3\"/>
- 27) SEEDING MIXTURES  
A. LAWN SEED MIX SHALL BE 65% 3 VARIETY BLEND CHEERING RED FESCUE, 20% 3 VARIETY BLEND PERENNIAL RYE AND 15% KENTUCKY BLUEGRASS BLEND. FERTILIZE WITH A NON-BURNING MEASURED RELEASE FERTILIZER, OR RAKE IN A LIGHT APPLICATION OF 12-12-12 AT A RATE OF 15 LB PER 1000 S.F. BEFORE SEEDING.  
B. BASKET ROOT-TUM SEED MIX SHALL BE FREEDOM LAWN II PER DHD PRAMIRE NURSERY OR EQUAL.  
28) SOD, IF SPECIFIED, SHALL BE A WELL-ROOTED KENTUCKY BLUE GRASS BLEND OBTAINED FROM A COMMERCIAL SOD NURSERY FREE OF DANDELIONS, CRABGRASS AND NOXIOUS WEEDS (I.E. WILD MUSTARD, THISTLES, QUACK GRASS, ETC.)  
29) MOISTEN PREPARED AREAS BEFORE SCODDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE INSTALLING SOD. DO NOT CREATE A MUDDY SOIL CONDITION.  
30) DO NOT SEED OR SOD IF GROUND IS FROZEN OR EXTREMELY WET.  
31) LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUT ENDS AND SIDES OF SOD STRIPS DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK FROM BOARDS TO AVOID DAMAGE TO SUBGRADE OR SOD. TAMP OR ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE. WORK BIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS TO AVOID SMOTHERING OF ADJACENT GRASS. ANCHOR SOD ON SLOPES WITH WOOD PEGS TO PREVENT SLIPPAE.  
32) WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.  
33) ALL SCODDING WORK SHALL BE GUARANTEED FOR ONE (1) FULL GROWING SEASON TO COMMENCE UPON FINAL ACCEPTANCE. SOD AREAS SHALL BE REPLACED IF SATISFACTORY ESTABLISHMENT DOES NOT OCCUR.  
34) MAINTAIN LAWNS THROUGH TWO CUTTINGS AND ASSUME FULL RESPONSIBILITY FOR A FULL AND HEALTHY GROWTH. RESEED ALL BARE SPOTS.  
35) THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN UP ASSOCIATED WITH THEIR CONSTRUCTION PROCEDURES.



Reg. No.: 61709

**REVISIONS**

NO.	DESCRIPTION

phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44133  
mmp-architects.com

**MPP ARCHITECTS**  
MANN - PAISSONS - GRAY

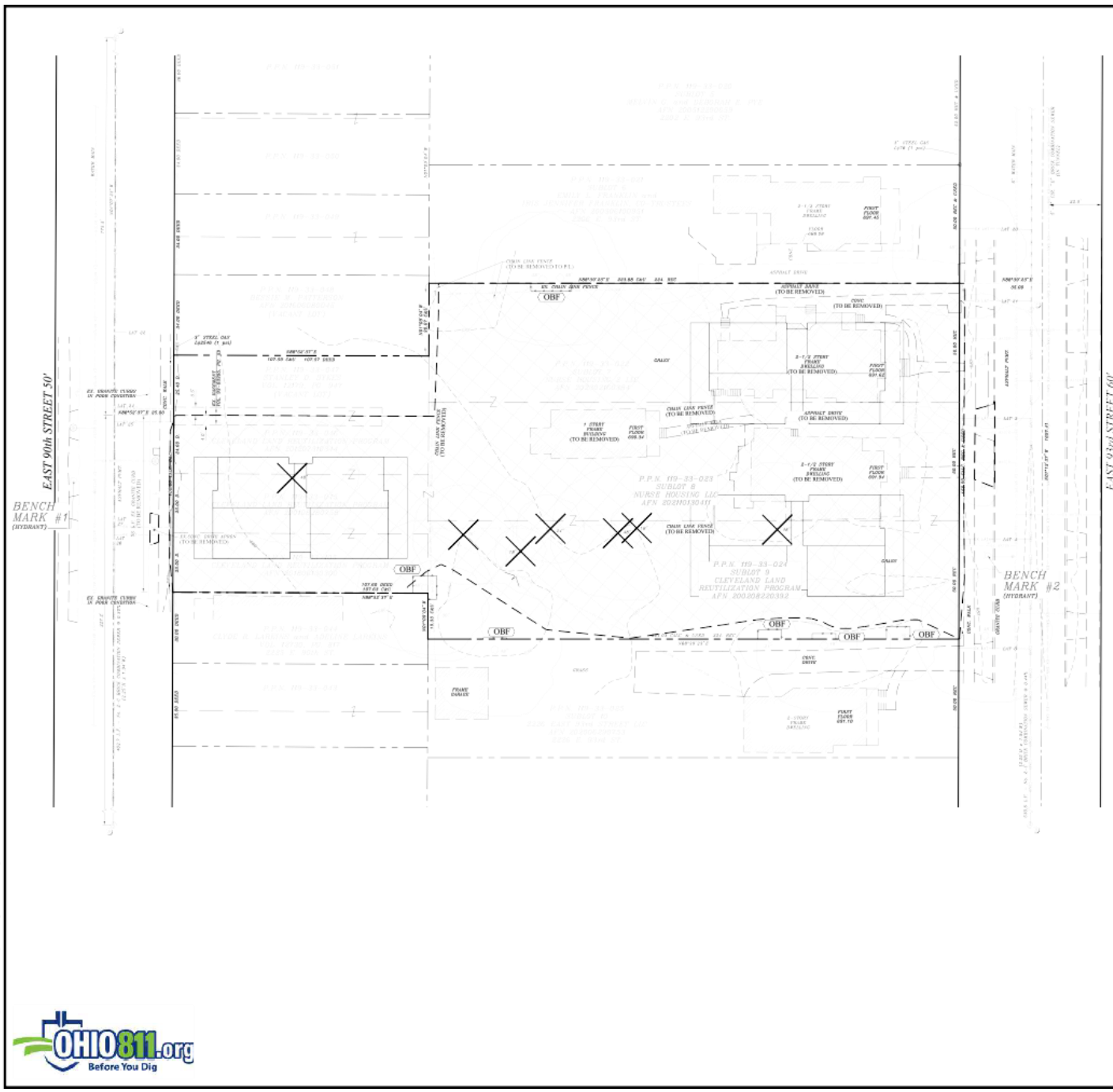
**LANDSCAPE NOTES**

PROJECT #: 5023      DATE: DECEMBER 4, 2023

**EAST 93rd STREET APARTMENTS**  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

**L1.1**

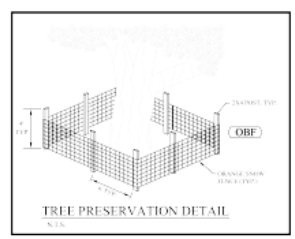




<b>SITE BENCH MARK</b> BENCH MARK #1 TOP OF HYDRANT	<b>SITE BENCH MARK</b> BENCH MARK #2 TOP OF HYDRANT
ELEVATION: 687.56	ELEVATION: 688.08

**EX. COMBINED  
SEWER STRUCTURE  
SCHEDULE**

- 1. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" BRICK JERSEY - 7' x 7'
- 2. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" BRICK JERSEY - 7' x 7'
- 3. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" BRICK JERSEY - 7' x 7'
- 4. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" BRICK JERSEY - 7' x 7'
- 5. EX. EXISTING MANHOLE  
200' DIA. AL. 2'-0" BRICK JERSEY - 7' x 7'



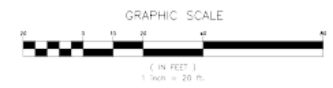
**SYMBOL LEGEND**

- UTILITY
- WATER MAIN
- WATER METER MANHOLE
- SEWER MANHOLE
- EXISTING MAN
- UTILITY POLE

**LEGEND**

- 500 AC. AREA OF DEMOLITION & CLEARING
- TREE TO BE REMOVED
- ORANGE BARRIER FENCE

UTILITY POLE AND MANHOLE BY EXISTING STRUCTURES  
MANHOLE TEXT REPRESENTS PROPOSED OPERIES



Reg. No.: 61709

**REVISIONS**

NO.	DATE	DESCRIPTION

**MPG ARCHITECTS**  
MANN • PAISSONS • GRAY  
phone 330.666.5770  
3660 Embassy Parkway  
Fairlawn, OH 44433  
mpg-architects.com

**TREE PRESERVATION PLAN**  
PROJECT #: 5023  
DATE: DECEMBER 4, 2023  
**EAST 93rd STREET APARTMENTS**  
CLEVELAND, OHIO 44106 (ADDRESS PENDING)

**L1.2**

December 12, 2023

Matthew Weber, P.E.  
Weber Engineering Services  
2555 Hartville Road, Suite B  
Rootstown, OH 44272

**Re: East 93<sup>rd</sup> Apartments - Cleveland, Ohio**  
**Title IV Review Applicability Determination**

Dear Ms. Weber,

The Title IV Combined Sewer Code of the Northeast Ohio Regional Sewer District's (NEORS) Code of Regulations provides the NEORS with the authority to control combined sewer overflows (CSOs) from the combined sewer system and to control peak flows from local combined sewer systems at the point of connection into sewers owned by the NEORS or a member community. Therefore, the NEORS has the authority to review all requests for connection approval within the combined sewer system.

Based on preliminary information, the referenced project:

- Will be subject to review by the NEORS under Title IV - Combined Sewer Code. The proposed stormwater management design for the site must meet the current NEORS Title IV Combined Sewer Code requirements, detailed in the attached guidance document, **Submittal Requirements for Connections to the Combined Sewer System - Guidelines for Review and Approval**.
- Will not be subject to review by the NEORS under Title IV - Combined Sewer Code.

If you have any questions, please feel free to contact me at ext. 6881.

Kind Regards,



Jeffrey Jowett,  
Community Discharge Permit Program Manager

cc:  
Elie Ramy, Cleveland WPC  
Adam Davenport, Cleveland City Planning Commission

**East Design Review Case Detail Report**

**Project Information**

East CASE # EAST 2023-037

Project Name: **East 93rd Street Apartments**  
 Address: **E 93rd**  
 Contact: **Kevin O'Malia**  
 Company:  
 Owner/Rep: **Kevin O'Malia**  
 Architect/Contractor: **MPG Architects**  
 Phone: **3306665770**  
 Email: **kevin@mpg-architects.com**  
 General Description:  
 Notes:

**ACTIONS/APPROVALS/DISAPPROVALS**

<b>Action (Not Final)</b>	
Action Date:	February 13, 2024
Committee:	Local Design Review Committee
Action Type:	Revised Plan Submission
Notes:	1st Motion: Hills, "Revise & Resubmit regarding planting. Planting should be simplified with larger masses of single plant species. Planting slide should be completed, labeled and called out. Parking lot should be adequately screened from all angles, simplify plants in parking lot islands, & add street trees on E 90th St behind sidewalk. Ted Ferringer, "Revise the shapes on each building to be offsetting color compared to the overall field color of siting, be open to making it a lighter color if not white. Give some thought into what the color of the 4th house or building may be if it were to be built." 2nd Motion: Mayes Caito, Yes Matt Hills, Weslian, Yes Mayes, Ferringer, Khrys, Yes
<b>Action (Final)</b>	
Action Date:	February 27, 2024
Committee:	Local Design Review Committee

Action Type:	Approved with Conditions
Conditions:	1st Motion: Hills, Approve w/ conditions: Add trees back to the two islands and one species in each planting bed 2nd Motion: Weslian Ferringer, Yes Hills, 1st Motion Weslian, 2nd Motion Khrys, Yes
Notes:	
<b>City Planning Commission (Final)</b>	
Action Date:	
Committee:	City Planning Commission
Action Type:	
Conditions:	

<b>Action (Not Final)</b>	
Action Date:	December 5, 2023
Committee:	Staff
Action Type:	Revised Plan Submission
Notes:	
<b>Action (Final)</b>	
Action Date:	December 12, 2023
Committee:	Local Design Review Committee
Action Type:	Schematic Design Approval
Conditions:	1st Motion: Ferringer, Schematic Approval, w/ comments: include exterior material selection and colors to see if they differ, landscape plans, exterior site lighting. Design comments, consider adding additional decorative elements to exterior design, study materiality for the bases of columns and portions, study relationships of windows on the front fasad to gable 2nd Motion: Dawn Mayes Caito: Yes Hills: Yes Ferringer: Pesta: Yes
Notes:	
<b>City Planning Commission (Final)</b>	
Action Date:	December 15, 2023
Committee:	City Planning Commission
Action Type:	Approved with Conditions

Conditions:	Applicant to explore further the parking, sidewalks, landscaping, and site amenities.
-------------	---

<b>Action (Not Final)</b>	
Action Date:	August 10, 2023
Committee:	Staff
Action Type:	Initial Plan Submission
Notes:	
<b>Action (Final)</b>	
Action Date:	August 22, 2023
Committee:	Local Design Review Committee
Action Type:	Conceptual Approval
Conditions:	1st Motion: Matt Hills, Conceptually Approve, w/ conditions: Take a look at alternatives to a 20ft drive, look at how to bring accessible sites to interior of site, look at how to create more of a center court, provide information on demolition of buildings to explain to committee why it makes sense to move those buildings, bring additional detail of exterior of proposed buildings to align better with architectural context, consider adding another residential unit to this site 2nd Motion: Dawn Mayes Caito: Yes Ferringer: Yes Hills: Yes Mayes: Yes
Notes:	
<b>City Planning Commission (Final)</b>	
Action Date:	
Committee:	City Planning Commission
Action Type:	
Conditions:	

# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Cleveland City Planning Commission

## Euclid Corridor–Buckeye Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Euclid Corridor–Buckeye Design Review

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**EC2023-024 – Circle Square & Library Lofts Site  
Graphics/Wayfinding: Seeking Final Approval**

**Project Location: Bound by Euclid – Chester/MLK Jr. – East 105th  
Street**

**Project Representatives: Paul Volpe, Volpe Urban Design, Steve  
Rubin, Midwest Development Partners**

March 1, 2024

---

**Ward 9- Councilmember Conwell**

**SPA: University Circle**

**Submission for Review by the City of Cleveland:  
Design Review Committee - 02/29/2024  
City Planning Commission - 03/01/2024**

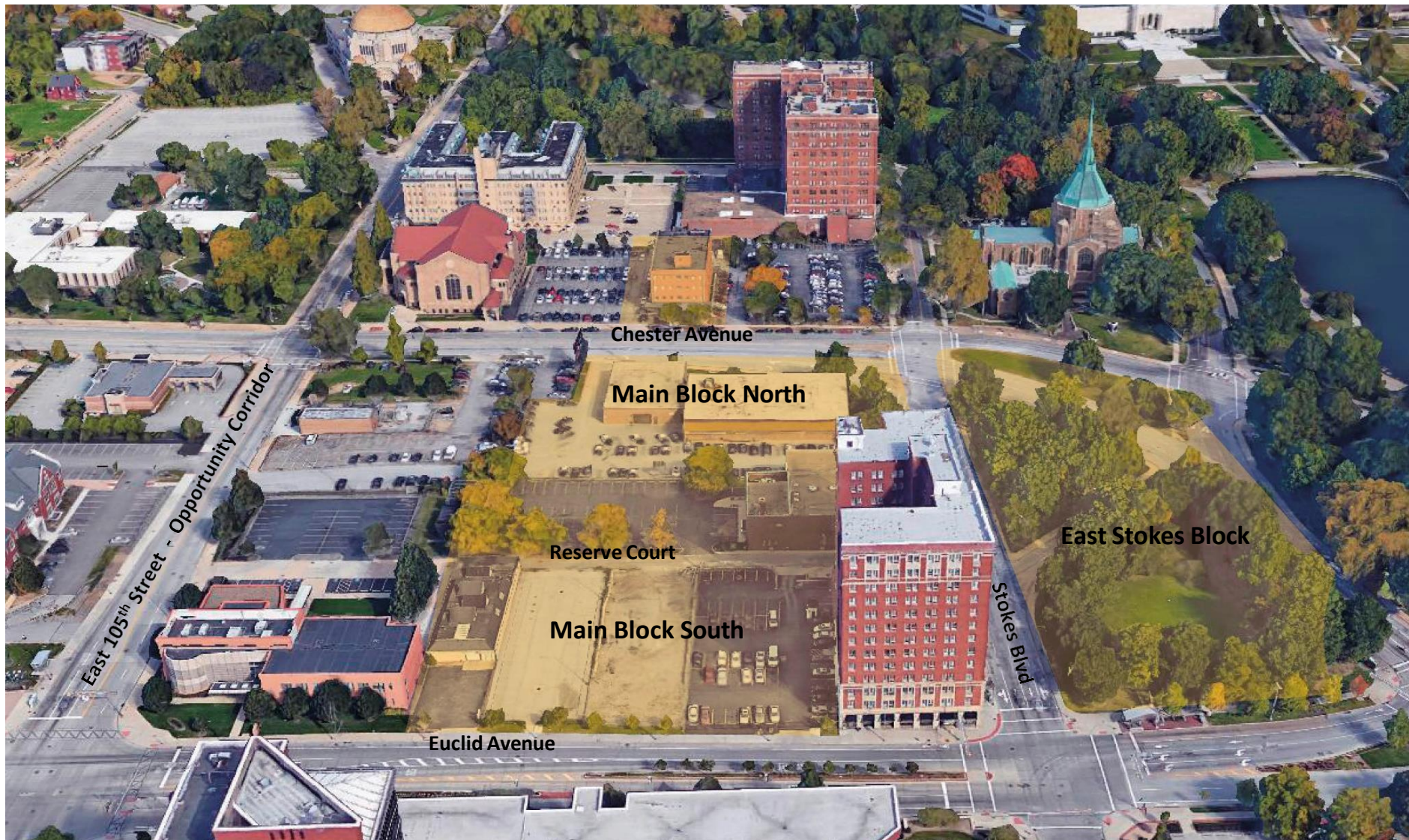


## Site Graphics and Wayfinding Locations and Design Proposals

**The Circle Square neighborhood has been continually under the process of planning, design, and construction over the last 7 years. As over \$200mm of development is completed and underway, including the reconstruction of street and pedestrian infrastructure, the addition of site graphics, wayfinding information, identity markers, and other placemaking symbols, are important to the character and quality of this city center linking people to place.**

01/22/24





■ Developer Controlled

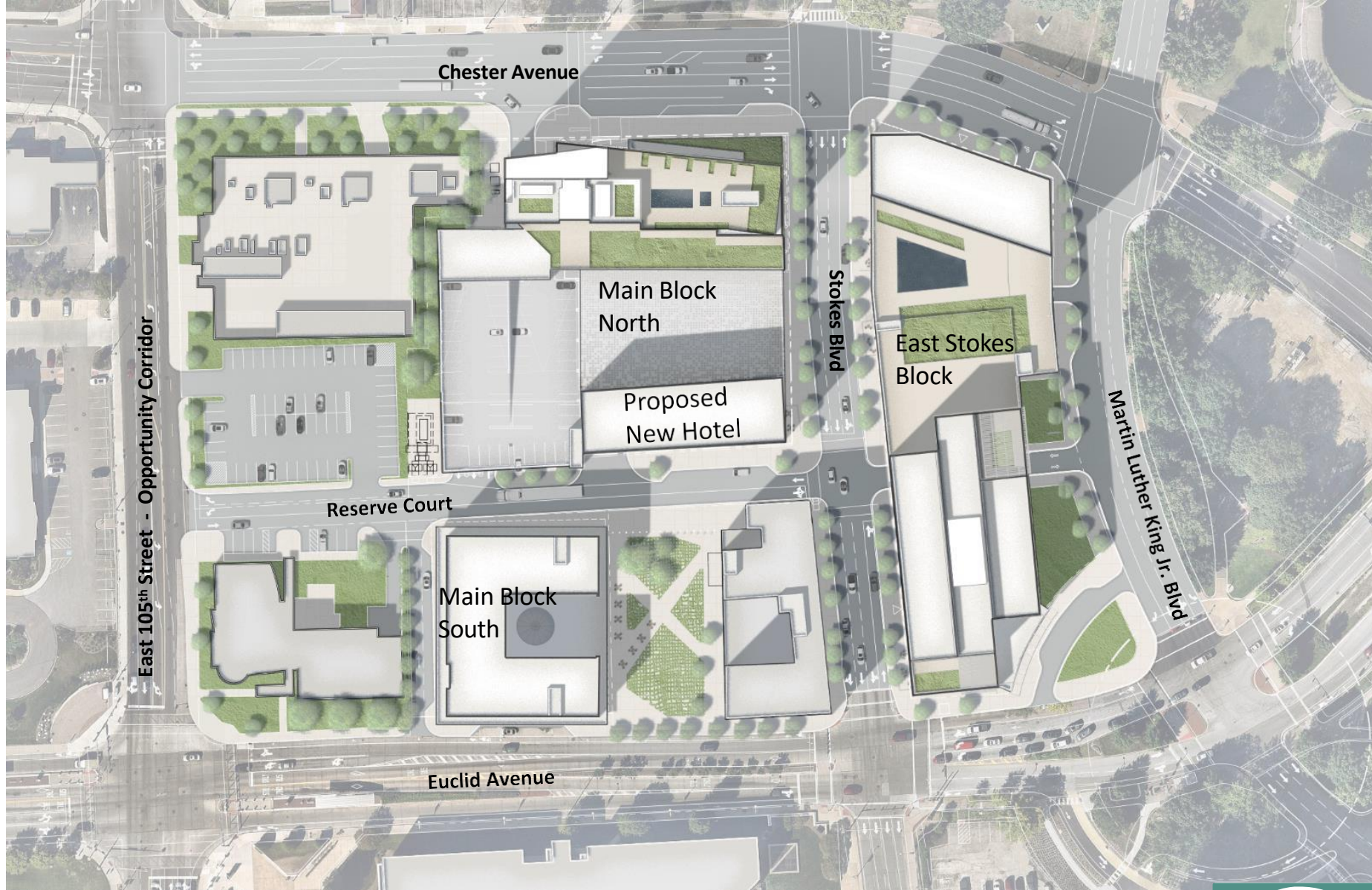
*A complete transformation of central University Circle properties*



Property Ownership

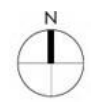


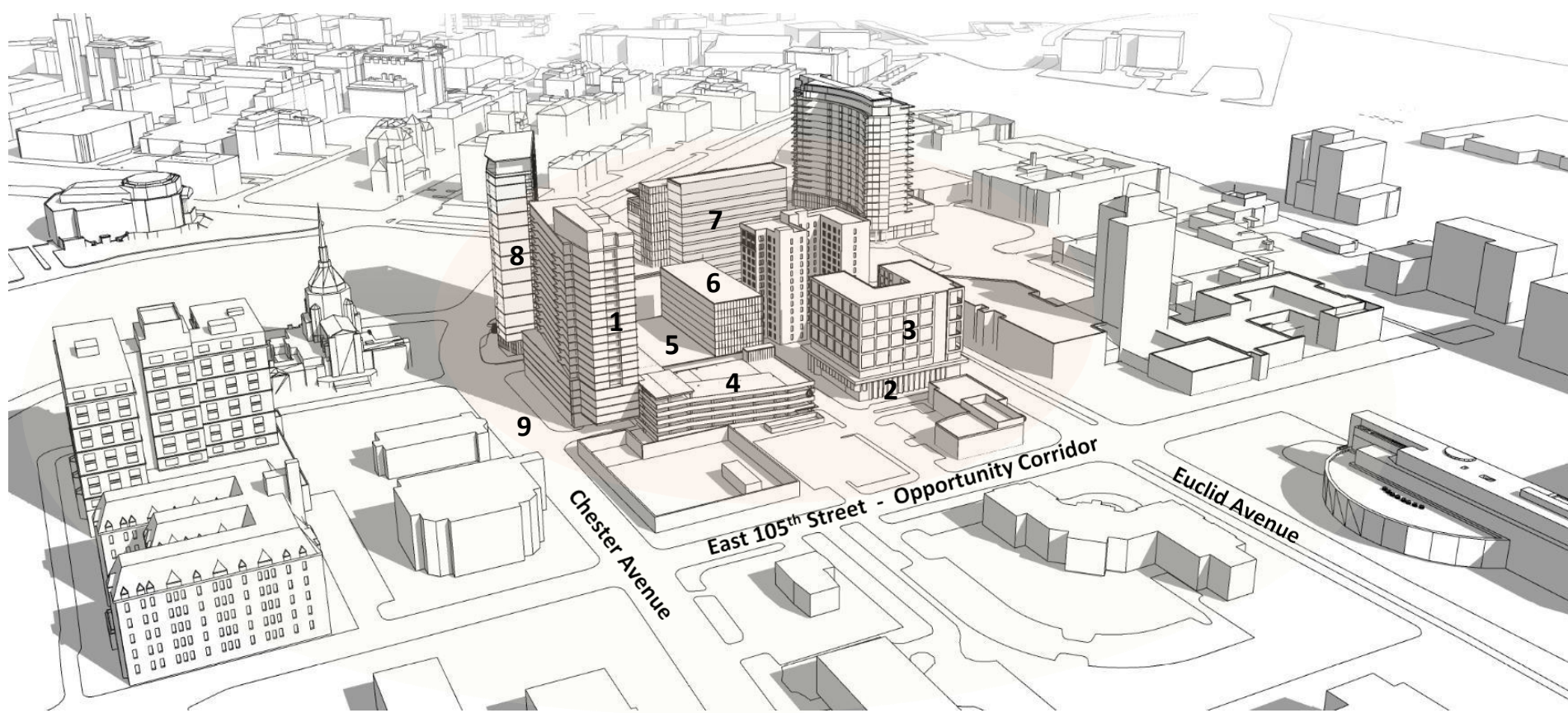




*With buildings of distinct and diverse use, character, and scale*

### Site Development Plan





### Circle Square District Developments

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1. Artisan Residential Apartments<br/>Artisan Stage 1 Parking Garage<br/>Main Block North -Street Level Retail</li> <li>2. Martin Luther King Jr. Public Library</li> <li>3. Library Lofts Residential Apartments</li> <li>4. Main Block North Stage 2<br/>Parking Garage</li> </ul> | <ul style="list-style-type: none"> <li>5..Main Block North Stage 3<br/>Parking Garage</li> <li>6. Main Block North Hotel</li> <li>7. City Circle Tower</li> <li>8. Chester Tower</li> <li>9. Infrastructure &amp;<br/>Streetscape</li> </ul> |
|---|--|

### Currently Planned Programming

Residential:	797 living units
Retail:	66,040 s.f. street level shopping
Hotel:	125 – 178 rooms
Library:	27,810 s.f. on 2 levels
Parking Garages:	1,525 public and reserved spaces



***Cleveland's University CIRCLE receives a New Urban SQUARE***  
**A City Center at the Center of the City's Cultural District**





Unique, Vibrant, and Beautiful, Mixed-use Streets and Buildings.....**Transform Neighborhoods**











**Neighborhood Streetscape Experience**





Viewing South Down Stokes Blvd - The District's 'Main Street'



Walking North on Stokes Blvd. with Activated Street Life

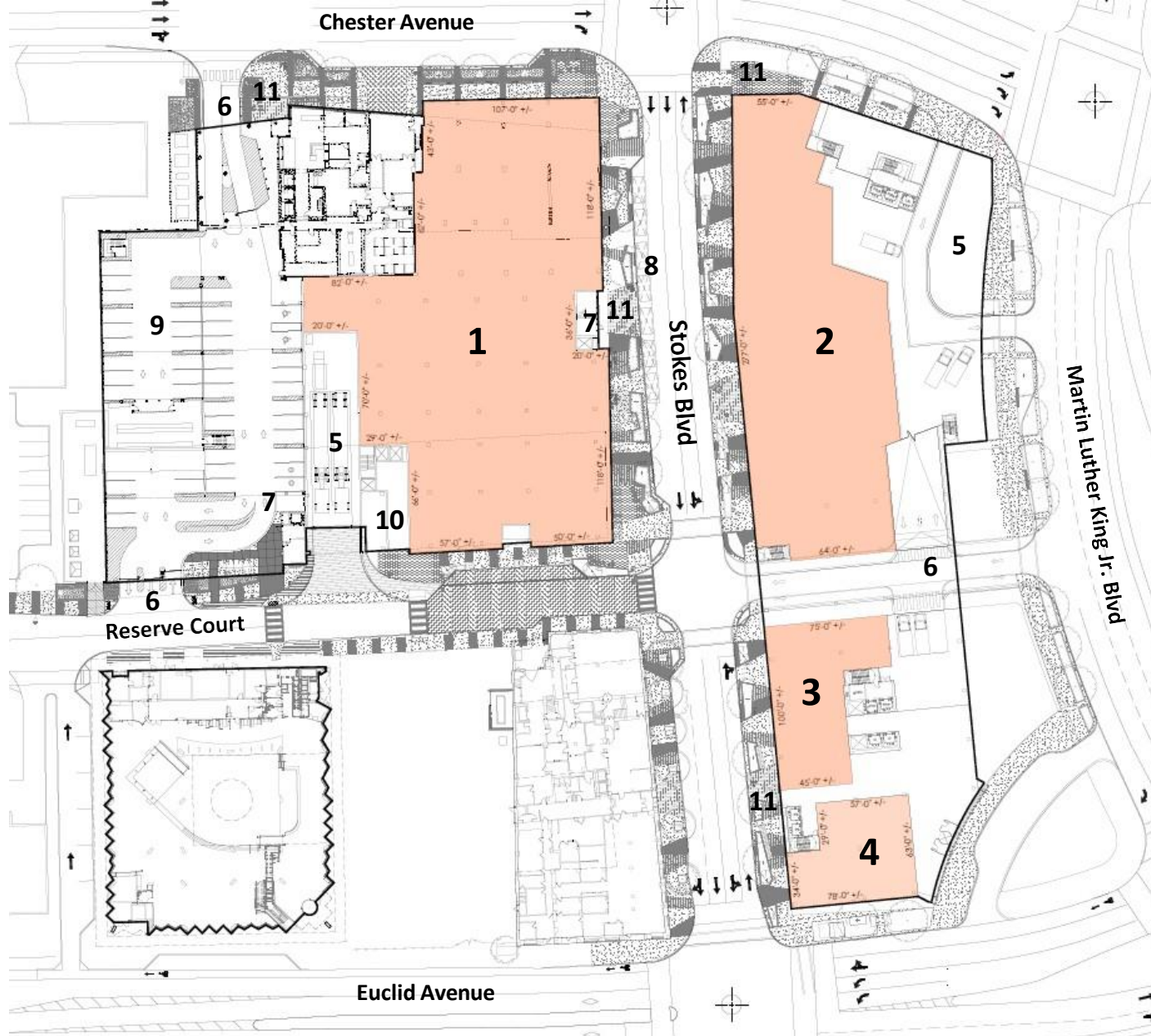


Looking North on Stokes Blvd Toward 'Living Room' Space



Reserve Court as a Shared Use Public Space





**GROUND FLOOR RETAIL AND DISTRICT SERVICING OPERATIONS PLAN**

- 1. Main Block north retail  
35,775 sf
- 2. East Stokes Block north retail  
21,495 sf
- 3. East Stokes Block south A retail  
5,410 sf
- 4. East Stokes Block south B retail  
4,245 sf
- 5. Service/loading/trash Area
- 6. Garage entrances
- 7. Public elevators to garage
- 8. Parcel pick-up lane
- 9. On-line retail spaces
- 10. Hotel lobby
- 11. Residential entrances




66,040 sf of ground level retail space providing the ability to design eclectic storefronts

*Retail Space West Availability Estimated 4<sup>th</sup> Quarter 2025*

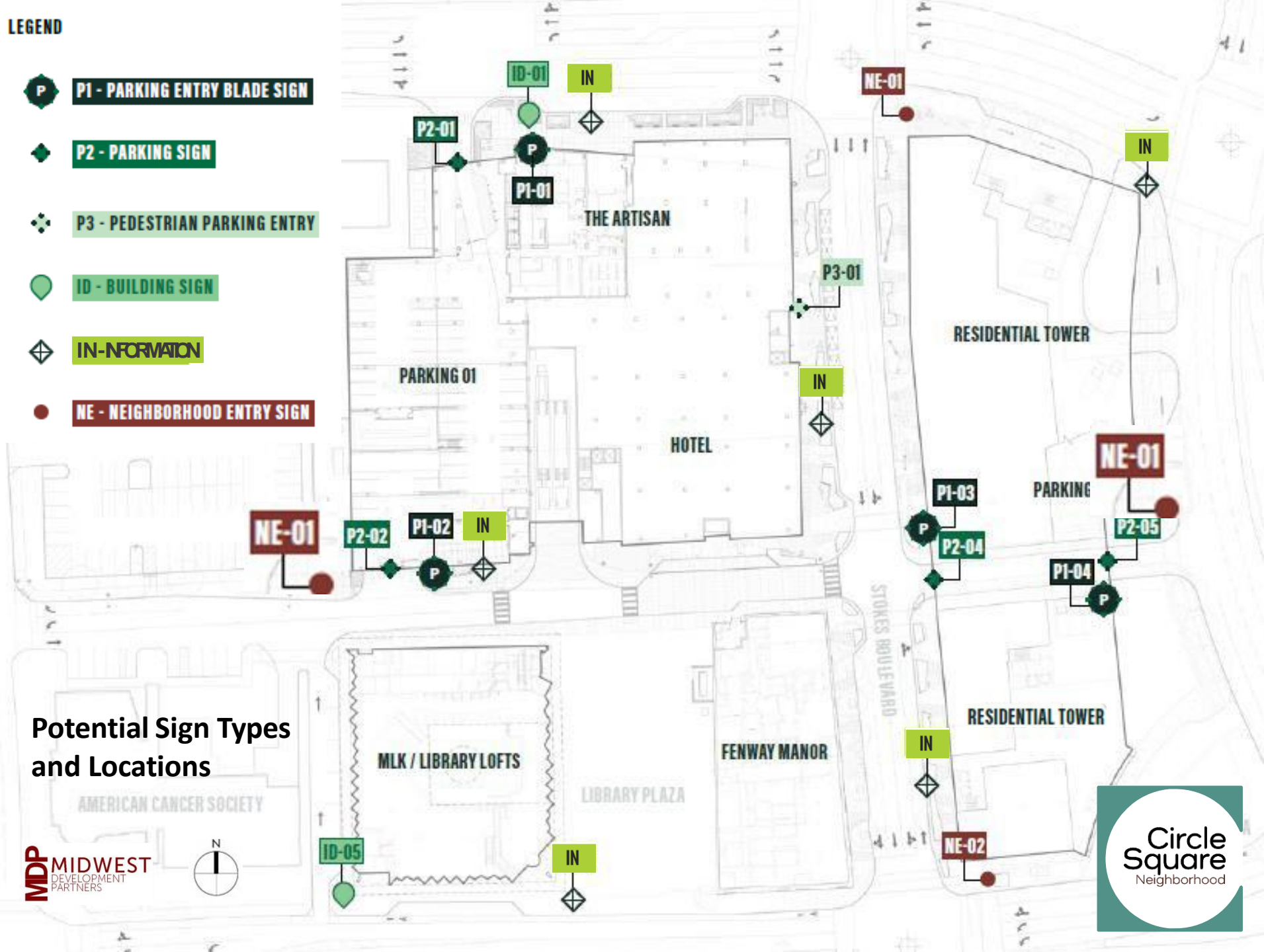
**Street Level Retail Space**



**LEGEND**

-  **P1 - PARKING ENTRY BLADE SIGN**
-  **P2 - PARKING SIGN**
-  **P3 - PEDESTRIAN PARKING ENTRY**
-  **ID - BUILDING SIGN**
-  **IN - INFORMATION**
-  **NE - NEIGHBORHOOD ENTRY SIGN**

**Potential Sign Types and Locations**



**STREET GRAPHICS TYPES**



**PRIMARY LANDMARK SIGN**



**SECONDARY LANDMARK SIGN**



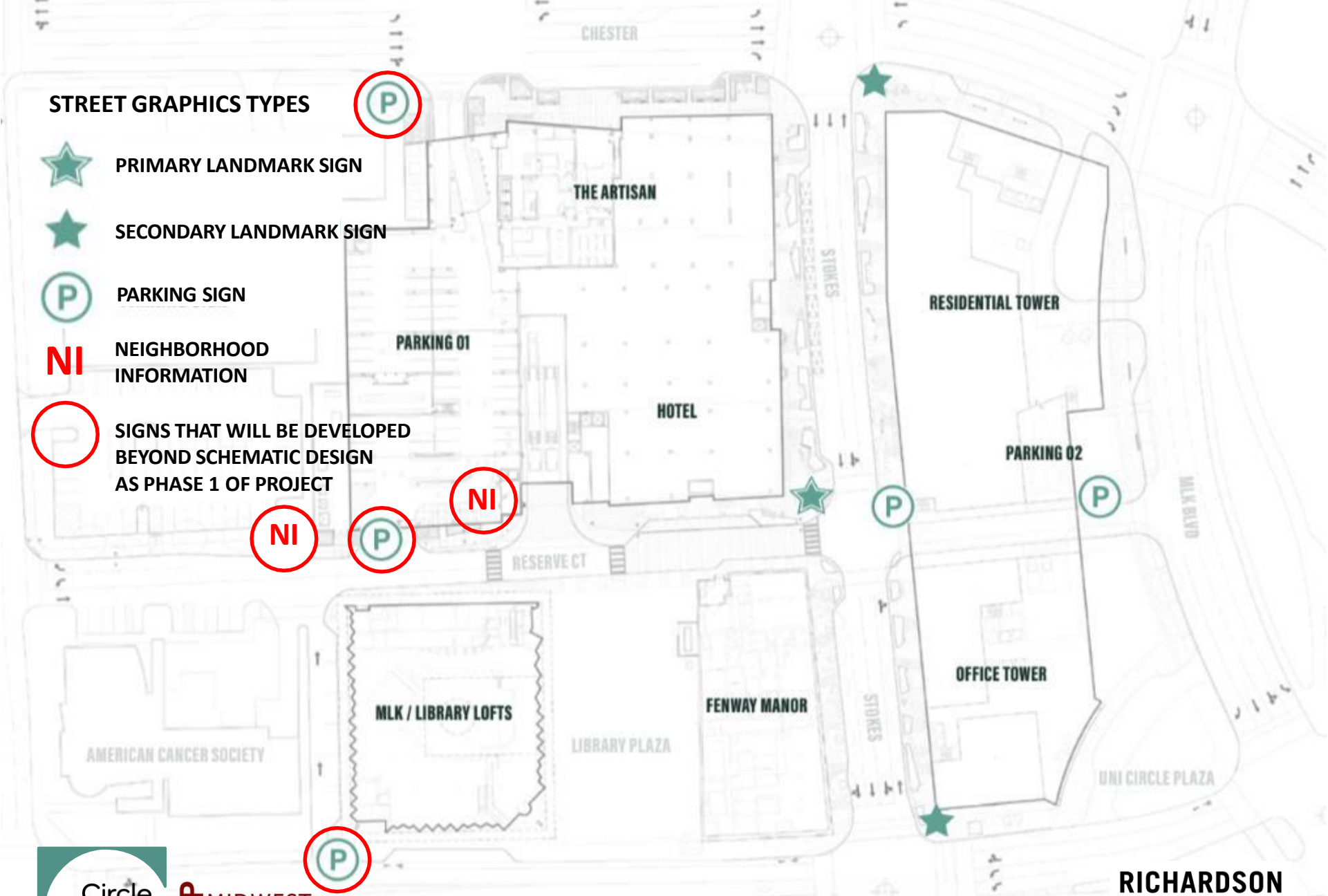
**PARKING SIGN**

**NI**

**NEIGHBORHOOD INFORMATION**

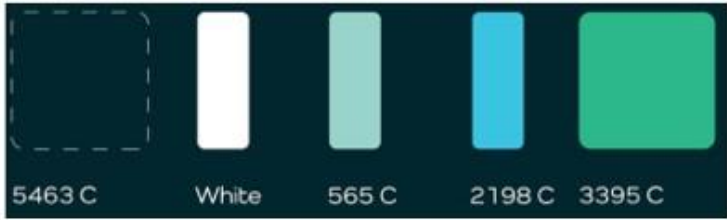


**SIGNS THAT WILL BE DEVELOPED BEYOND SCHEMATIC DESIGN AS PHASE 1 OF PROJECT**

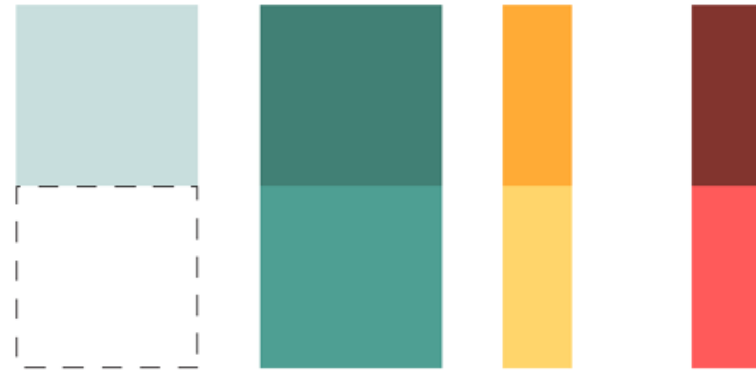


**Primary Wayfinding / Graphics Locations**  
6/22/2023 Phase 1





Logo Color Palette



Brand Color Palette



**RICHARDSON**  
DESIGN  
Richardson Design  
1239 W 6th Street  
Cleveland, OH 44113  
216.696.6780

SIGN PACKAGE - FOR BUDGETARY PURPOSES ONLY  
**CIRCLE SQUARE**

DATE  
05.01.2023

PAGE TITLE  
**CIRCLE SQUARE BRAND PALETTE**

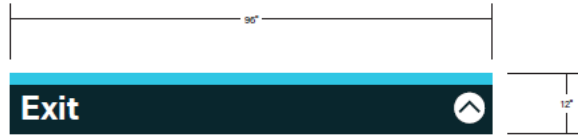
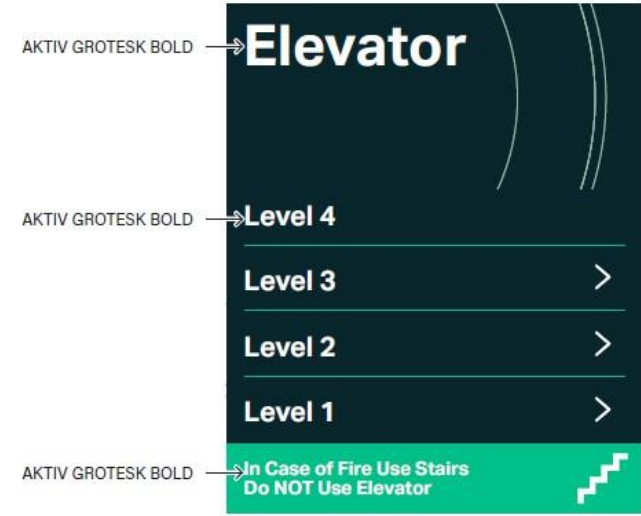
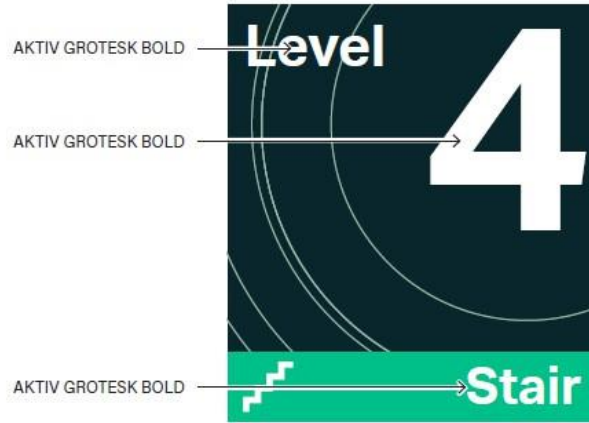
**GENERAL NOTES**

- All measurements must be verified in field.
- Drawings are for design intent and budgetary purposes only, not for construction.
- Vector and/or high resolution artwork to be provided by Richardson design. Do not extract artwork files from this document for fabrication.

PAGE  
**12**



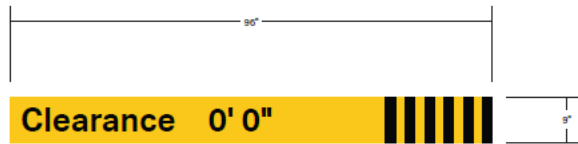
COMO BOLD → **Circle Square**  
Neighborhood



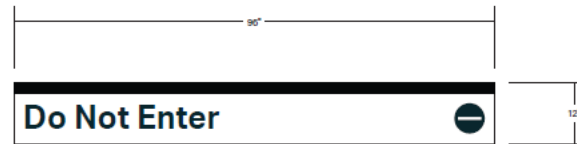
**4** WF4 - EXIT SIGN  
1/2" = 1'



**5** WF5 - TURN ON LIGHTS FOR SAFETY SIGN  
1/2" = 1'

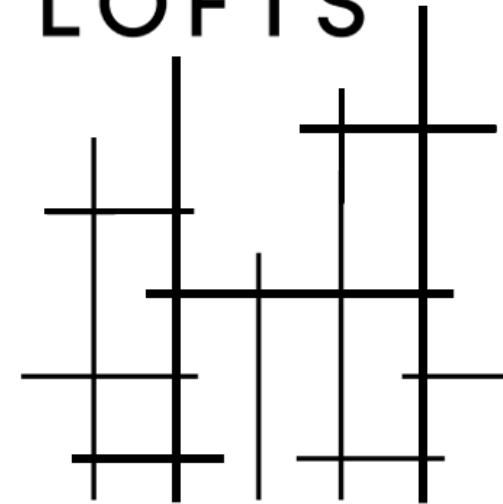


**1** WF1 - CLEARANCE SIGN  
1/2" = 1'



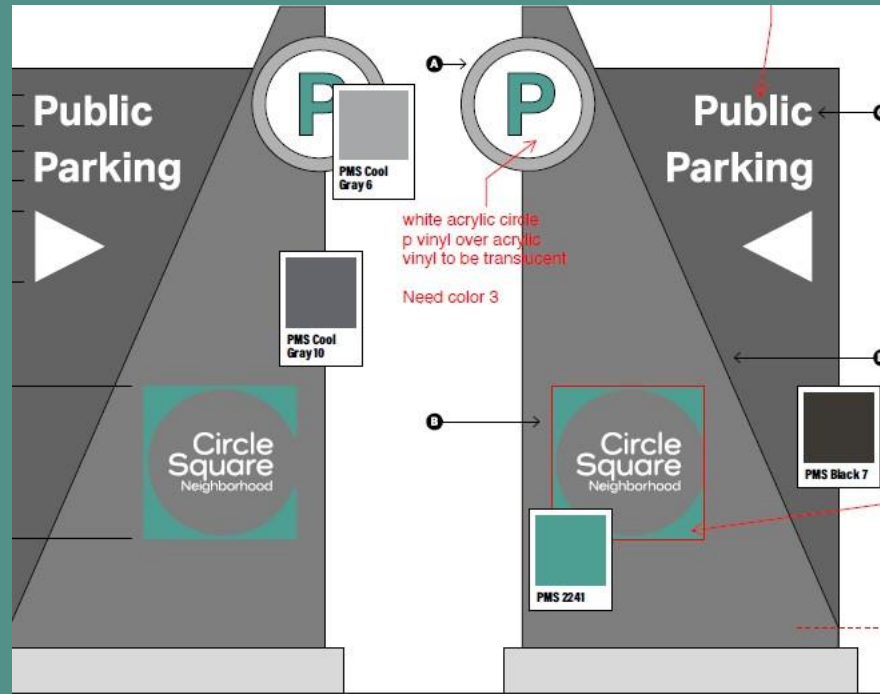
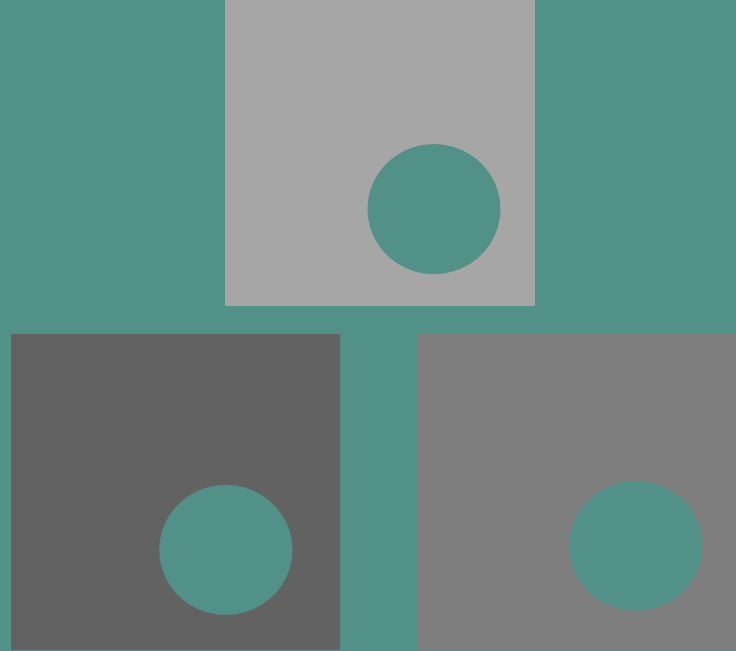
**2** WF2 - DO NOT ENTER SIGN  
1/2" = 1'

# LIBRARY LOFTS





*Parking Garage  
Signage on Chester  
Avenue*



**RICHARDSON**  
DESIGN

**VOLPE** • Urban Design

**MDP** MIDWEST  
DEVELOPMENT PARTNERS

Circle Square  
Neighborhood



Library facade panels

PVC mullions - third floor  
& full height "Tear"

Fiber cement perimeter/  
superframe rainscreen

Library facade panels,  
ground floor Library  
Lofts entry

infill panels - louvered  
metal panels

Superframe PVC mullions  
& flat infill panels

intermediate slab edge  
covers - metal panels or  
PVC system



# Library Lofts

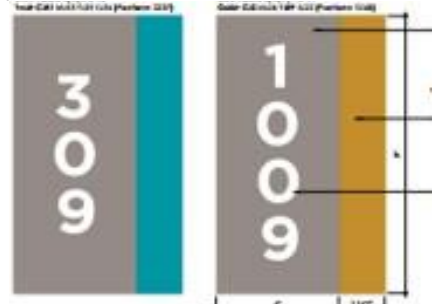
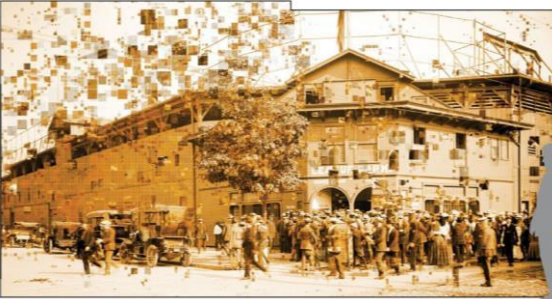
Building Design - Final Exterior Materials & Colors







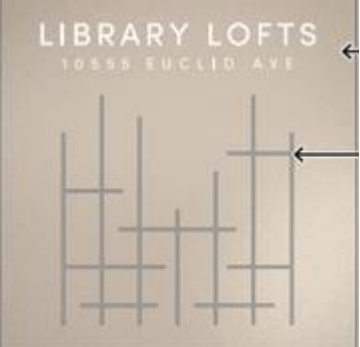
APR 2 '62	July 2 '62
Apr 30 '62	Sept 11 '63
May 19 '62	Dec 29 '63
July 20 '62	Feb. 7 '64
Aug 29 '62	Apr 13 '64
Sept 16 '62	Aug 22 '64
Oct 1 '62	Oct 31 '64



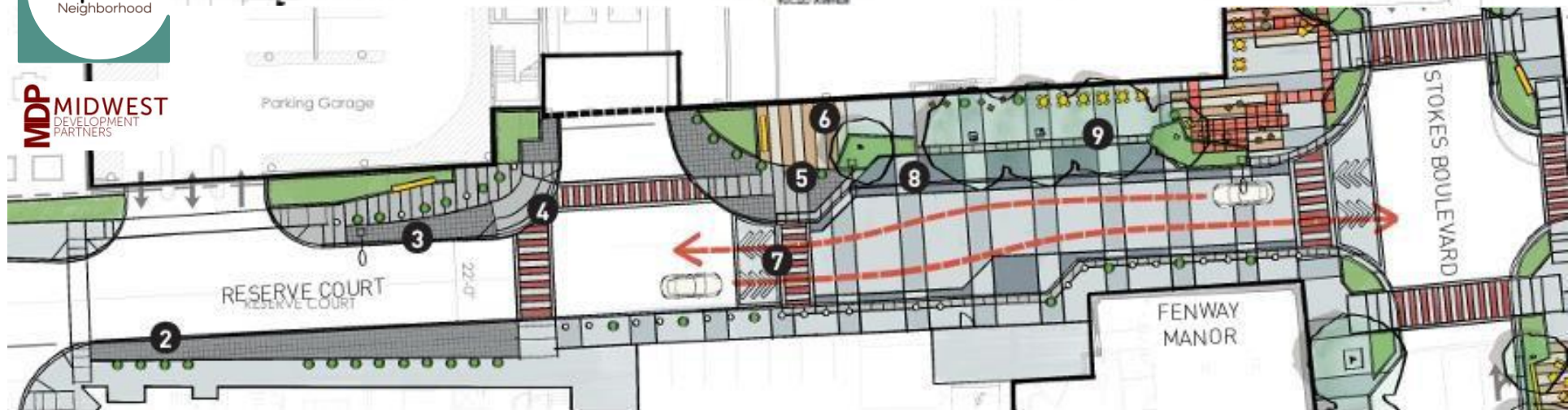
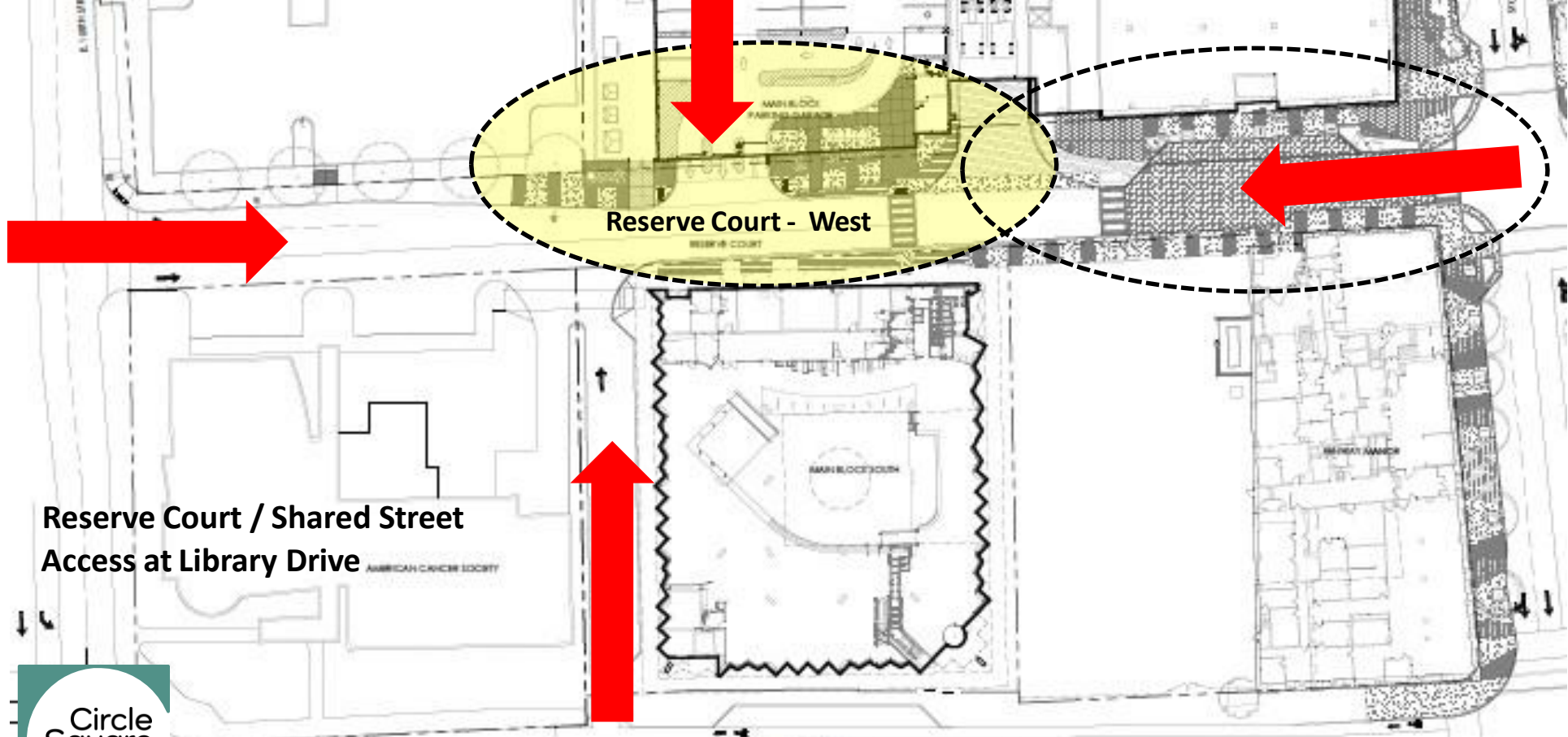
**Uses of Color Palette in Project**



SW 7636 Origami White	SW 7018 Dovetail	SW 9166 Drift Of Mist	SW 7641 Colonnade Gray
CORRIDOR CEILING	ENTRY INSET WALLS	ENTRY BUMPOUT WALLS	OUTER CORRIDOR WALLS



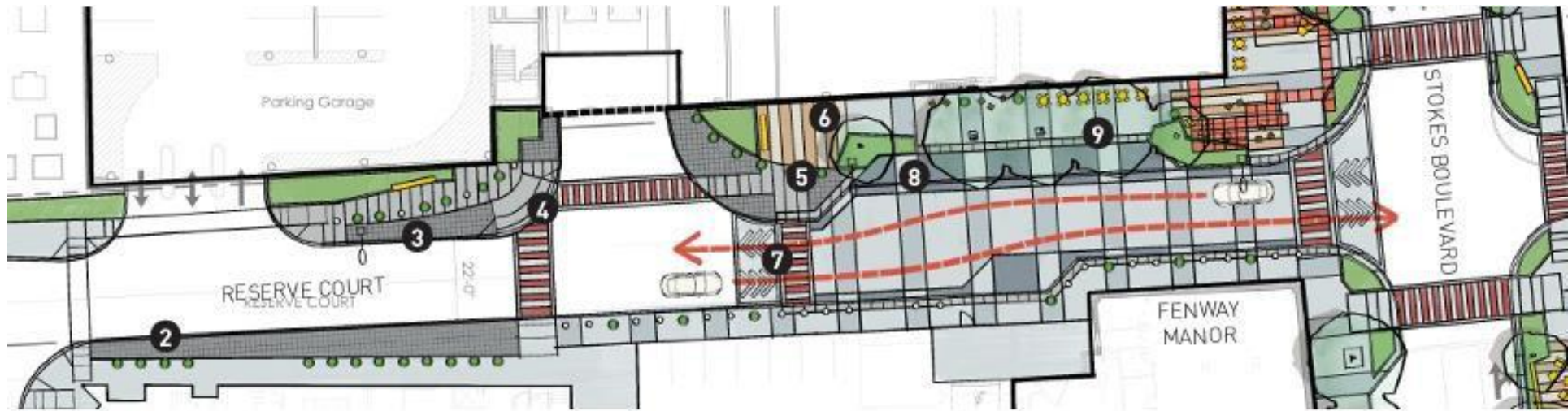
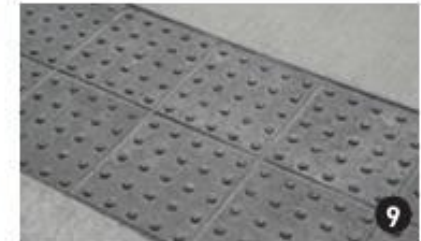


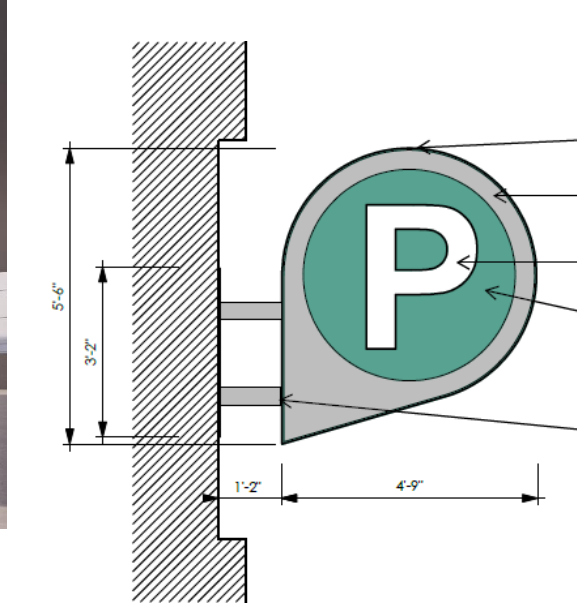


## SHARED STREET

### LEGEND

- 1 Standard Concrete
- 2 Granite Cobbles / Truck Wearing Surface
- 3 Pedestrian Granite Cobbles
- 4 ADA Ramp and Crosswalk
- 5 Bollards
- 6 Specialty Paver "Rug"
- 7 Ramp and Crosswalk
- 8 Loading Zone / Drop-off With Integral Color Con
- 9 ADA Detectable Warning Paver



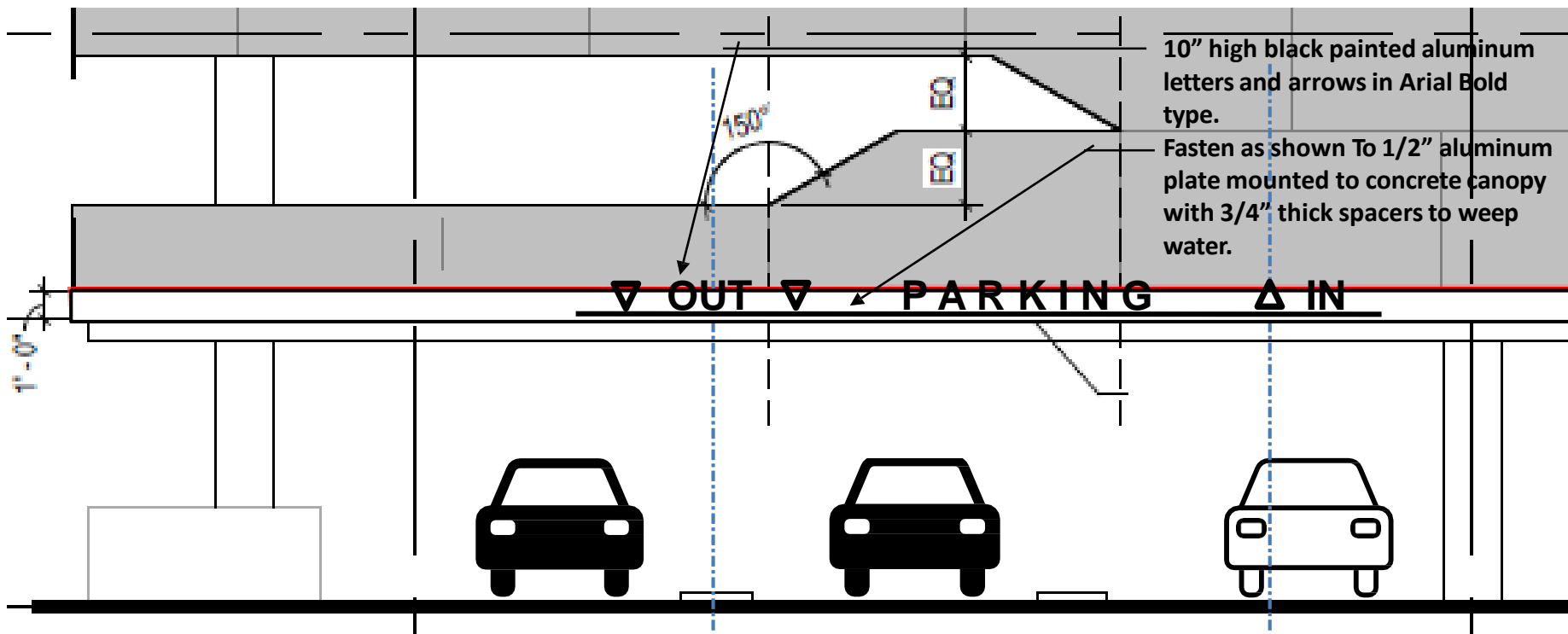


**BIALOSKY**  
CLEVELAND

**MDP** MIDWEST  
DEVELOPMENT  
PARTNERS



**Parking Garage on Reserve Court Graphics and Colors**



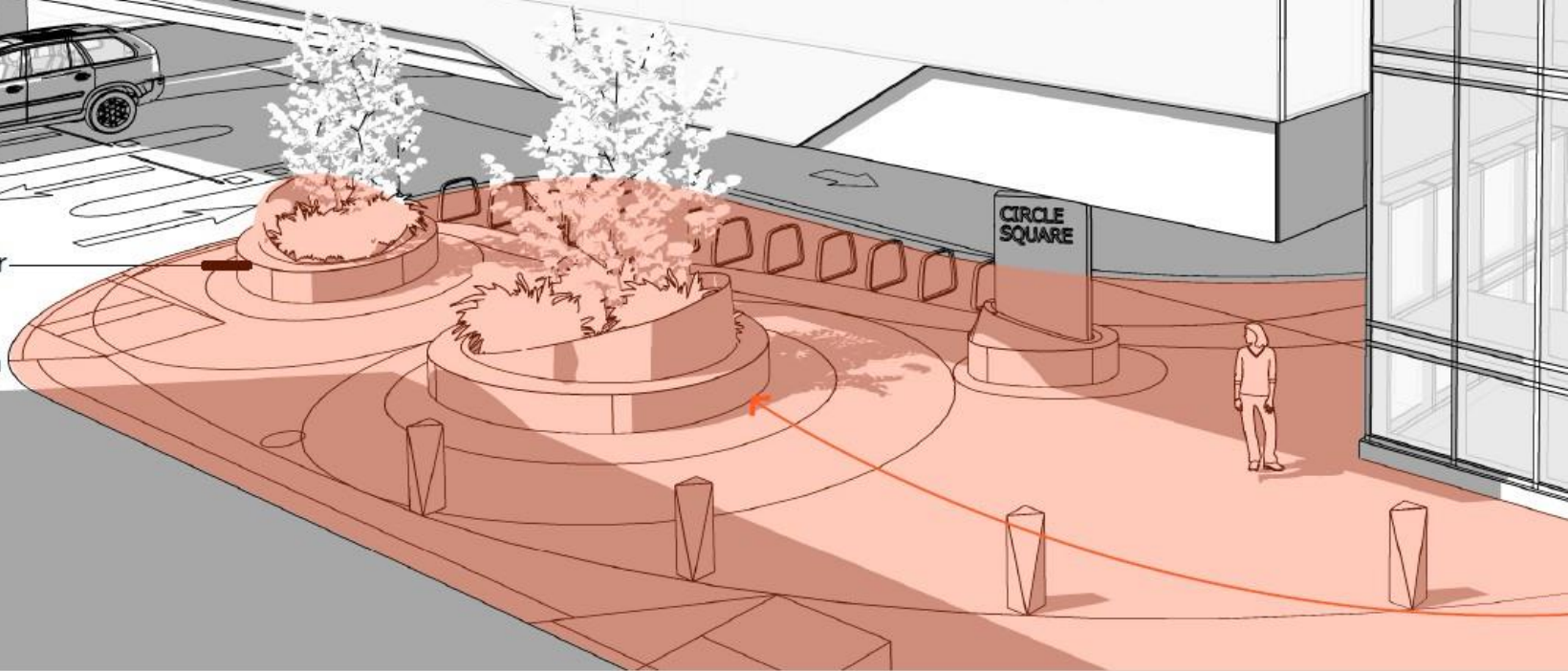
Parking Garage on Reserve Court Canopy Signage







precast planter  
alternate with  
curvilinear  
paving pattern

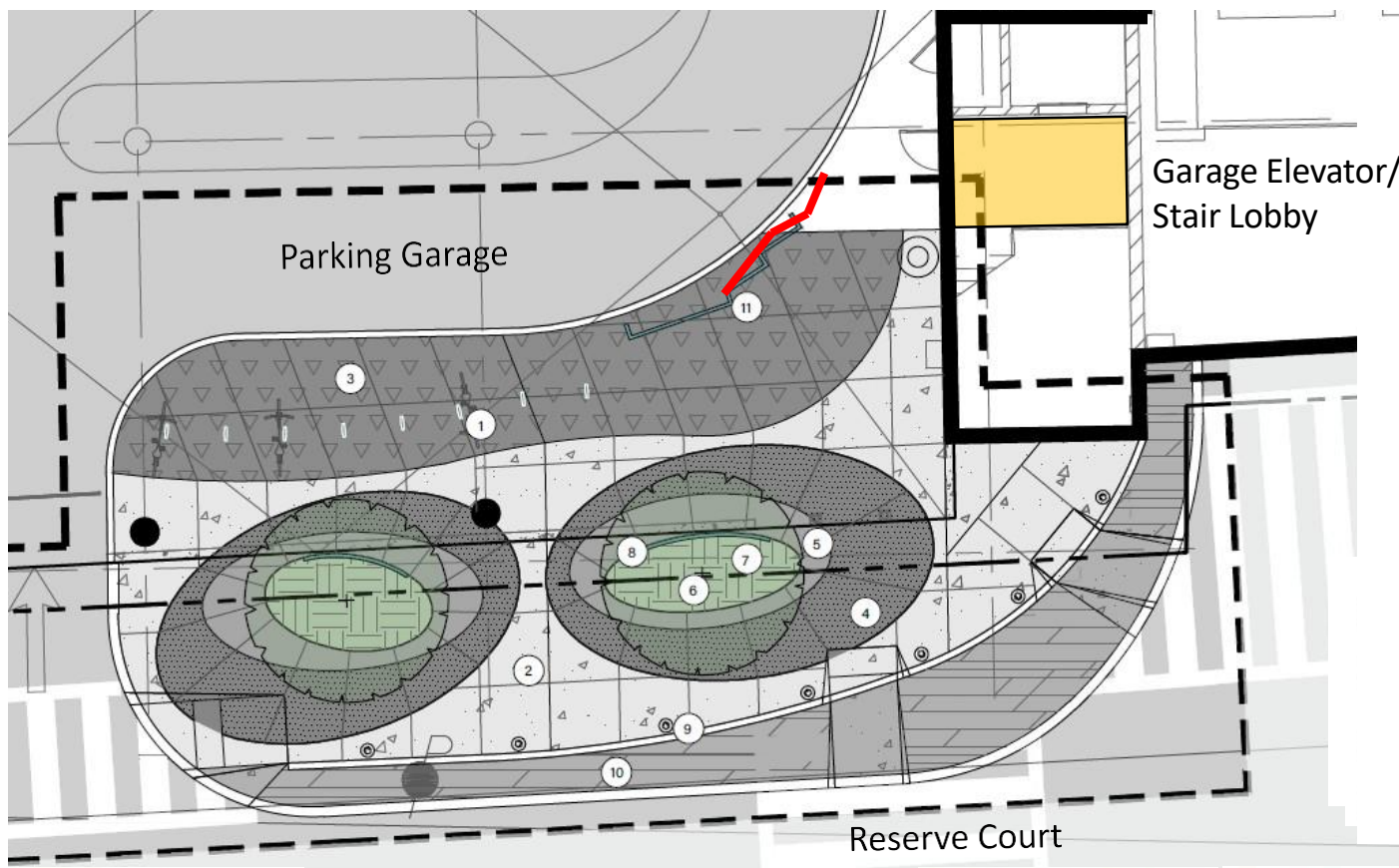


### Reserve Court – Mini-Park at Garage Entrance

Concept Sketch







- ① BIKE RACKS
- ② STANDARD CONCRETE
- ③ CONCRETE TYPE 1
- ④ CONCRETE TYPE 2
- ⑤ CONCRETE SEATWALL
- ⑥ ORNAMENTAL TREE
- ⑦ PERRENNIALS/ 'GROUNDCOVER
- ⑧ SCREEN WALL
- ⑨ BOLLARDS
- ⑩ GRANITE COBBLES
- ⑪ WAYFINDING SIGNAGE



BIKE RACK



CONCRETE SEATWALL



ORNAMENTAL TREE



BOLLARDS



GRANITE COBBLES



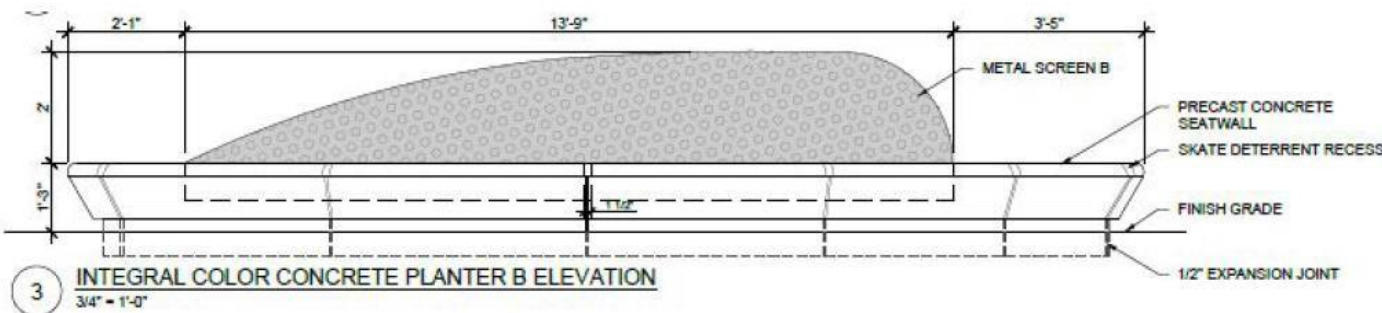
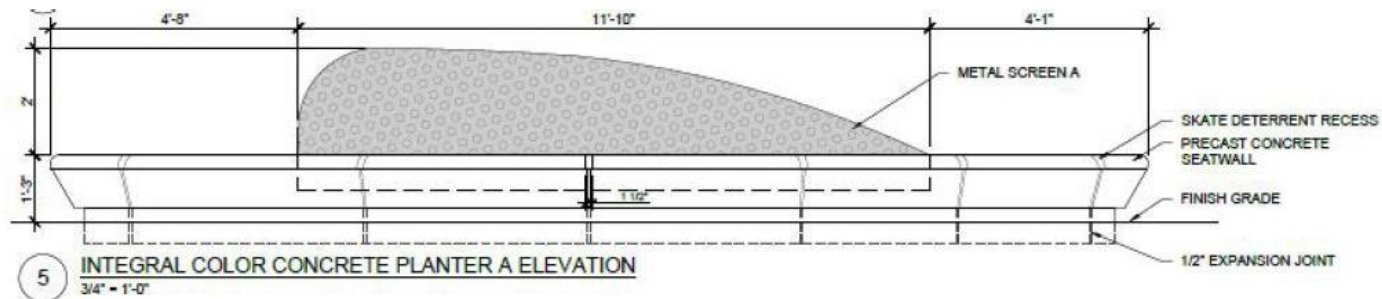
PLANTER SCREEN



## Reserve Court – Mini-Plaza at Garage Entrance



PLANTER ELEVATIONS



PLANT PALETTE



Little King River Birch  
*Betula nigra* 'Fox Valley' 8'H



Greenlee's Moor Grass  
*Sesleria* 'Greenlee Hybrid' 8"-12"H



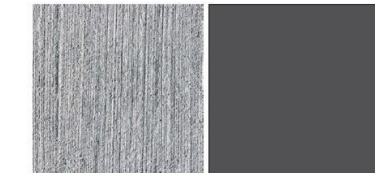
Ornamental Allium  
*Allium* 'Millenium' 12"-18"H



Yellow Daffodils  
*Narcissus* '3D Blend' 12"-14"H



BIKE RACK



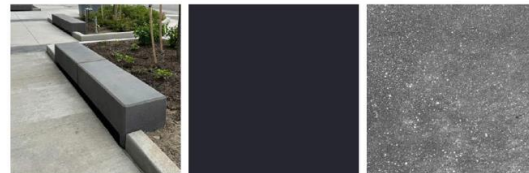
CONCRETE TYPE 2 - LIGHT BROOM FINISH



CONCRETE TYPE 1 - LIGHT SANDBLAST FINISH



STANDARD CONCRETE - LIGHT BROOM FINISH



CONCRETE SEATWALL - SPARKLE GRAIN FINISH



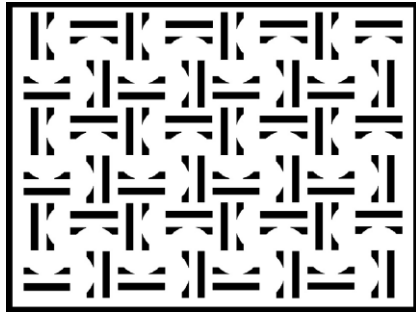
METAL SCREEN



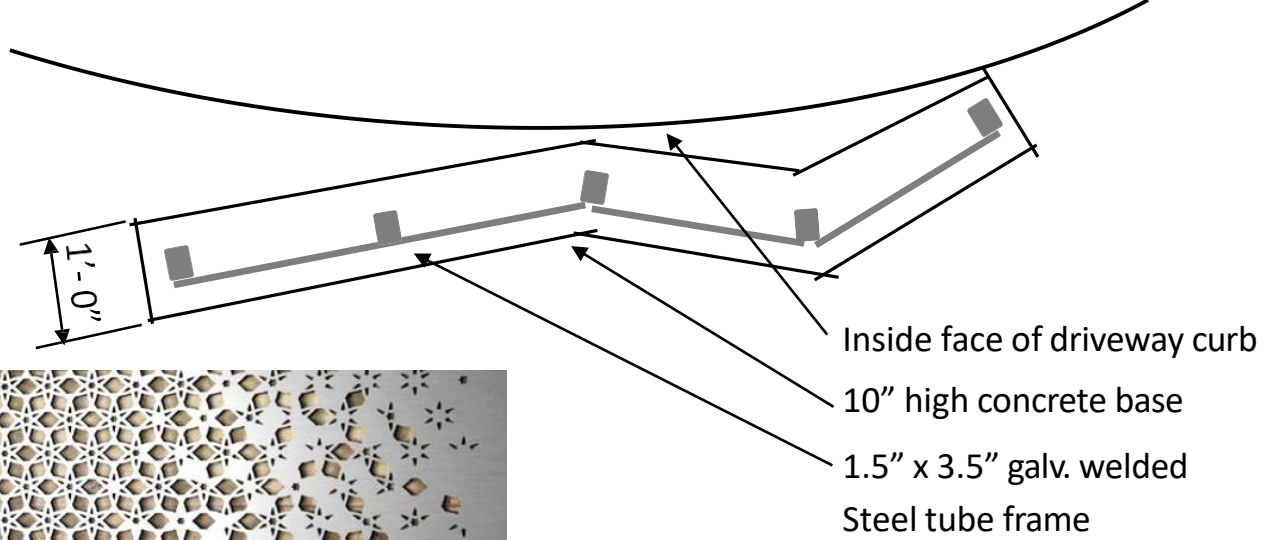
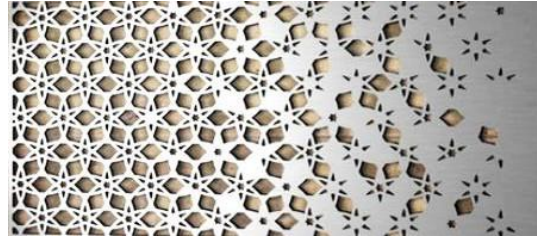
Reserve Court – Mini-Park Details  
7/14/2023



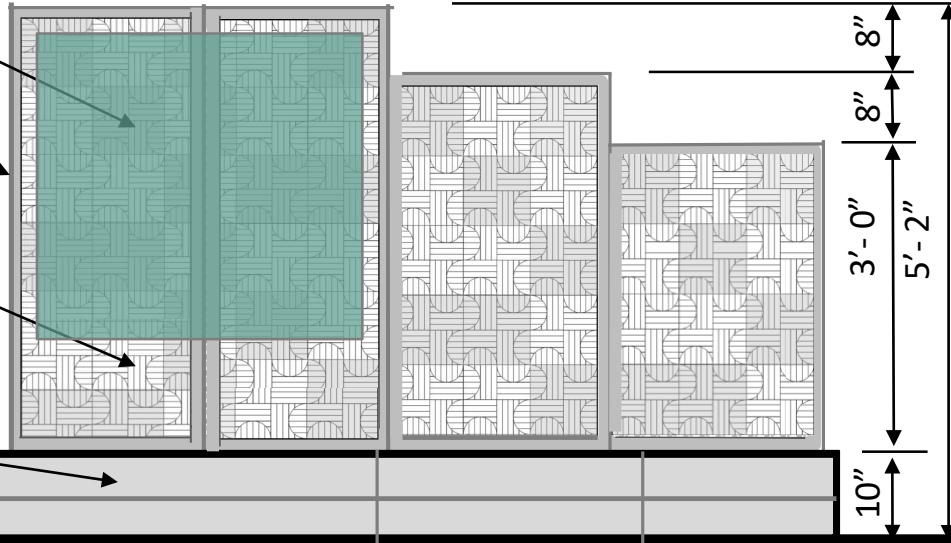




Screen Pattern



- Graphic panel – text TBD
- 1.5" x 3.5" galv. welded Steel tube frame
- Metal screen – laser cut Metal panel - Each section 2'-0" to Centerline of frame
- 10" high concrete base With 3/4" horizontal reveals



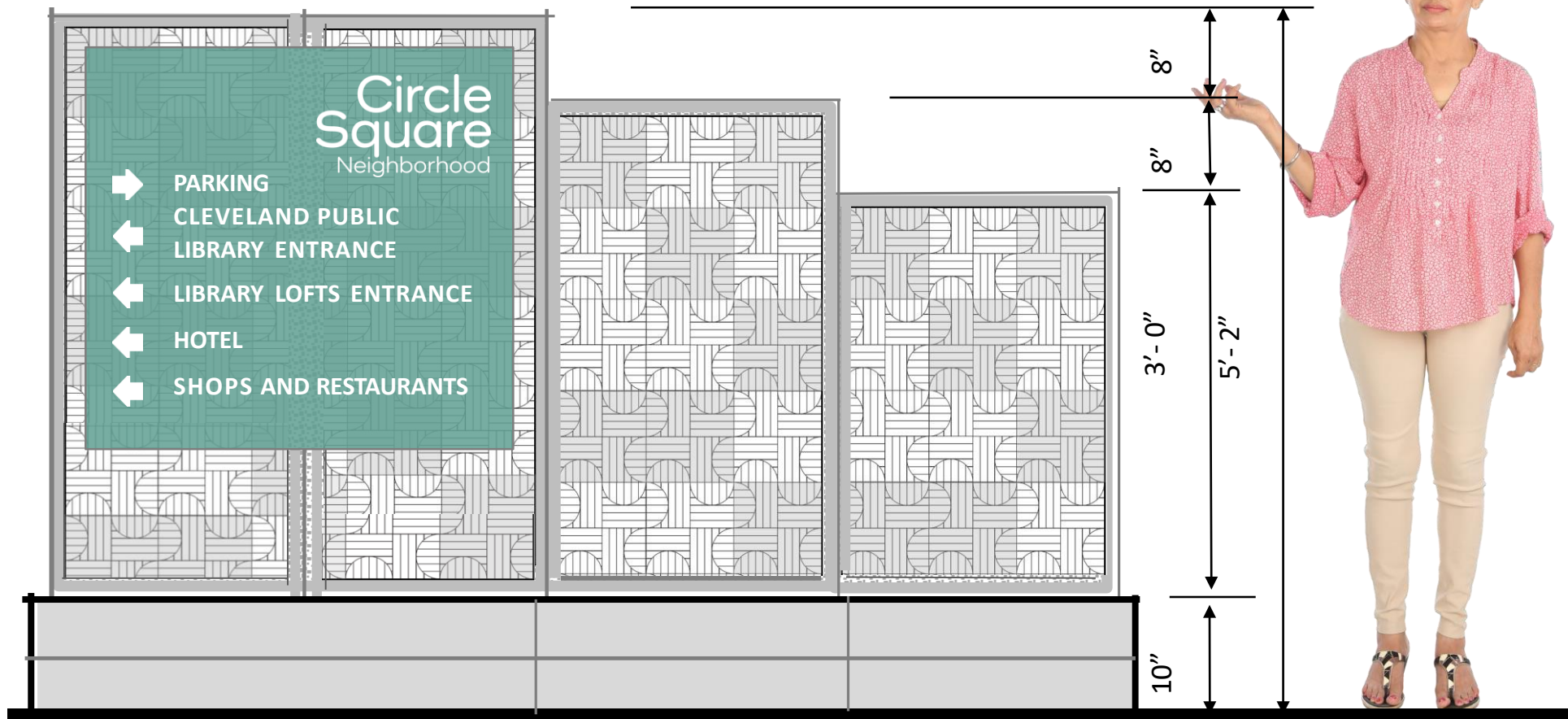
Elevation – Looking West



### Reserve Court Garage – Safety Screening and Signage

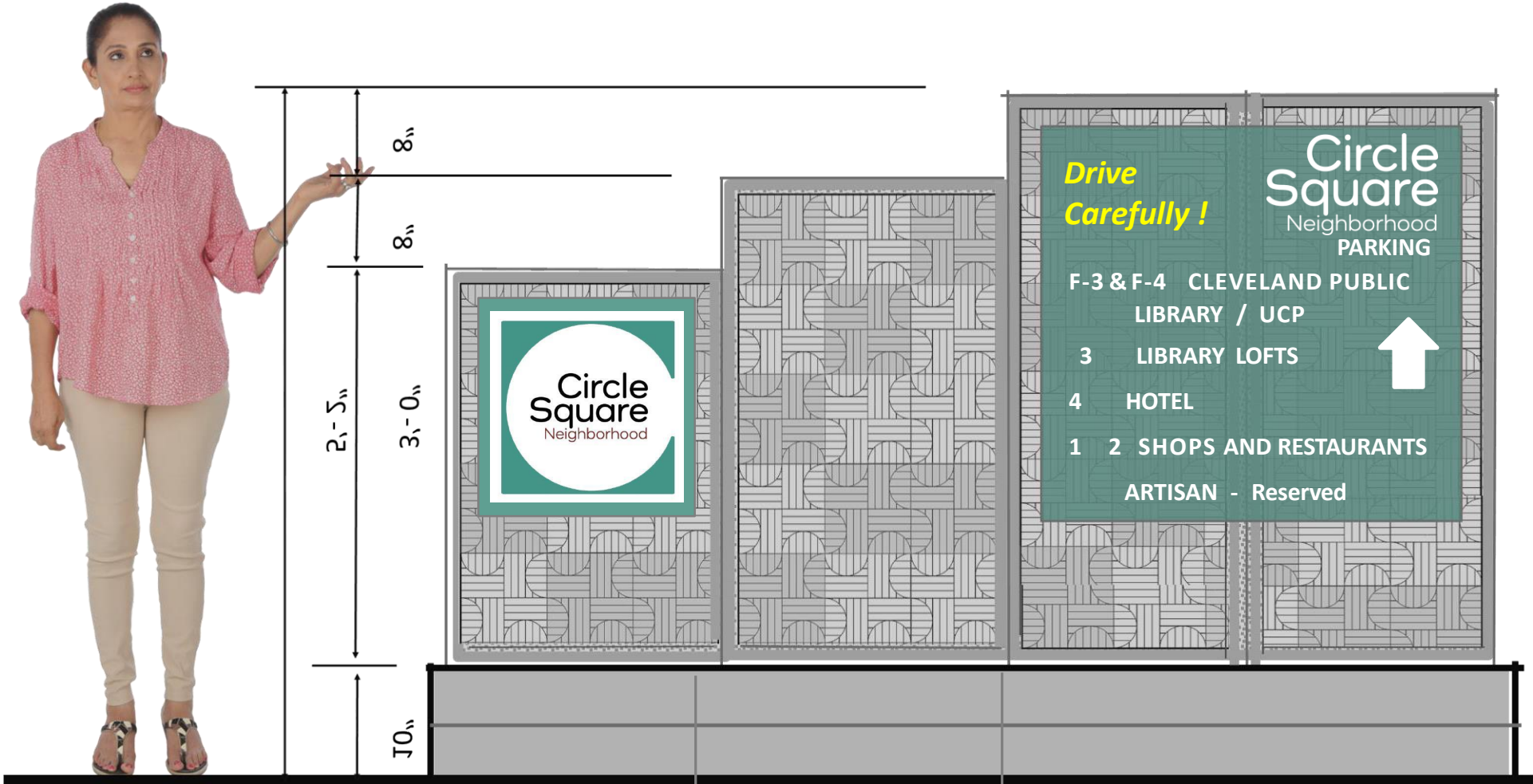
1/16/2024





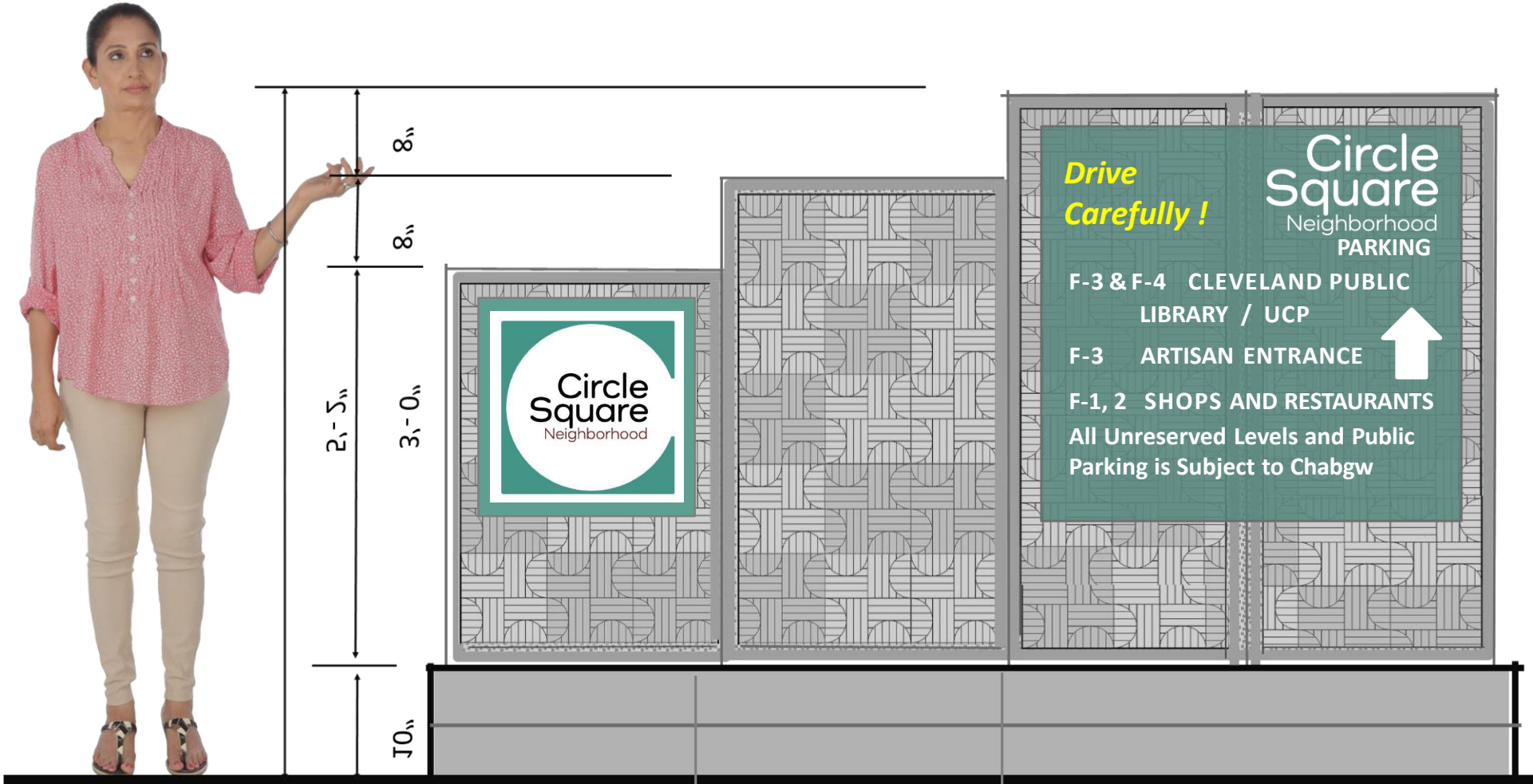
**Reserve Court Garage – Safety Screening and Signage**  
**Outside Garage Face in Plaza**





**Reserve Court Garage – Safety Screening and Signage**  
 Inside Garage Face on Drive



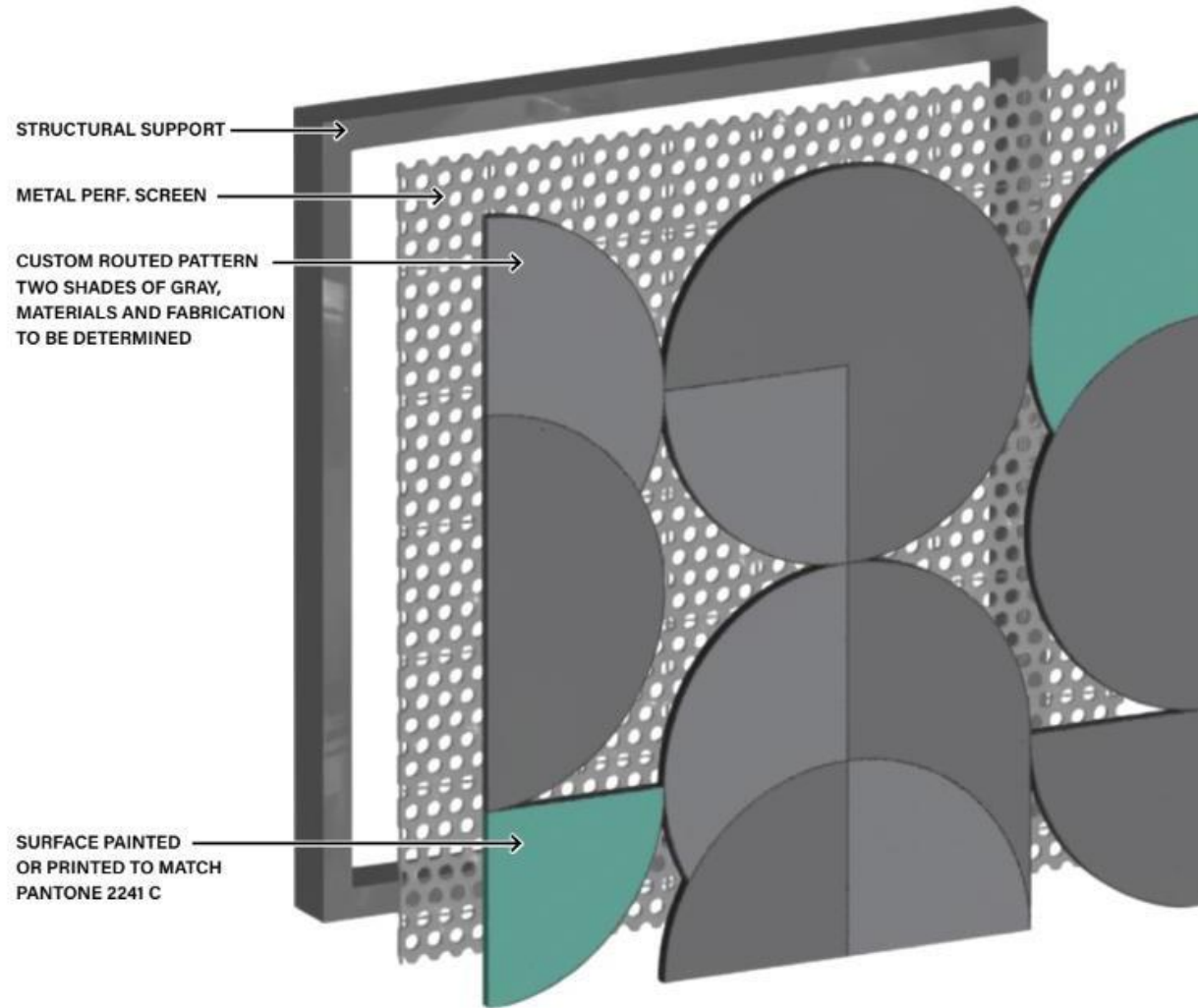


**Reserve Court Garage – Safety Screening and Signage**  
 Inside Garage Face on Drive







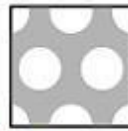


### Wayfinding Pylons Construction Detail

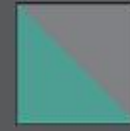




**POWDER  
COATED  
METAL**



**PERFORATED  
METAL**



**POWDER  
COATED  
METAL**



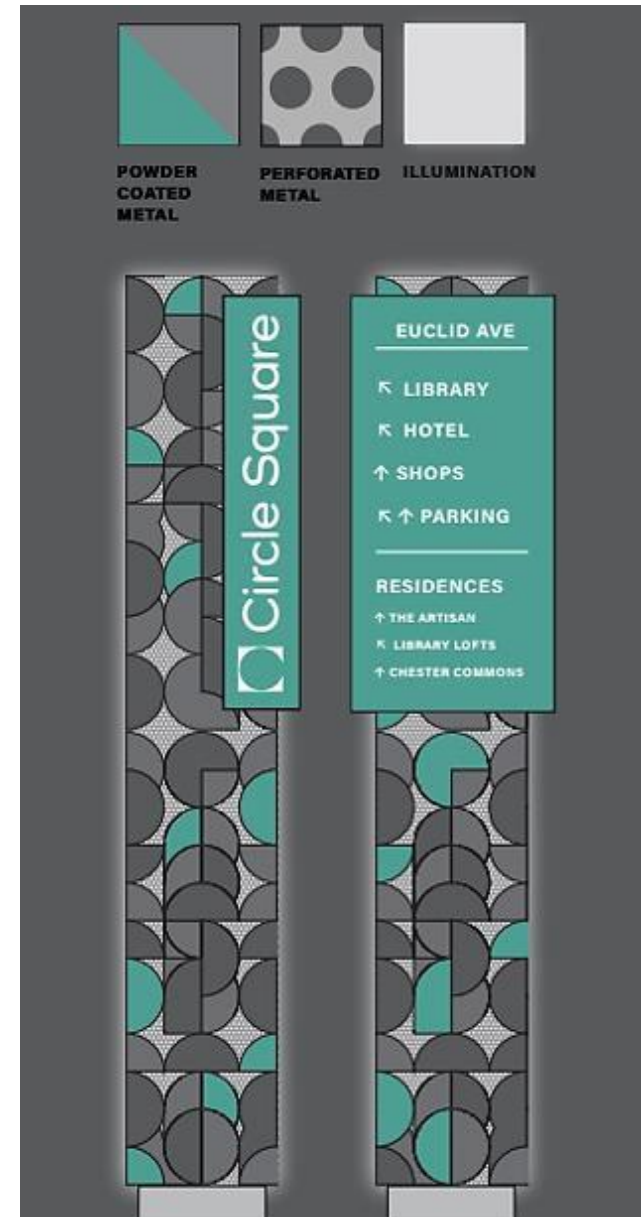
**PERFORATED  
METAL**



**ILLUMINATION**



Daytime



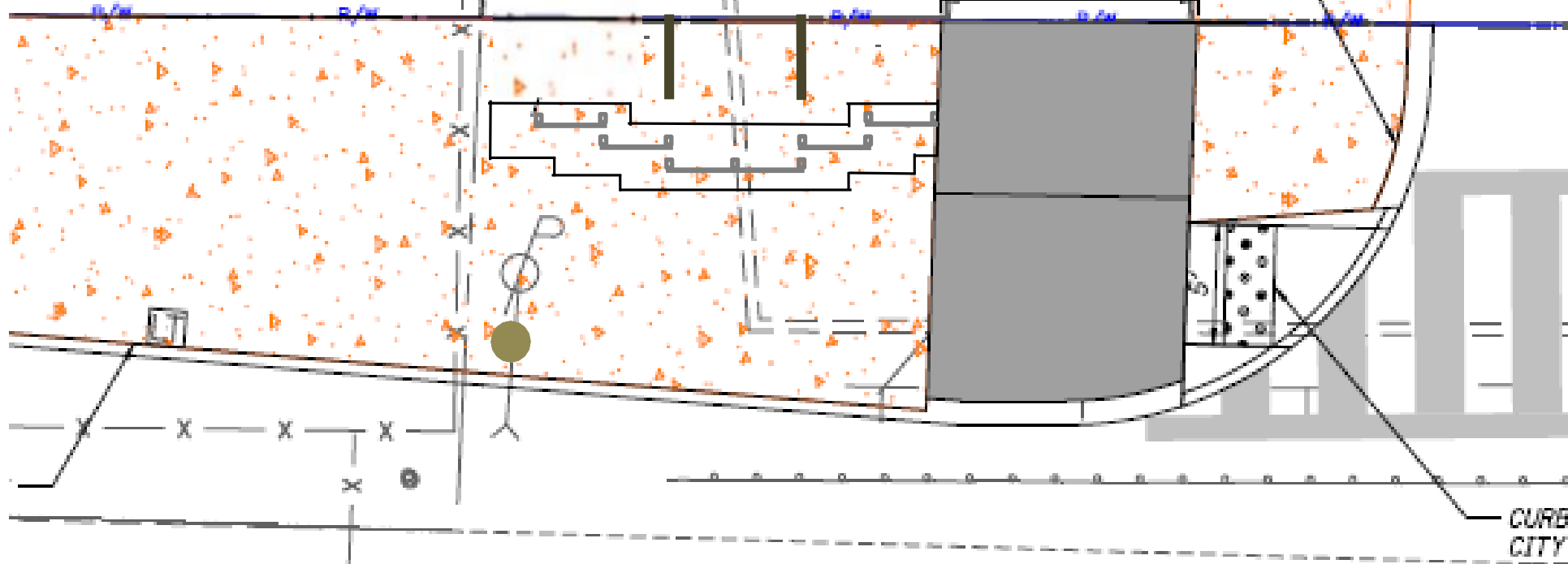
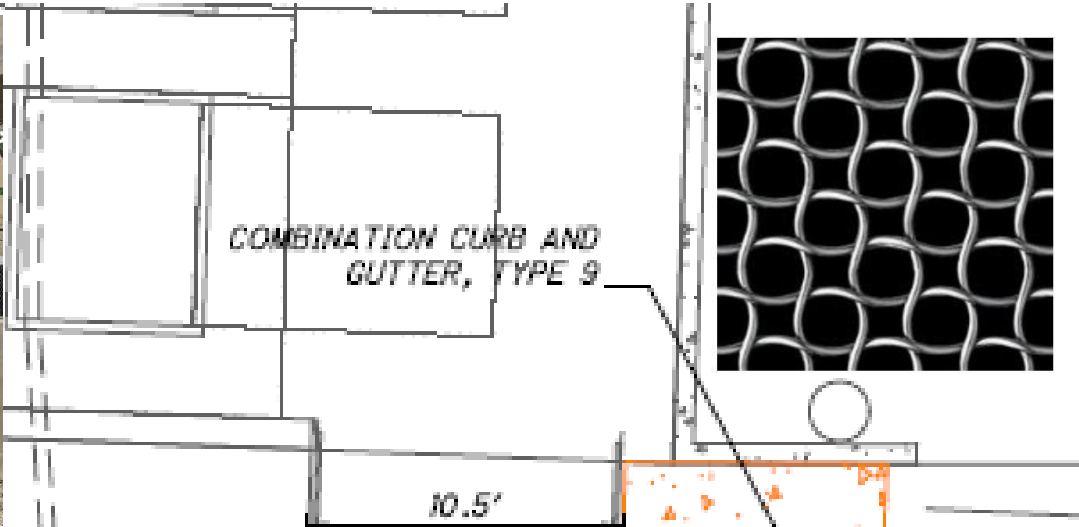
Evening



**Landmark Graphics / Wayfinding Pylons**

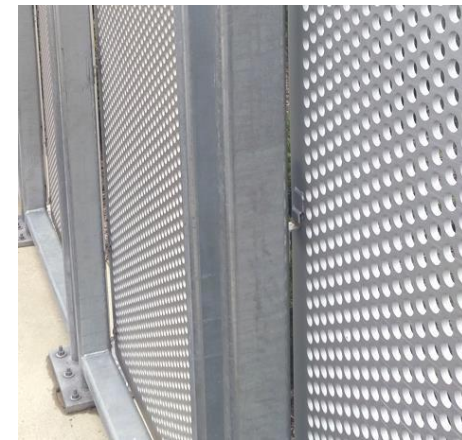
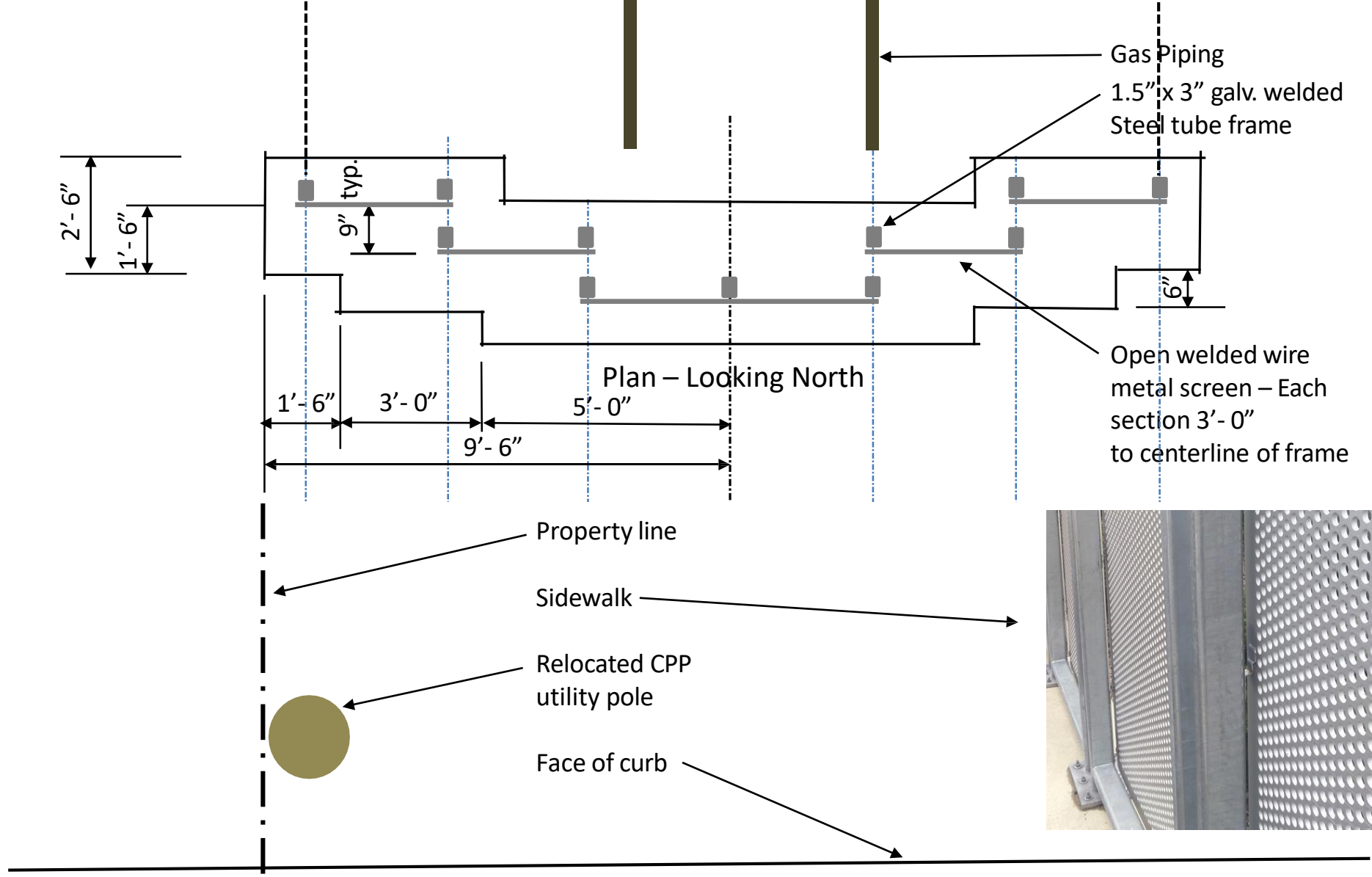


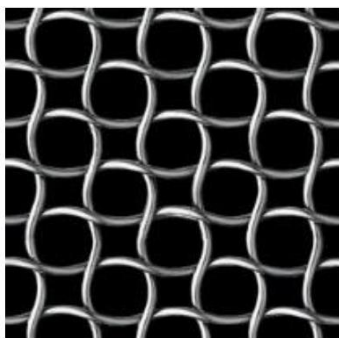
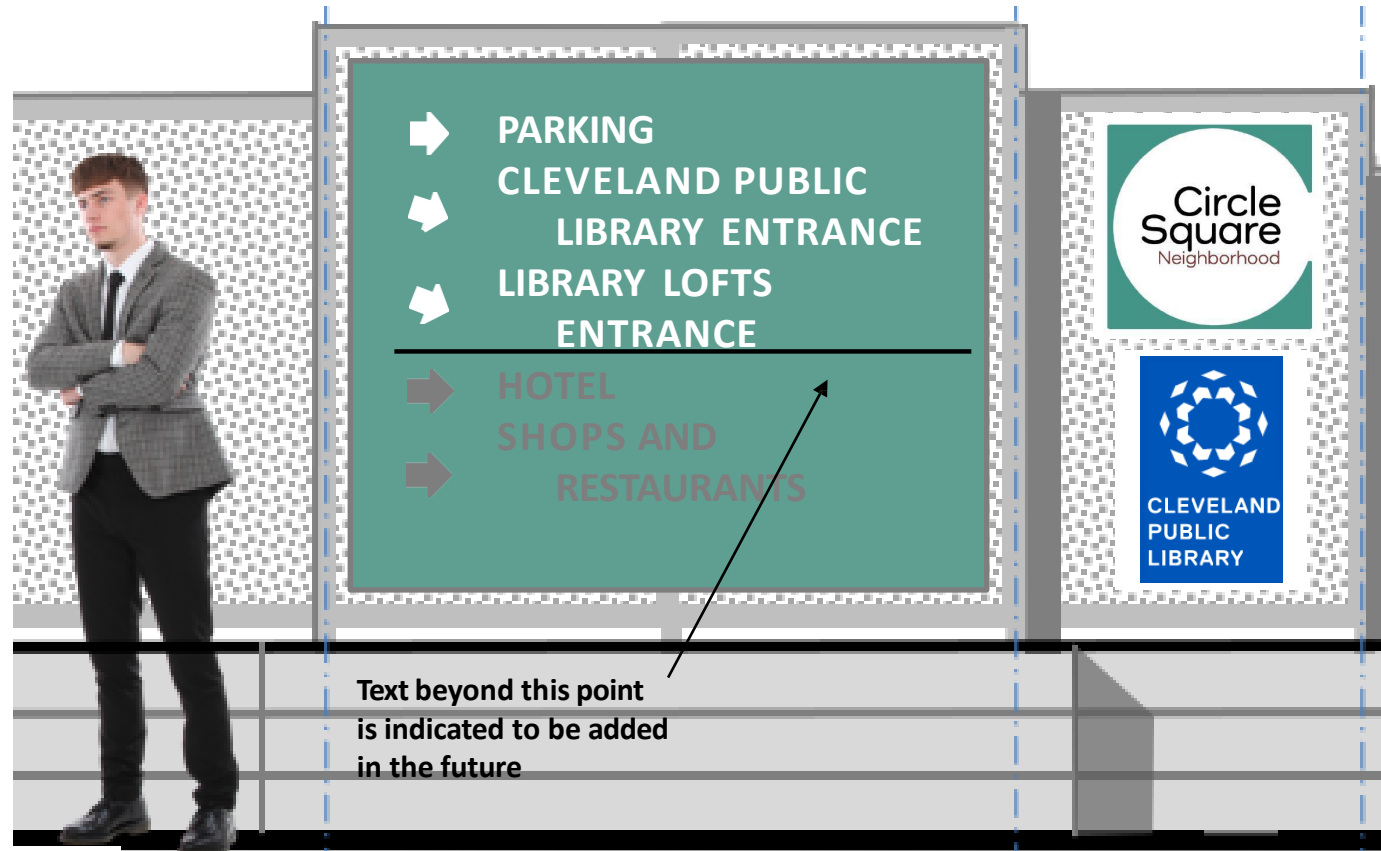




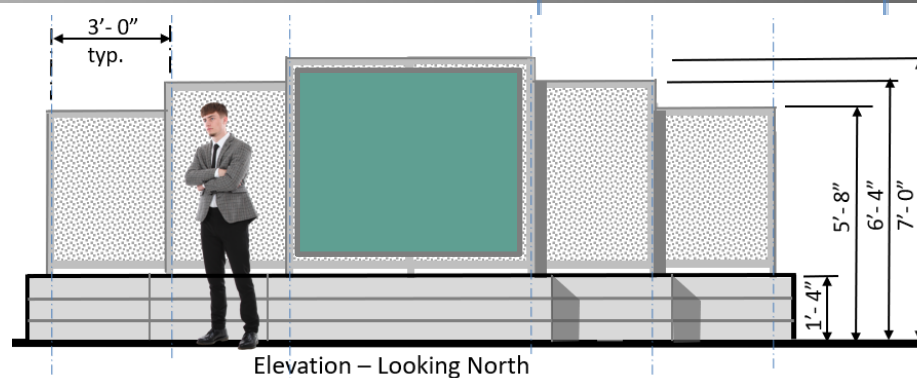
### Reserve Court – Gas Piping Screen







Partial North Elevation – Enlarged

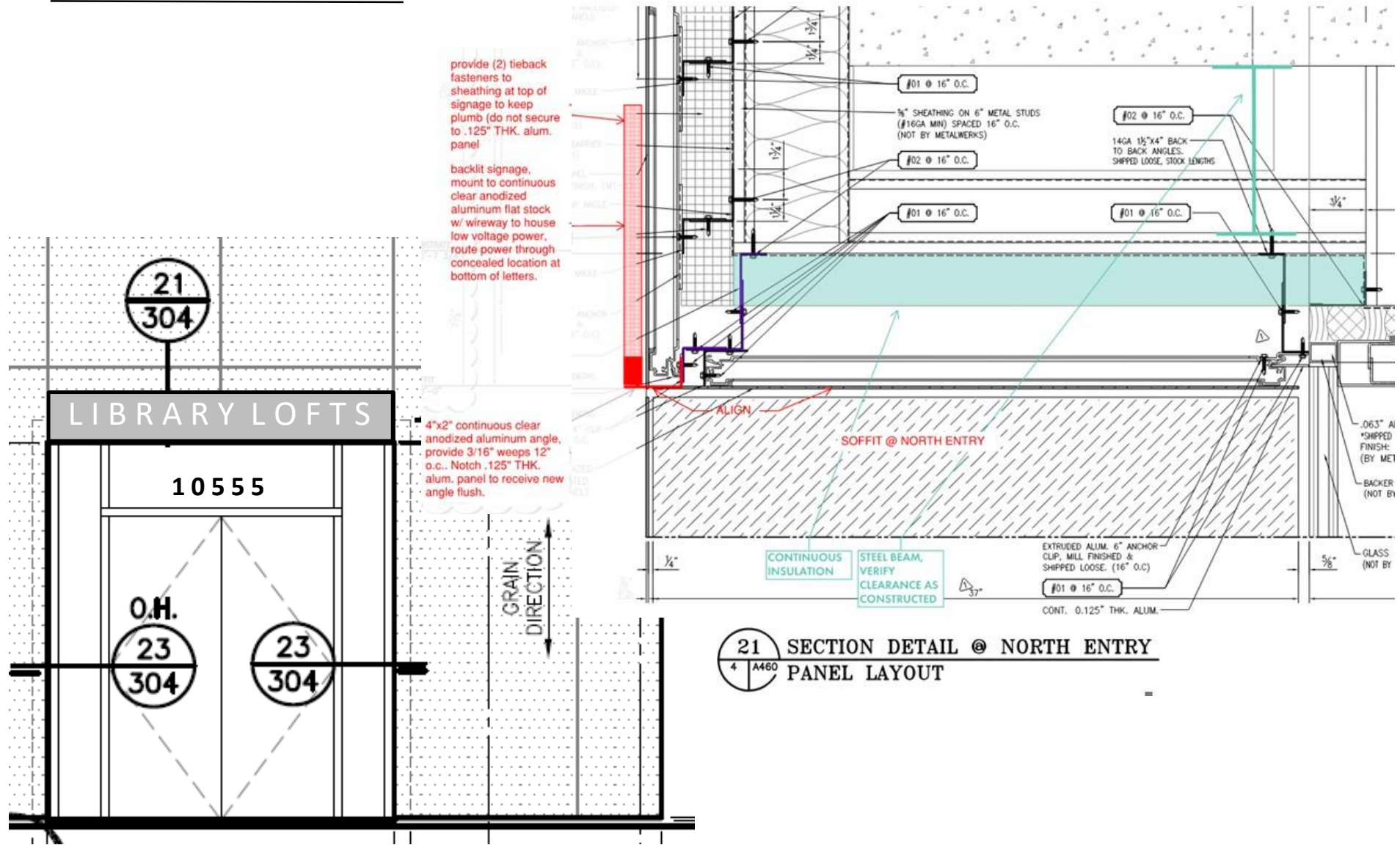


Elevation – Looking North



Wayfinding Panels and Safety Barrier at Library Drive





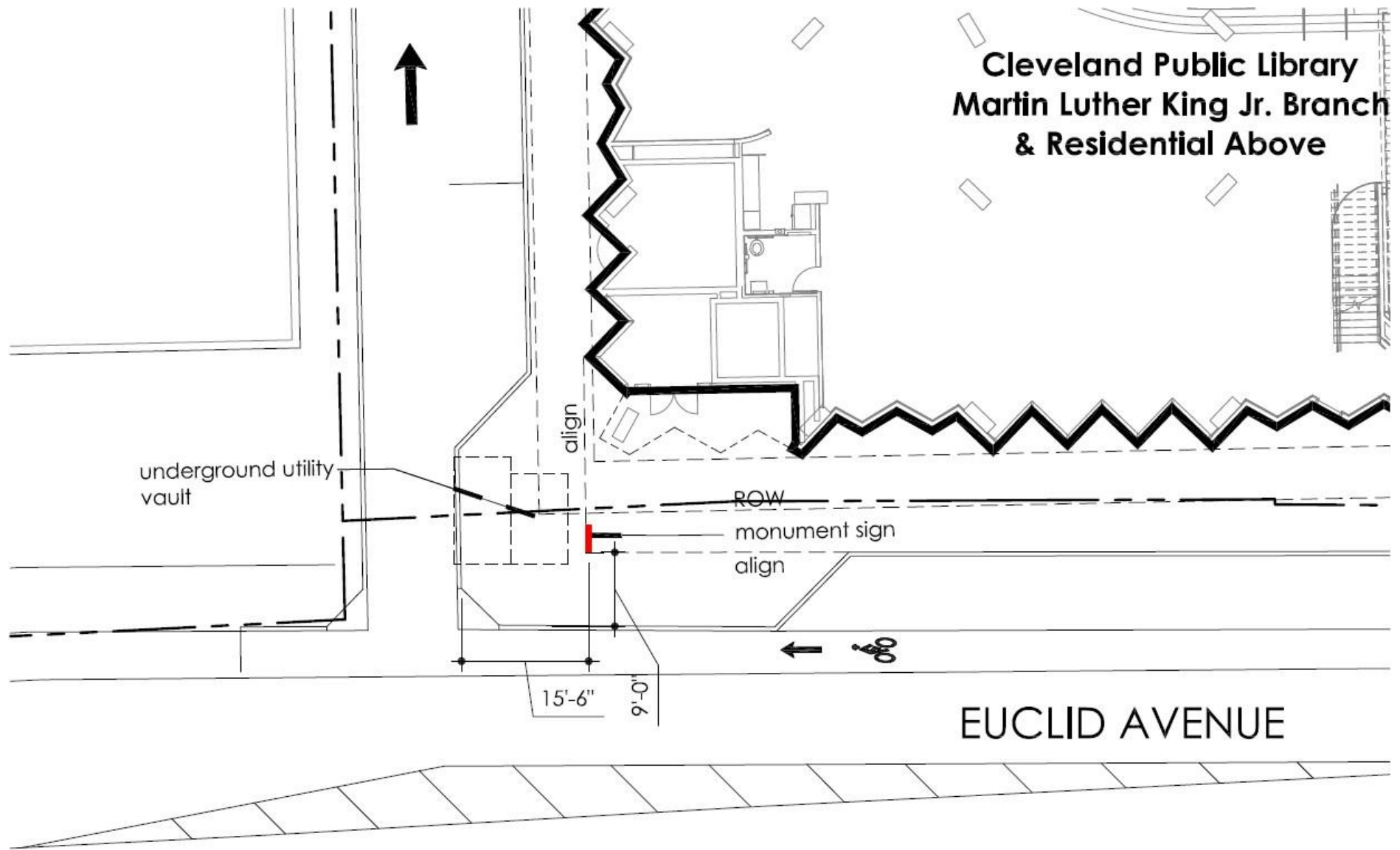
Reserve Court Graphics at Library Lofts North Entrance







**Cleveland Public Library  
Martin Luther King Jr. Branch  
& Residential Above**



**BIALOSKY**

CLEVELAND  
6555 Carnegie Ave.  
Cleveland, Ohio 44103  
t. 216.752.8750

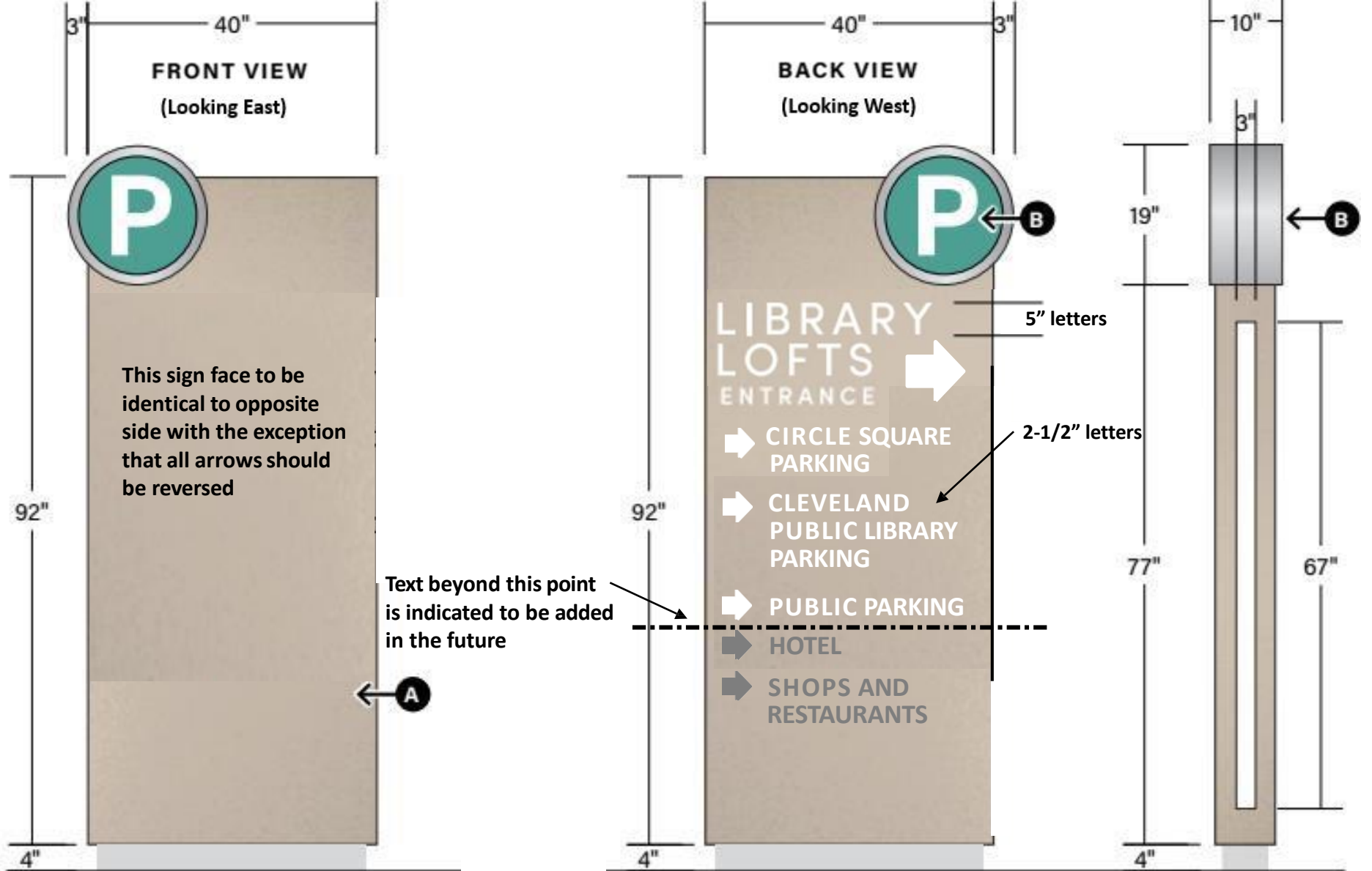


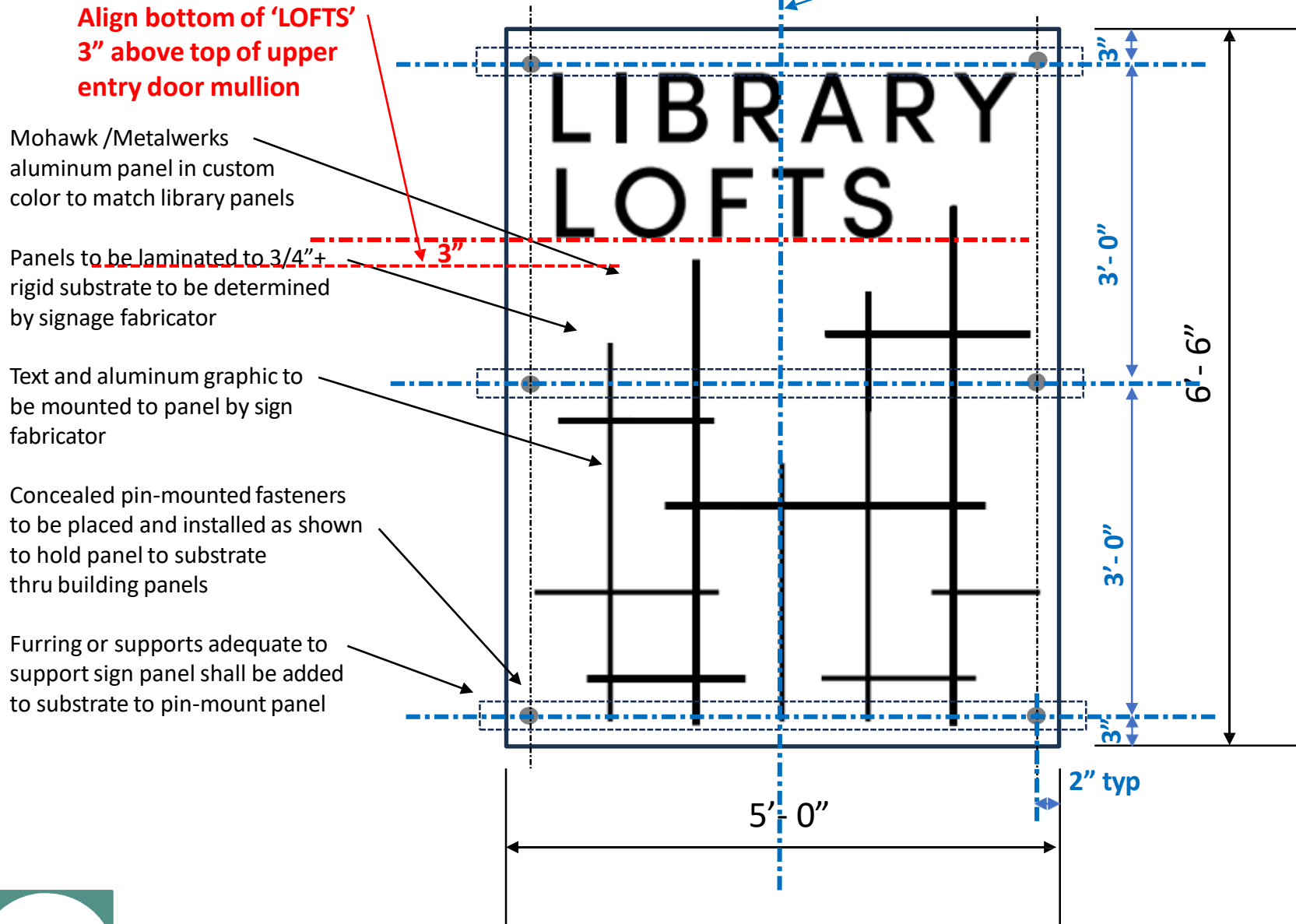
Issue/Date:  
Project Title:  
Project Location:  
Drawing Title:

8/28/2023

**CIRCLE SQUARE**  
**CORNER OF EUCLID & LIBRARY DRIVE**  
**LIBRARY LOFTS MONUMENT SIGN**

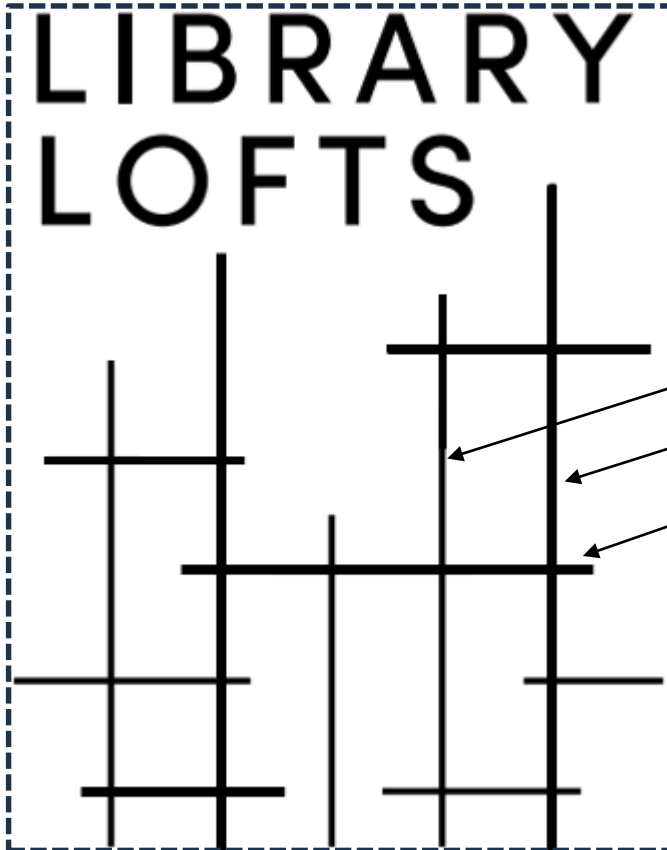
**EUCLID MONUMENT SIGN**





**Euclid Avenue Graphics at Library Lofts Entrance**



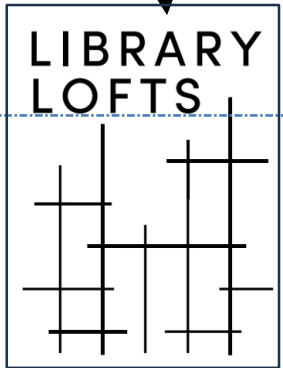


Overall size of graphic: 5'- 3" x 6'- 8" +/-

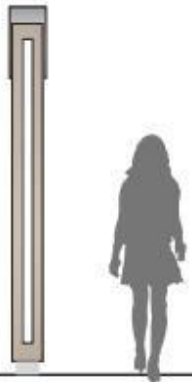
- Layer 1 – Front: 3/4" square aluminum rods (random)
- Layer 2 - Middle: 1-1/4" square aluminum rods (vertical)
- Layer 3 – Back: 1-1/4" square aluminum rods (horizontal)
- Rods welded, ground smooth, and painted.
- Pin-mount assembly securely to substrate were shown

5" vinyl letters on glass  
 10" painted aluminum letters  
 Pin-mounted to substrate

10555



Euclid Avenue Graphics  
 at Library Lofts Entrance





**VOLPE** ● Urban Design

**MDP** MIDWEST  
DEVELOPMENT  
PARTNERS

**View of Glass Plenum Space at Library Lofts Entrance**





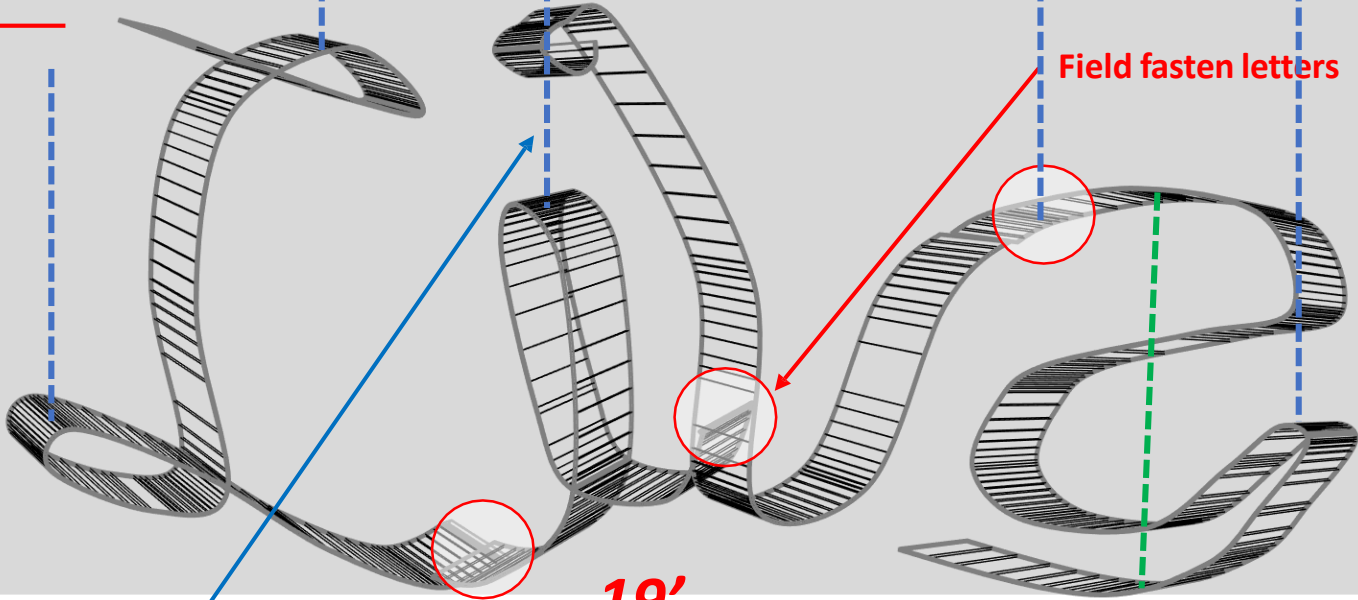
**View of Glass Plenum Space Under Construction at Library Lofts Entrance**





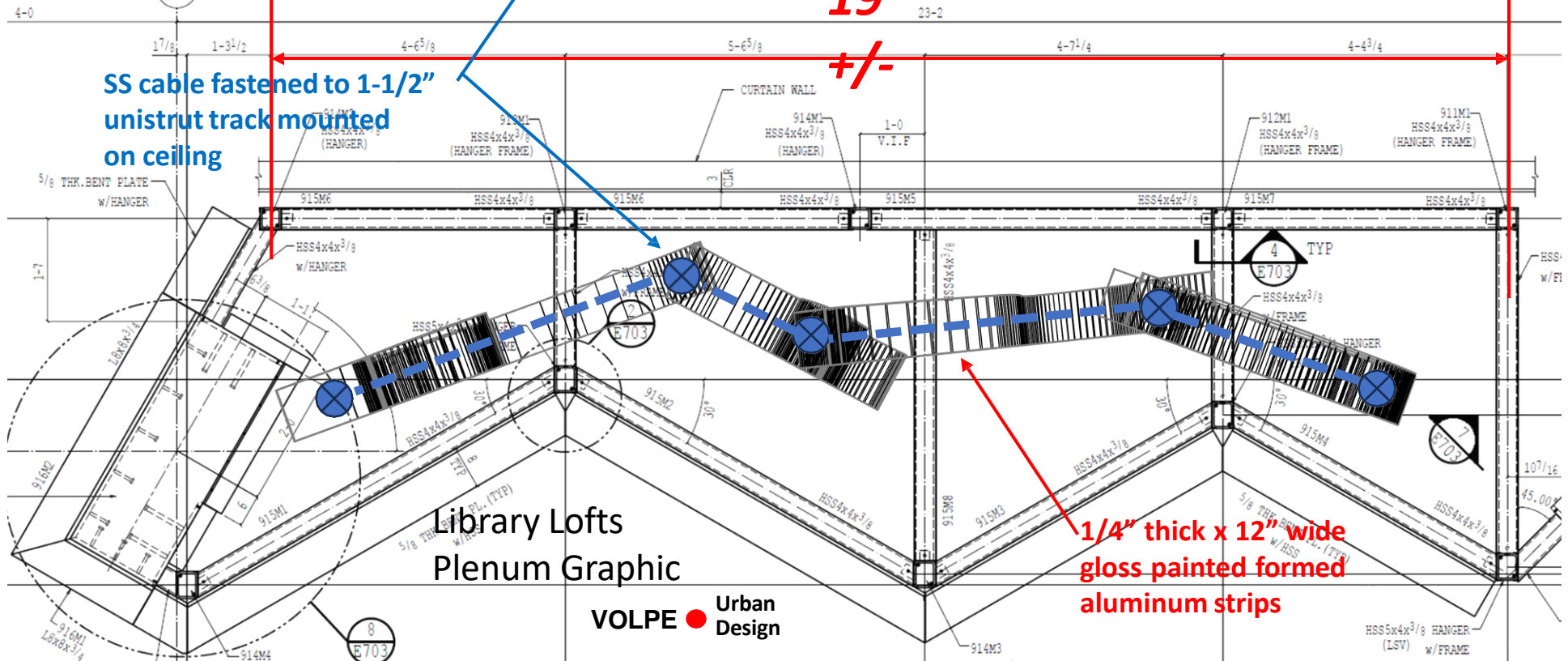
7' +/-

Field fasten letters



19' +/-

SS cable fastened to 1-1/2" unistrut track mounted on ceiling



Library Lofts Plenum Graphic

1/4" thick x 12" wide gloss painted formed aluminum strips



LWS

10555

LIBRARY LOFTS

LIBRARY LOFTS  
ENTRANCE  
→ LIBRARY PARKING

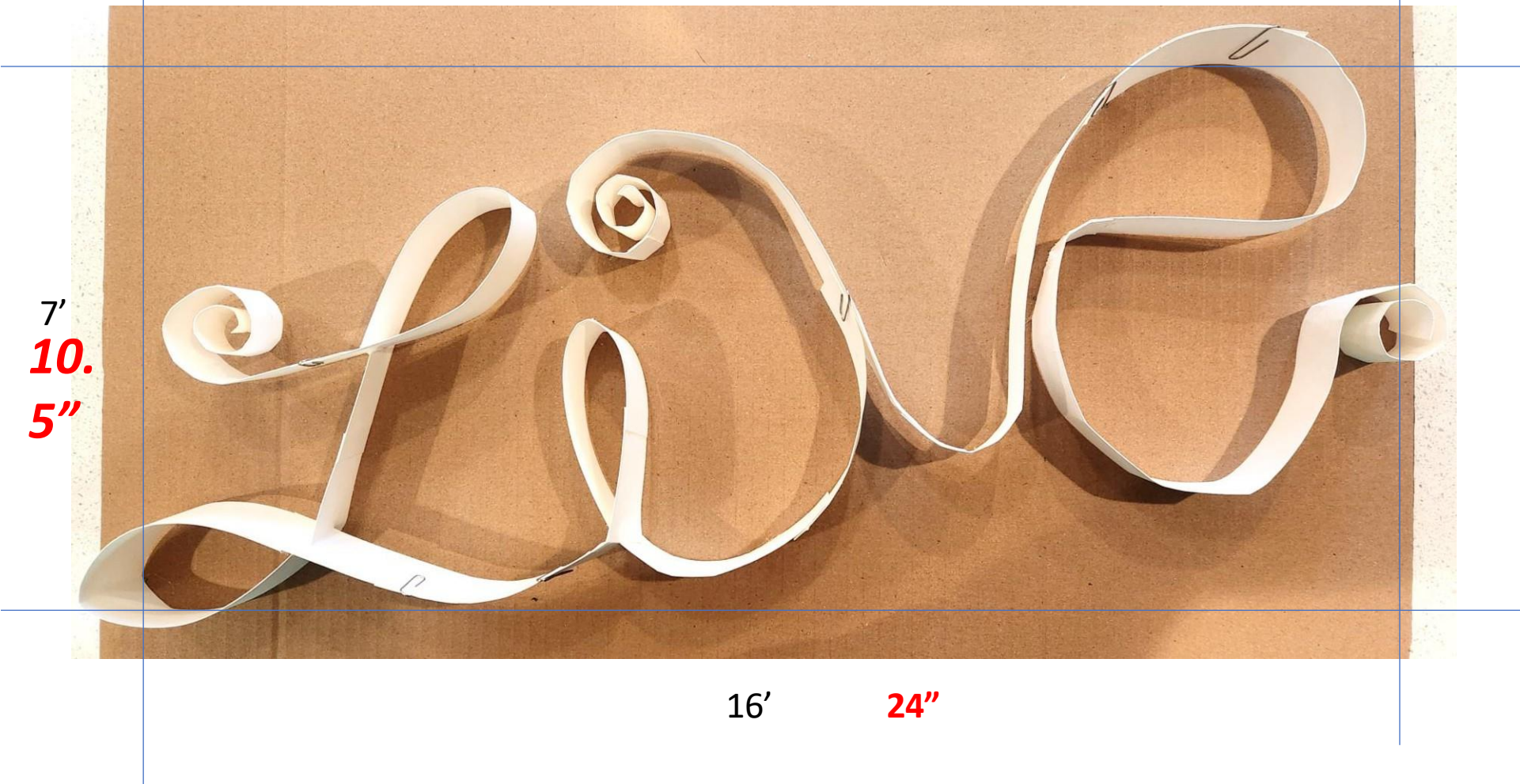
VOLPE Urban Design

MDP MIDWEST DEVELOPMENT PARTNERS

Circle Square Neighborhood

View of Graphics at Library Lofts Entrance







**VOLPE** ● Urban Design

**MDP** MIDWEST  
DEVELOPMENT  
PARTNERS

**View of 'LIVE' Graphic in Glass Plenum Space at Library Lofts Entrance**



# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Euclid Corridor–Buckeye Design Review

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**EC2024–005 – MLK Library Signage: Seeking Final Approval**

**Project Address: 10601 Euclid Avenue**

**Project Representatives: John Lang, CPL, Chris Diehl, J KURTZ  
Architects**

March 1, 2024

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**Ward 9– Councilmember Conwell**



**SPA: University Circle**

# ***Exterior Signage***

Martin Luther King, Jr. Campus  
of Cleveland Public Library

**N+S**

Nesnady + Schwartz  
10803 Magnolia Drive  
Cleveland, Ohio 44106  
216.791.7721

January 16,  
2024

## **Southeast Entry Signage**

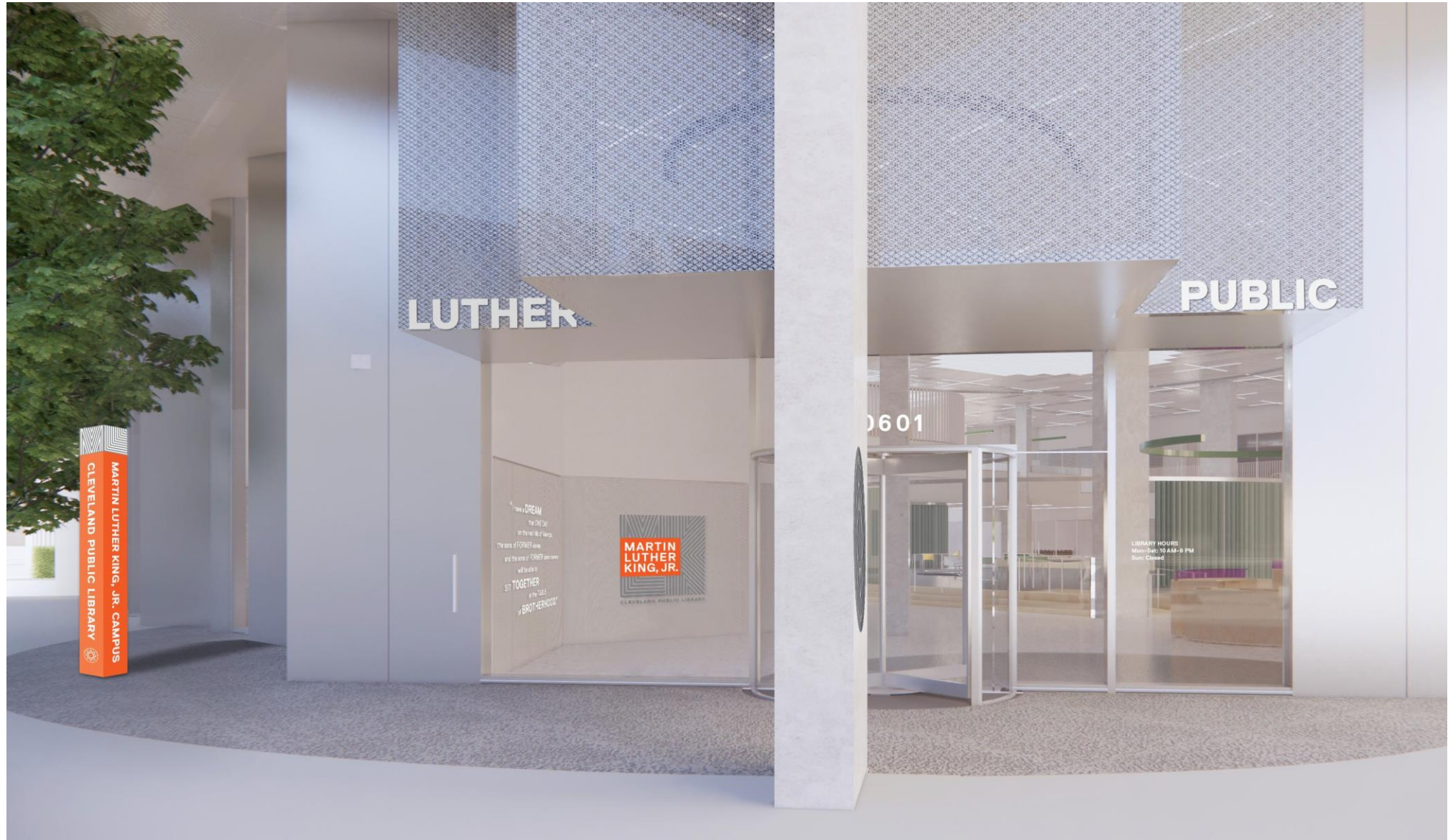


Southeast Entry (facing east)



Southeast Entry (facing west)





Southeast Entry (from sidewalk)



Southeast Entry (facing east)

## Northeast Entry Signage



Northeast Entry Signage with MLK Pattern Wallpaper in Meeting Space



Northeast Entry Signage with MLK Pattern Wallpaper in Meeting Space (illuminated night view)

## **Wayfinding Signage from Parking Garage**

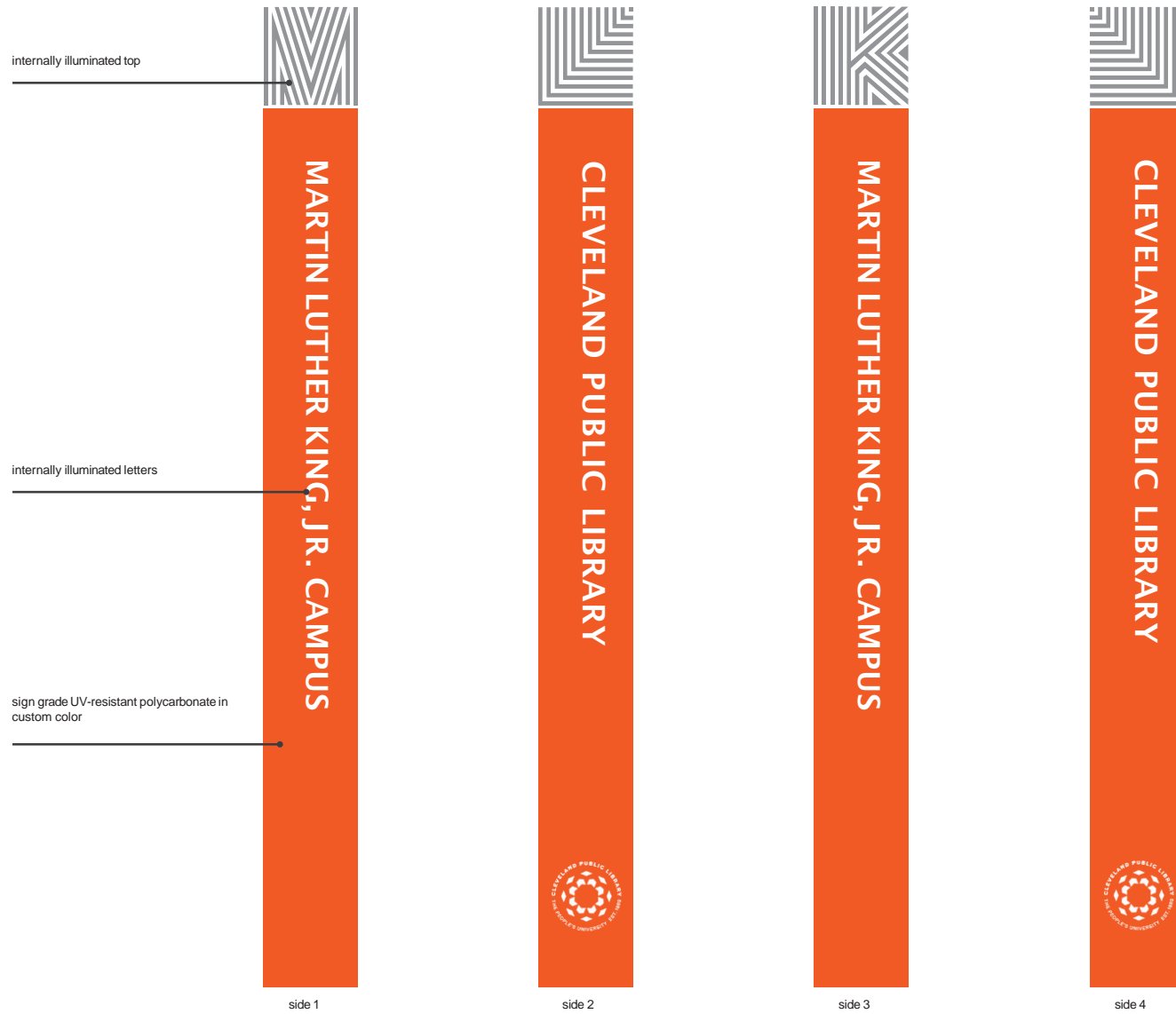


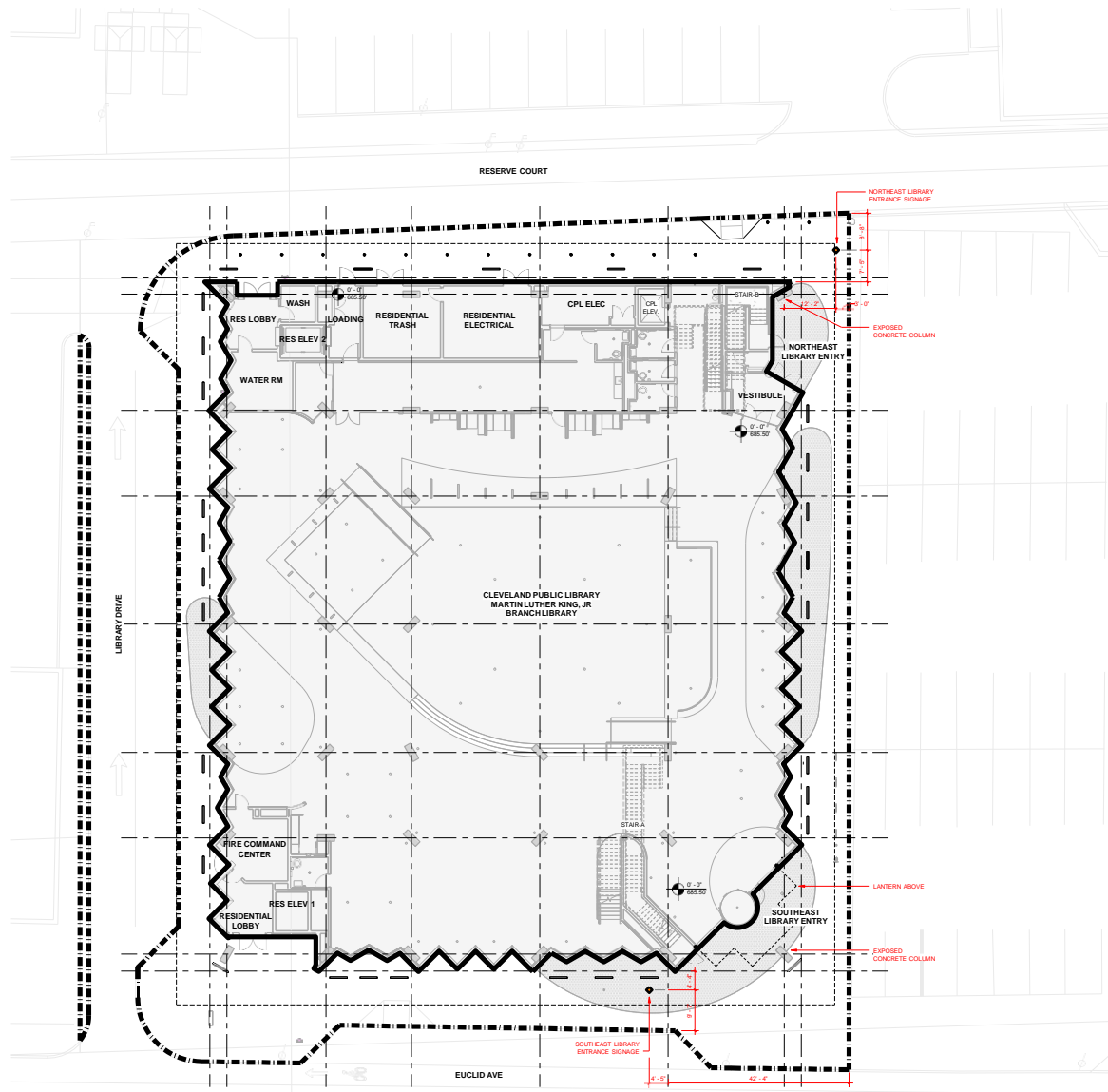
Wayfinding Pole – Visible from Parking Garage



Wayfinding Pole – Visible from Parking Garage (illuminated night view)







# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

# Cleveland City Planning Commission

## Mandatory Referrals

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

**Ordinance No. 108-2024 (Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin – by departmental request): Authorizing the Director of Capital Projects to execute a deed of easement granting to adjacent property owners, their successors and assigns, certain easement rights in property located in the Flats East Bank Development Area, and declaring that the easement rights granted are not needed for the City’s public use.**

March 1, 2024

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# **Cleveland City Planning Commission**

**Ord. No. 108-2024**

**Real Estate Legislation  
February 16, 2024**



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

## **Ord. No. 108-2024**

*Authorizing the Director of Capital Projects to execute a deed of easement granting to adjacent property owners, their successors and assigns, certain easement rights in property located in the Flats East Bank Development Area, and declaring that the easement rights granted are not needed for the City's public use.*

Location:	Flats Development area near Front Avenue and Old River Road
PPN:	101-11-003
Site Area:	2.52 acres
Easement type:	Non-exclusive
Purpose:	To grant a permanent non-exclusive easement to adjacent property owners for roadway access to their properties that would otherwise be landlocked.

## ***Location of Proposed Easement***





**Ordinance No. 29-2024 (Introduced by Councilmembers McCormack, Bishop and Griffin – by departmental request): Accepting the offer of dedication of public right-of-way and public improvements shown on the recorded plat for Moltke Court.**

March 1, 2024

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# City Planning Commission

Friday, March 1, 2024

Richard Switalski, PE

Administrative Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

Ordinance #29-2024

Moltke Court - Dedication & Acceptance

# Ordinance No. 29-2024

An ordinance accepting the dedication of public right-of-way and public improvements of Moltke Court between West 25<sup>th</sup> Street & West 20<sup>th</sup> Street.



Source:  
<https://www.cleveland.com/realestate-news/2023/04/chicago-developer-turns-scrap-into-luxury-living-with-its-first-cleveland-apartment-building.html>

A rendering of the TREO Apartments ahead of completion of construction on April 1. Mavrek Development



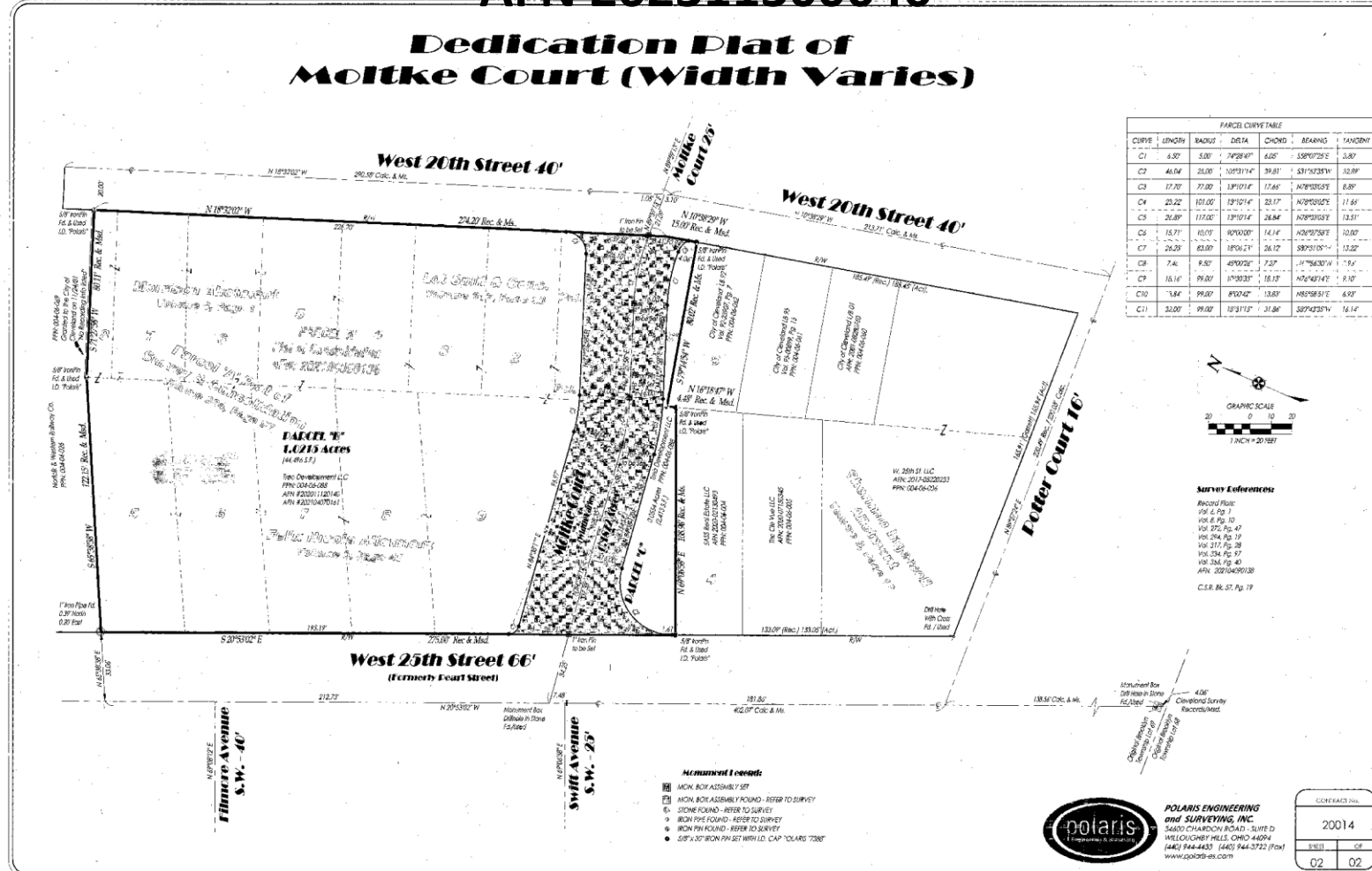
# Ordinance No. 29-2024

Dedication plat – recorded November 30, 2023

4051

AFN 202311300646

## Dedication Plat of Moltke Court (Width Varies)



4021

**Questions & Feedback?**

**Ordinance No. 232-2024 (Introduced by Councilmembers McCormack, Bishop and Hairston – by departmental request): Authorizing the Director of the Mayor’s Office of Capital Projects to issue a permit to The Sherwin-Williams Company to encroach into the public rights-of-way of West 3rd Street, Frankfort Avenue, Public Square West Roadway, Superior Avenue, West St Clair Avenue and West 6th Street by installing, using and maintaining various objects.**

March 1, 2024

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*SHERWIN-WILLIAMS.*

**BUILDING OUR  
FUTURE**

24 October 2023    **City Planning Summary**

OJB LANDSCAPE ARCHITECTURE | DERU LANDSCAPE ARCHITECTURE

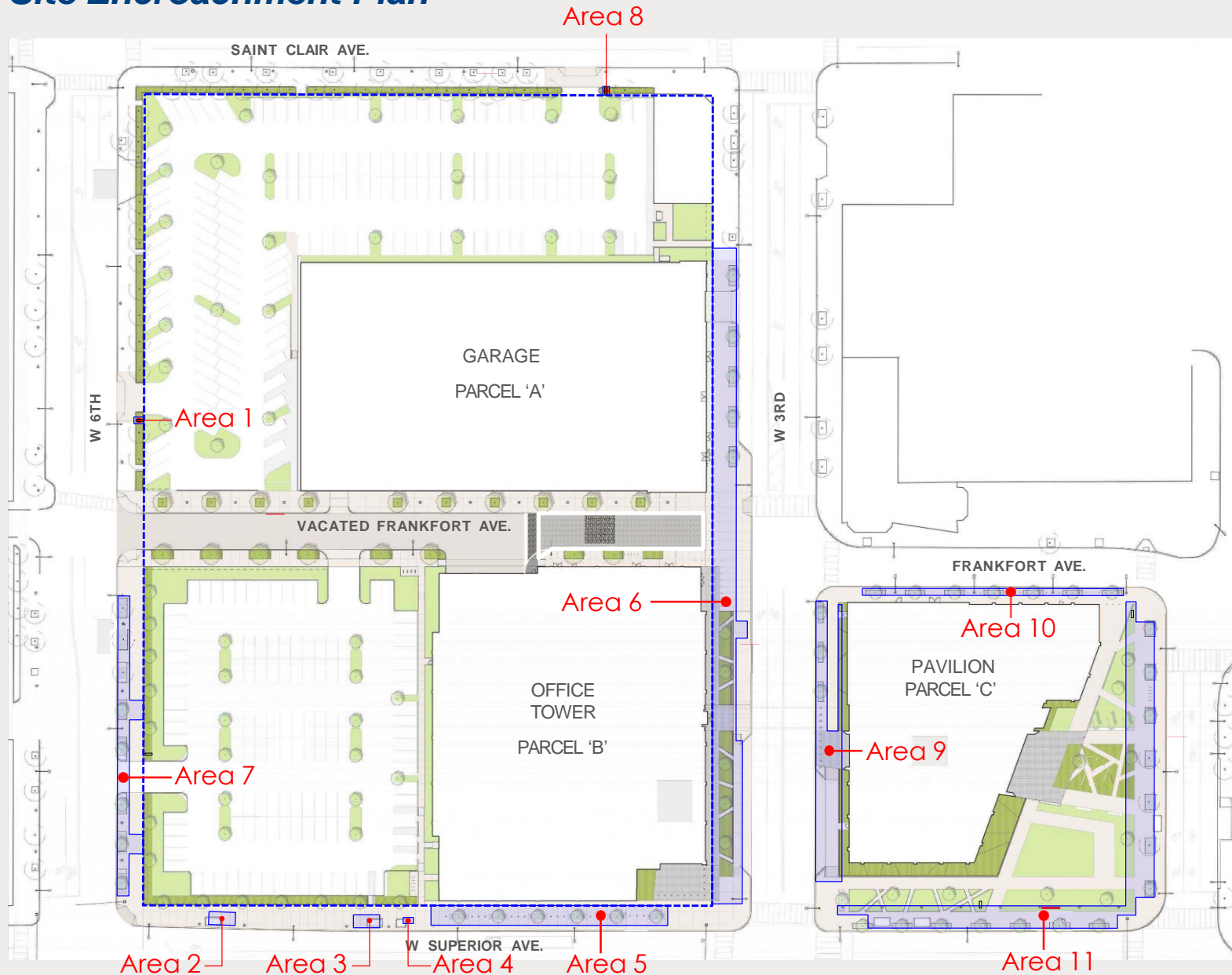


# 01

## CATALYST FOR GROWTH

INCLUDED IS A SUMMARY OF PLANNING PRESENTATIONS  
AS APPROVED AND DOCUMENTED

# Site Encroachment Plan



**Areas 1 & 8:**  
Monument sign with foundation

**Areas 2, 3, & 4:**  
No encroachment elements  
(Site amenities only)

**Area 5:**  
Bollards with foundation  
Pedestrian light poles & foundation  
Landscape irrigation system  
Underground Utility vaults  
Electrical outlets in landscape zone

**Area 6:**  
Rated Security Bollards with foundation  
Sidewalk embedded snow melt system  
Pedestrian light poles with foundation  
Electrical outlets in landscape zone  
Concrete Security/Landscape wall  
Landscape irrigation system  
Buried storm drainage, utility vault

**Area 7:**  
Monument sign with foundation  
Landscape irrigation system

**Area 9:**  
Rated Security Bollards with foundation  
Sidewalk embedded snow melt system  
Concrete Security/Landscape wall  
Landscape Irrigation System  
Electrical outlets in landscape zone

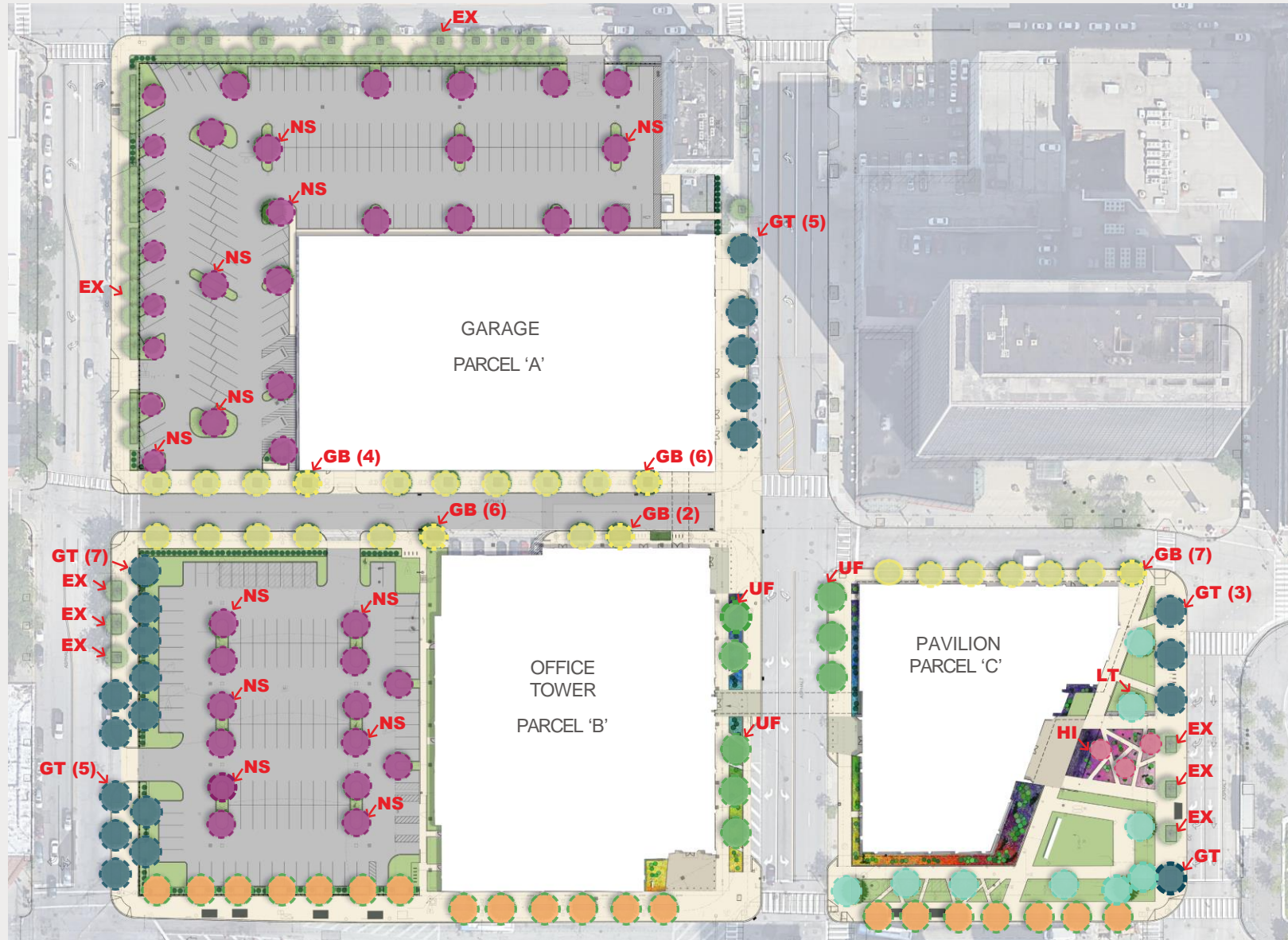
**Area 10:**  
Bollards with foundation  
Landscape irrigation system

**Area 11:**  
Monument sign with foundation  
Pedestrian light poles with foundation  
Concrete Security / Landscape wall  
Landscape Irrigation System  
Electrical outlets in landscape zone





# Tree planting diagram



## LEGEND

-  GB- Ginkgo b. 'Princeton Sentry'  
Princeton Sentry Ginkgo
-  GT - Gleditsia t. f. 'Street Keeper'  
Street Keeper Honey Locust
-  HI-Hamamelis i. "Barmstedt Gold"  
Barmstedt Gold Witchhazel
-  LT-Liriodendron  
Tulip Poplar
-  NS- Nyssa sylvatica  
Sour Gum
-  UF- Ulmus X Frontier  
Frontier Elm
-  UB - Ulmus parvifolia 'BSNUPF'  
Everclear Lacebark Elm

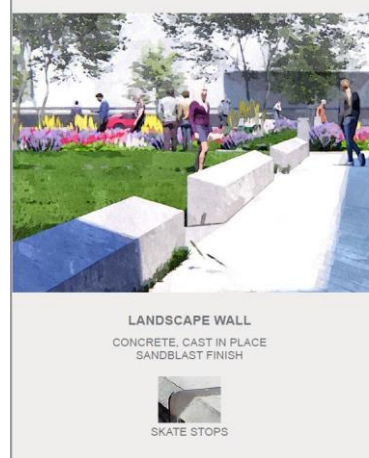




# Site Elements

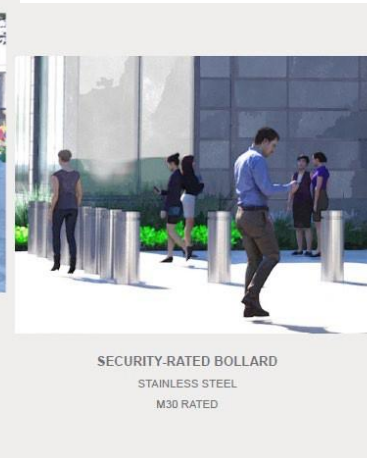


Section detail at concrete Security / Landscape walls



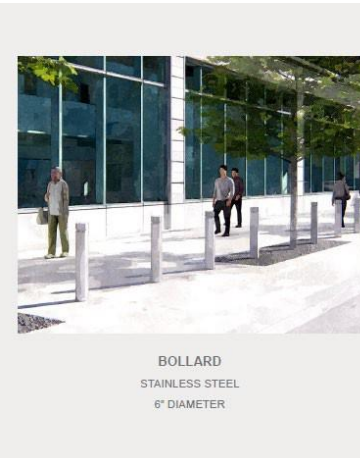
LANDSCAPE WALL  
CONCRETE, CAST IN PLACE  
SANDBLAST FINISH  
SKATE STOPS

Concrete Security/Landscape wall in Areas 6, 9.



SECURITY-RATED BOLLARD  
STAINLESS STEEL  
M30 RATED

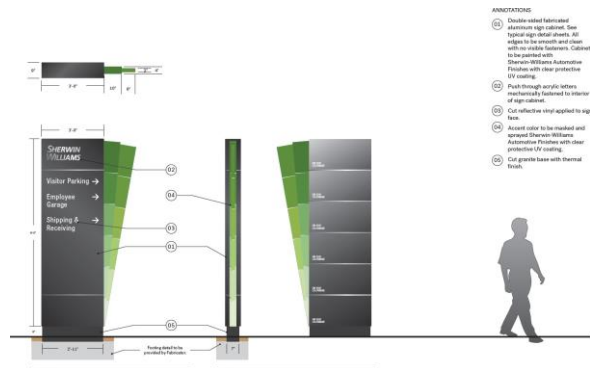
Rated Security Bollards in Areas 6 and 9.



BOLLARD  
STAINLESS STEEL  
6" DIAMETER

Non-rated bollards in Areas 5 and 10.

Presenter Notes  
2024-02-02 21:55:23



Monumental Sign 6'-1'-6"H or 9'6" H in Areas 1, 7, 8 and 11 (2)



Pedestrian Light in Areas 5, 6, 11.  
Heads at 12' and 14'

# Cleveland City Planning Commission

## Administrative Approval

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

**Ordinance No. 234-2024 (Introduced by Councilmember Howse-Jones): Changing the Use, Area and Height Districts of parcels of land west of Crawford Road between Wade Park Avenue and Kenmore Avenue and adding an Urban Form Overlay District to the south side of Wade Park Avenue. (Map Change 2674)**

March 1, 2024

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# Cleveland City Planning Commission

## Special Presentations

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024



## **FW2024-002 – Destination Cleveland Murals Across the City: Seeking Final Approval**

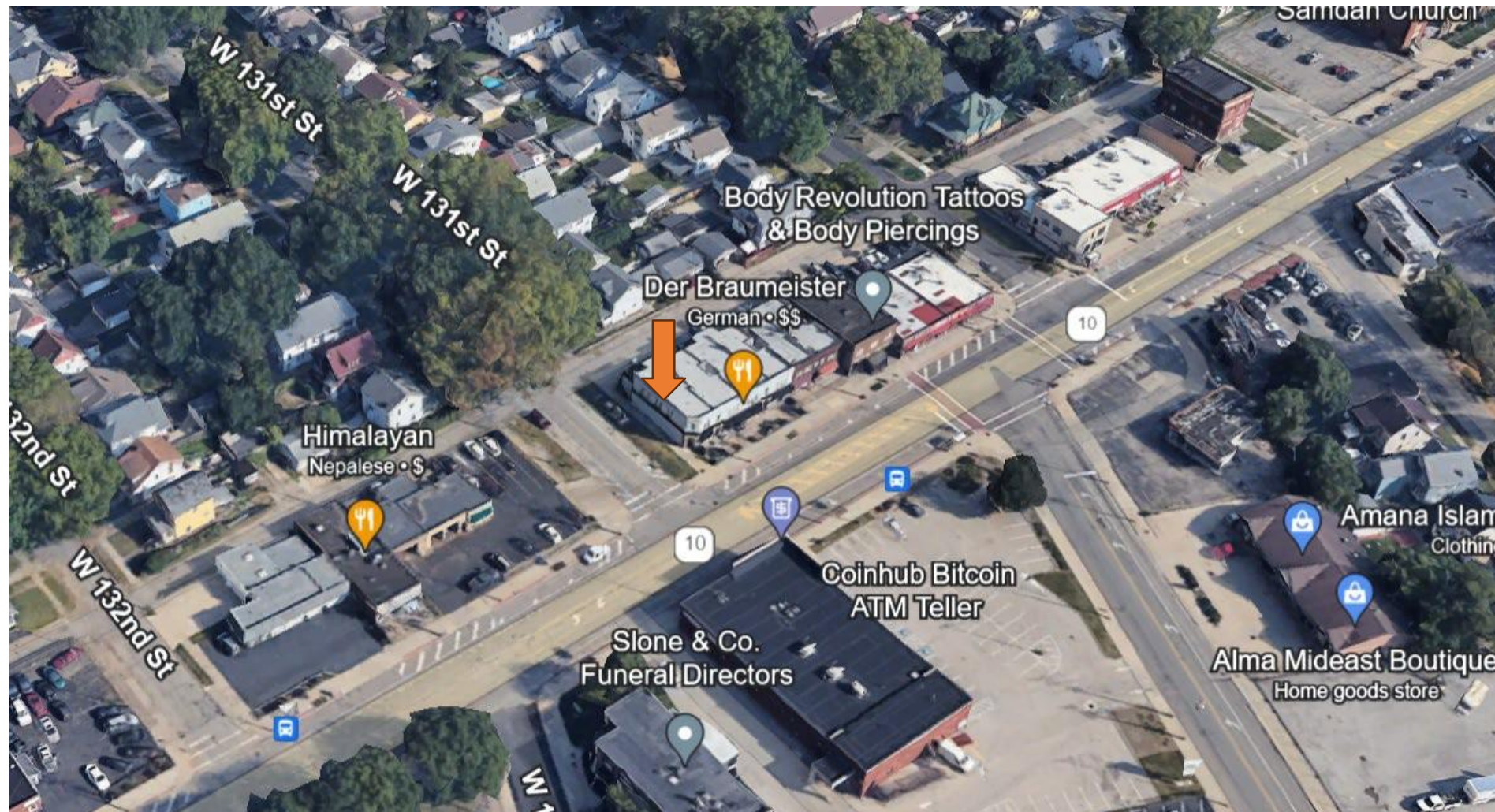
**Project Location: 13046 Lorain Avenue**

**Presenter: Alex Harnocz, Destination Cleveland**

March 1, 2024

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# Location – 13046 Lorain Ave



# Context

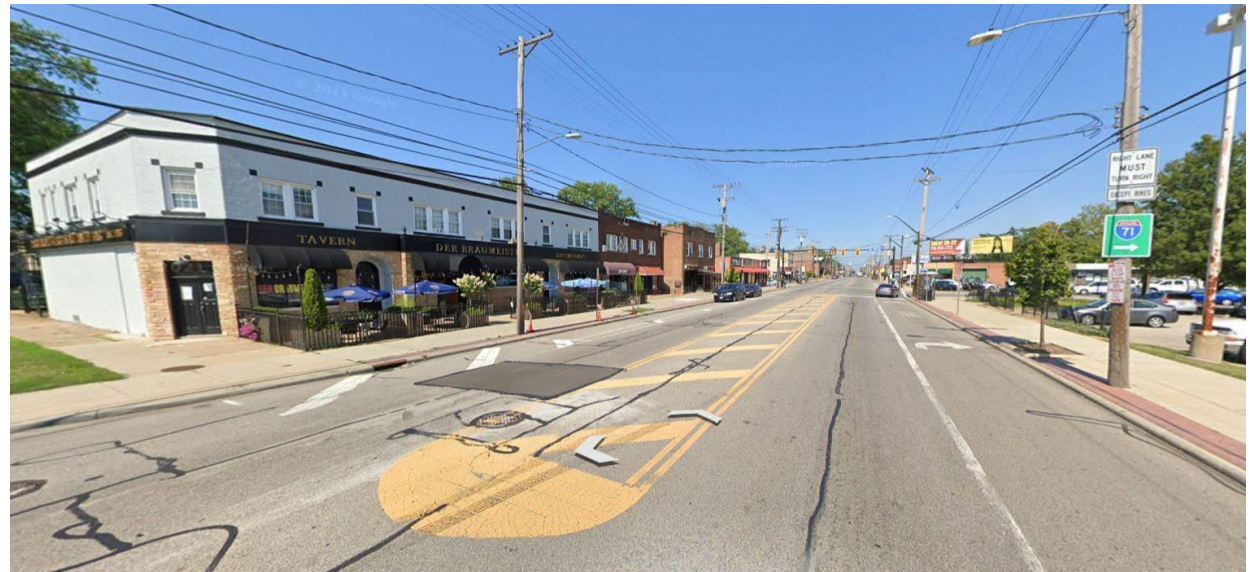


# Context

View of building and adjoining units



Northeast on Lorain Ave



# Context

Southwest on Lorain Ave



South on W 131<sup>st</sup> Street



# Facade



## ***Materials***

- Wall buffed
- Wall primed
- Direct application of paint
- Anti-Graffiti Coating (to 11')

## Design Concept



- Ian Burleson



# Design Rendering



- Design is being adjusted to fit space

## **Lee-Harvard Community Master Plan: Seeking Final Approval**

**Presenters: Carter Coleman, APD**

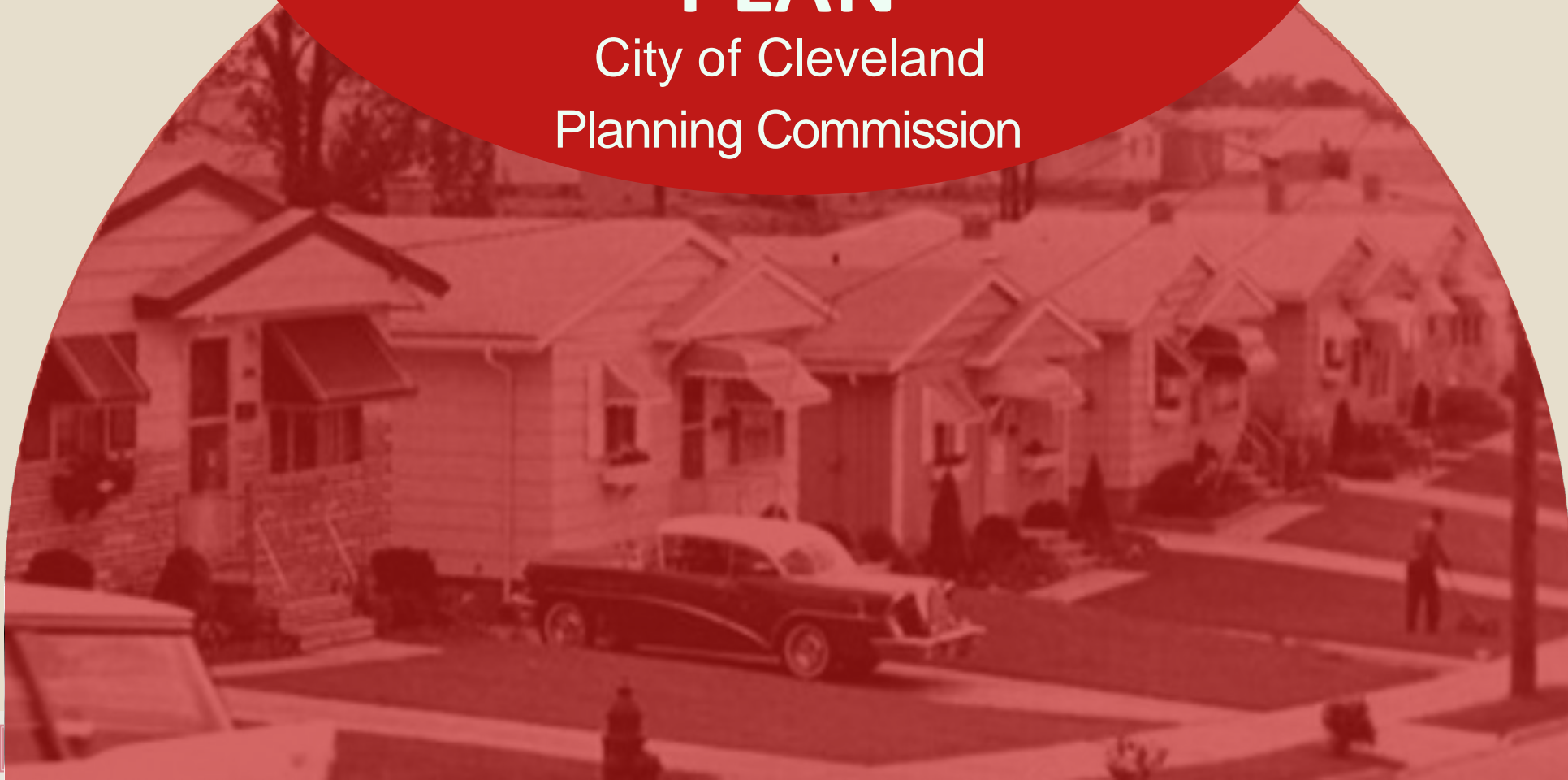
**Thomas Starinsky, Planning Consultant**

March 1, 2024

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# LEE-HARVARD COMMUNITY MASTER PLAN

City of Cleveland  
Planning Commission

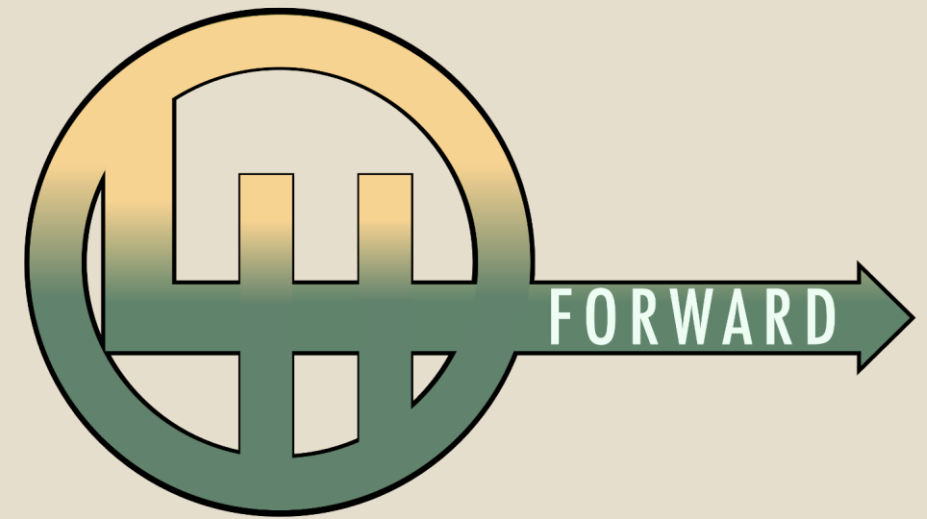


# LEE HARVARD PROJECT MANAGEMENT TEAM



## *LEE HARVARD MASTER PLAN*

The Lee Harvard Master Plan was created as a response to the City of Cleveland's plan to improve Lee Road, aligning with the improvements in the Shaker Heights part of the corridor. The goal of the project partners was to develop an urban planning and investment strategy that would benefit from the incoming public investment. The plan required public input to guide the growth and development of the community to enhance its health and wealth through various development and public improvement opportunities.



# STUDY AREA BOUNDARY

All property facing the Lee Rd, Harvard Ave, and Miles Ave corridors.

## Lee Road

North: Invermere Ave.

South: Miles Ave.

## Harvard Avenue

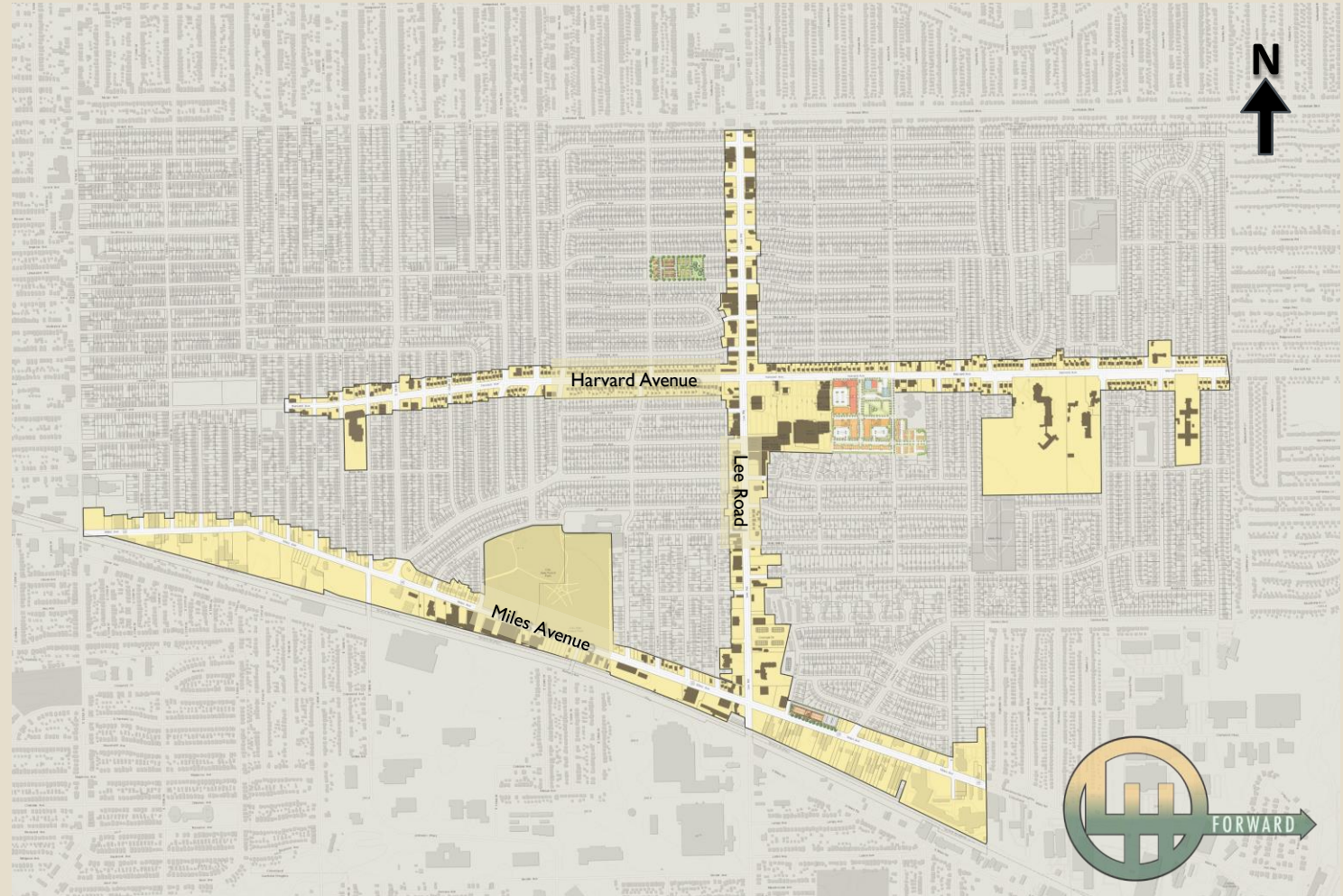
West: E 142<sup>nd</sup> St.

East: Shadywood Ln.

## Miles Avenue

West: E 131 St.

East: Lee Heights Blvd.

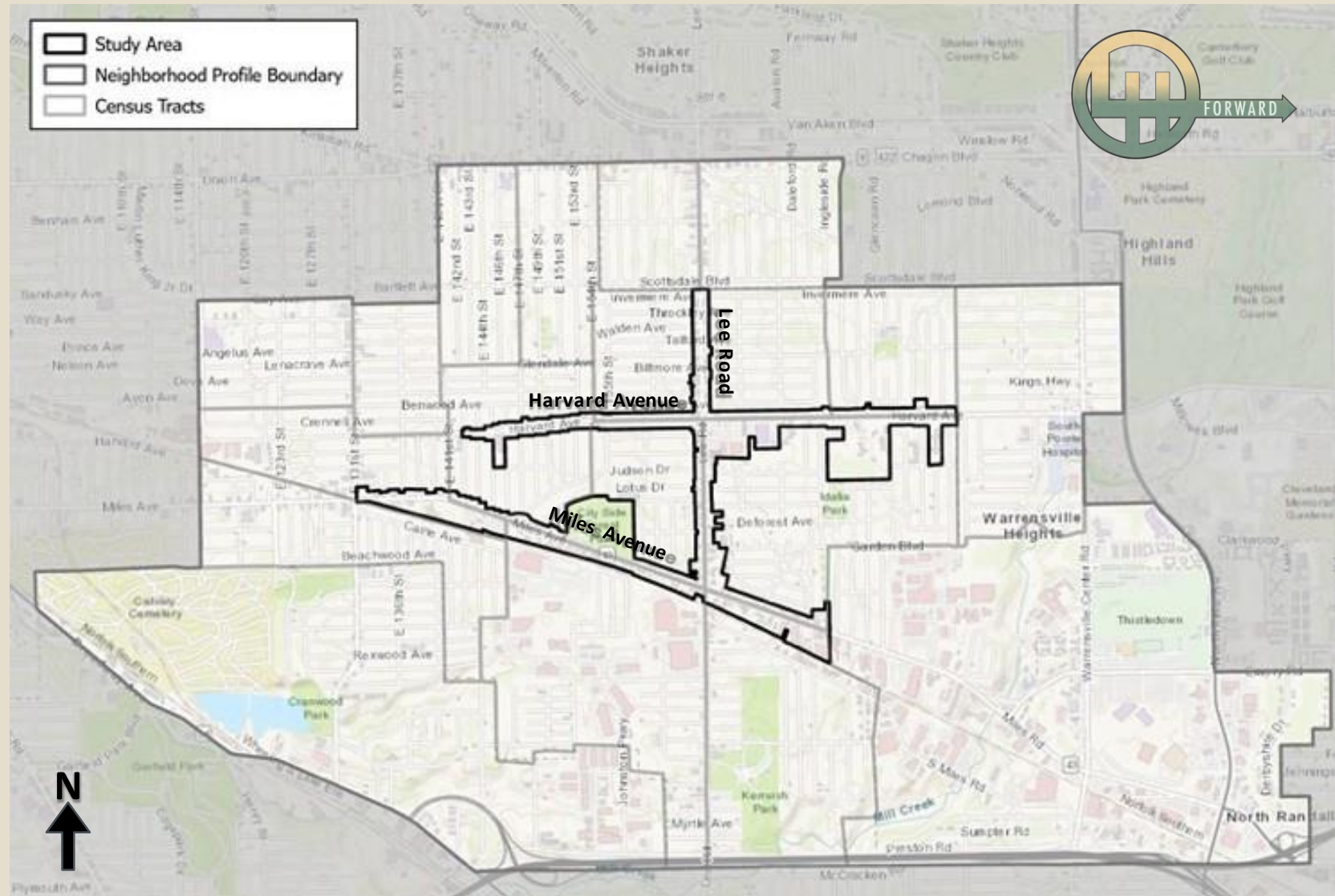


The background features a light beige gradient. Overlaid on this are several abstract shapes: a large light blue semi-circle on the left, a dark green semi-circle on the right, a yellow semi-circle on the right, and a red circle on the right. In the bottom left corner, there is a yellow triangle and a dark green triangle.

# **NEIGHBORHOOD ANALYSIS RESULTS**

# NEIGHBORHOOD ANALYSIS BOUNDARY

All property facing the Lee Rd, Harvard Avenue, and Miles Avenue corridors.





# NEIGHBORHOOD PROFILE (2021)

## Lee Harvard Census Tracts

Population



41,242

Median Age



44

Average HH Size



2

Median HH Income



\$37,626

Median Property Value



\$70,388

Ownership Rate



57%

Rental Rate



43%

## City of Cleveland

Population



374,861

Median Age



36

Average HH Size



2

Median HH Income



\$33,678

Median Property Value



\$87,000

Ownership Rate



41%

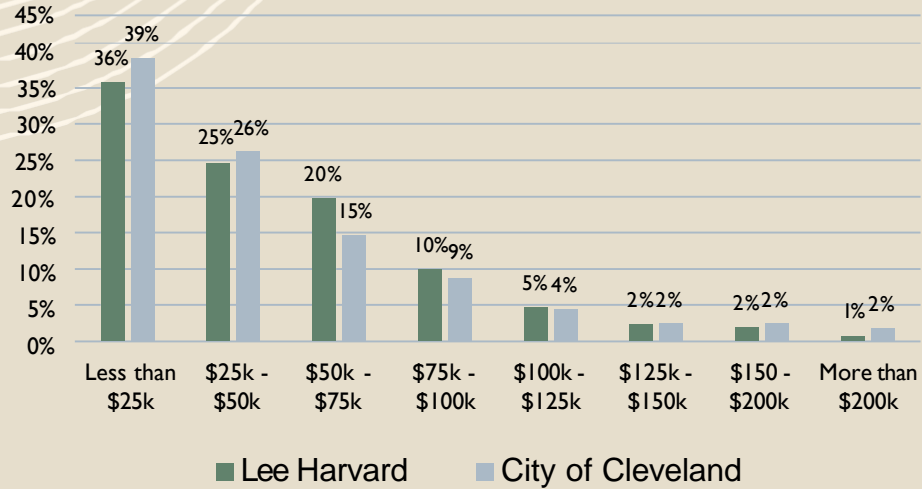
Rental Rate



59%

# NEIGHBORHOOD PROFILE (2021)

Incomes 2021



## Lee Harvard

Paying more than 30% on Rent



49%

Paying more than 50% on Rent



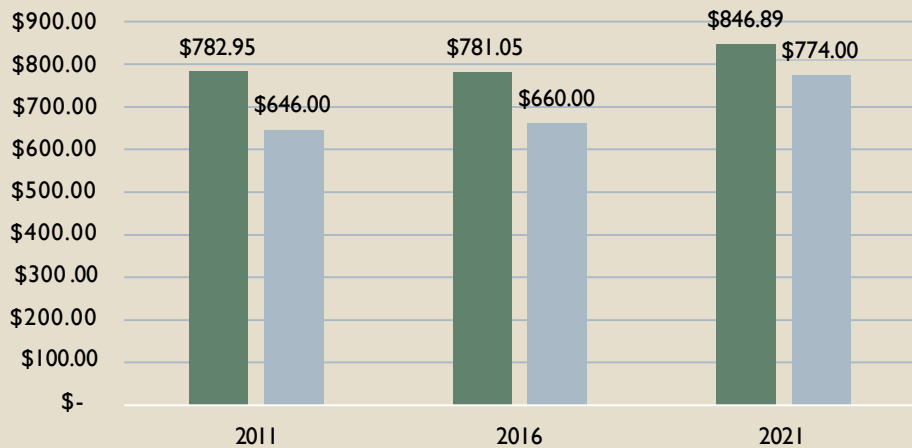
32%

Poverty Rate



24%

Average Rents



## Cleveland

Paying more than 30% on Rent



46%

Paying more than 50% on Rent



25%

Poverty Rate



31%

# MAJOR TAKEAWAYS

- Lee Harvard is an African American neighborhood with an aging adult population and a large representation of those under 18 years old.
  - **Opportunity: Generational transition is happening in Lee Harvard. There is a high potential to retain the next generation of homeowners.**
- Homes are affordable in Lee Harvard to those who are earning the median income.
  - **Opportunity: Attracts new residents to the neighborhood.**
- Homeownership is strong in Lee Harvard as compared to Cleveland.
  - **Opportunity: Leverage resident vested interest to promote and support new community development initiatives**
- The average household size is two; this signifies that most residents are empty nesters or young professionals without kids utilizing the affordable housing options in Lee Harvard.
  - **Opportunity: Expand the housing typologies offered to accommodate new growing families.**
- Rents in Lee Harvard are outpacing the City of Cleveland. 49% of Lee Harvard renters are cost-burdened.
  - **Opportunity: Create more housing options at various price points to accommodate all ranges of income.**



**COMMUNITY ENGAGEMENT  
SUMMARY**

## ***COMMUNITY ENGAGEMENT PROCESS***

Community engagement for the Lee Harvard Master Plan was conducted between August 2023 and February 2024.

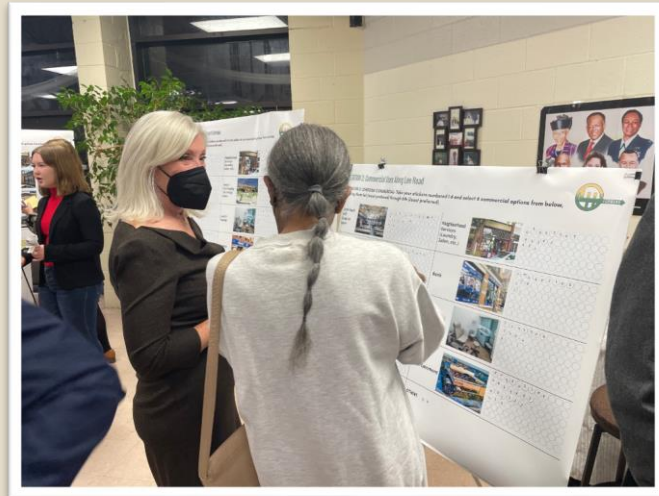
- **Eight (8) Project Management Team Meetings**
- **Twenty-six (26) Stakeholder Interviews/Meetings**
- **Five(5) Steering Committee Meeting**
- **One (1) Youth Focus**
- **Five(5)\* Public Meetings with the Lee Harvard Community**
  - **Total Attendance: 300+ participants**

The meetings ensure residents understand the planning study's intent, process, and analysis results while gathering input on issues and opportunities around local commercial businesses, transportation, housing, and neighborhood concerns.

## ***STEERING COMMITTEE GOALS***

- Increased pedestrian safety and walkability
- Improved streetscape and road safety
- Vibrant and green commercial corridors
- Attracting the next generation of families to the community
- Creating a plan that can be implementable
- Preserving the community's identity while advancing Lee Harvard for the next generation
- Identify community strengths and assets for future growth
- Establish a clear vision for the future of Lee Harvard
- Continued opportunities to work with experts to realize community goals

# COMMUNITY ENGAGEMENT PROCESS





**COMMUNITY INPUT  
RESULTS**



## VISION

*“The vision for the Lee-Harvard Community Master Plan is to create a vibrant, welcoming, and safe walkable environment for residents of all generations with attractive commercial corridors that enhance the community’s unique character and foster economic growth.”*

## GUIDING PRINCIPLES



Enhanced Walkability and Safety



Vibrant Commercial Corridors



Community Engagement and Inclusivity



Preservation and Sustainability



Attractiveness and Growth

## ***TRANSPORTATION CONCERNS***

- Lee and Harvard Intersection
- 141st St. through 142nd St. on Miles lots of crashes
- Improve traffic flow and patterns
- Resurface streets
- Safety measures such as speed bumps, security lighting
- Enhance parking and transit waiting facilities

## ***COMMERCIAL BUSINESS CONCERNS***

- Attract new retail and entertainment businesses to the area
- Promote small business incubators with affordable rents, especially for nonprofits and local startups
- Encourage and support black-owned businesses in the Lee Harvard area
- Establish a volunteer program to support local businesses and promote community engagement

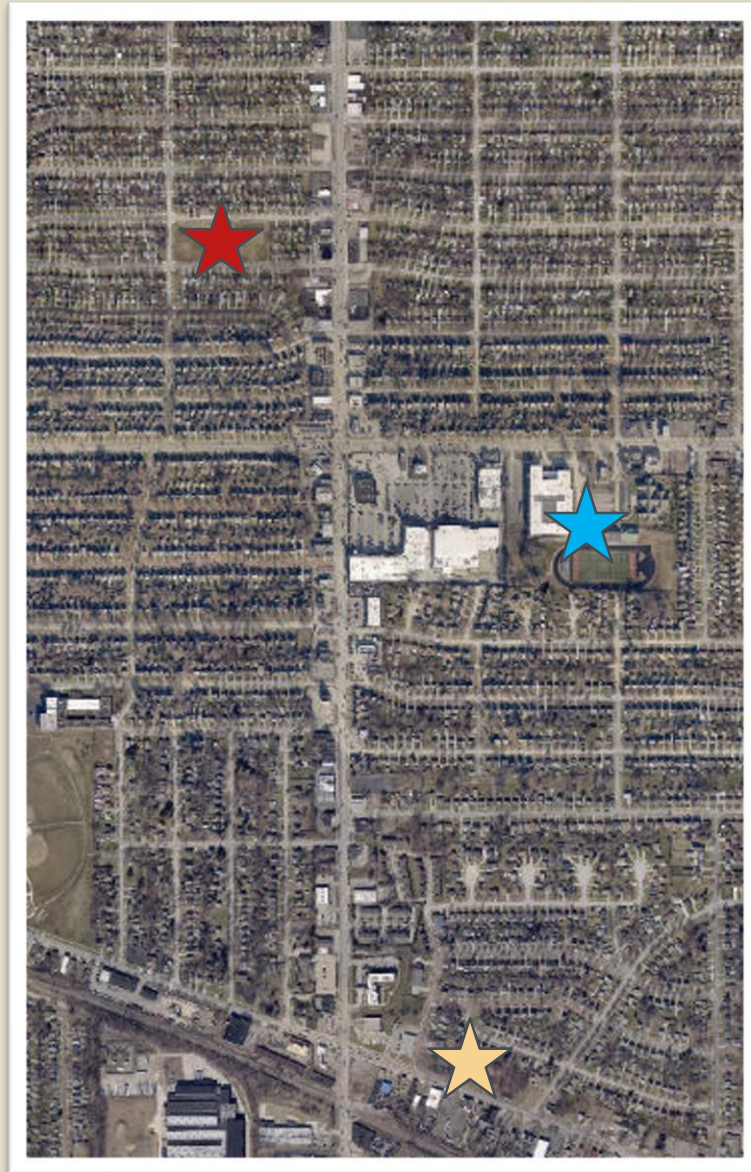
## ***HOUSING CONCERNS***

- Owner and rental property deferred maintenance
- Property tax increases
- Lack of will | transfer of property to an heir
- Diversity of housing types
- Back Taxes



**CATALYTIC SITES**

# CATALYTIC SITES



GRACEMOUNT



FORMER JFK  
HIGH SCHOOL



CITY OWNED  
PROPERTY

# DEVELOPMENT PREFERENCES

## Harvard Ave.

- Mixed Use
- Multifamily
- Community gathering space
- Neighborhood retail

## Lee Rd.

- Family Entertainment
- Mixed Use
- Neighborhood retail
- Restaurants
- Health Facility

## Miles Ave.

- Adaptive reuse of existing buildings
- Additional retail options

## Gracemount

- Single Family
- Duplexes
- Townhomes
- Greenspace

# DEVELOPMENT PREFERENCES

Harvard Ave.



Lee Rd.



Miles Ave.



Gracemount





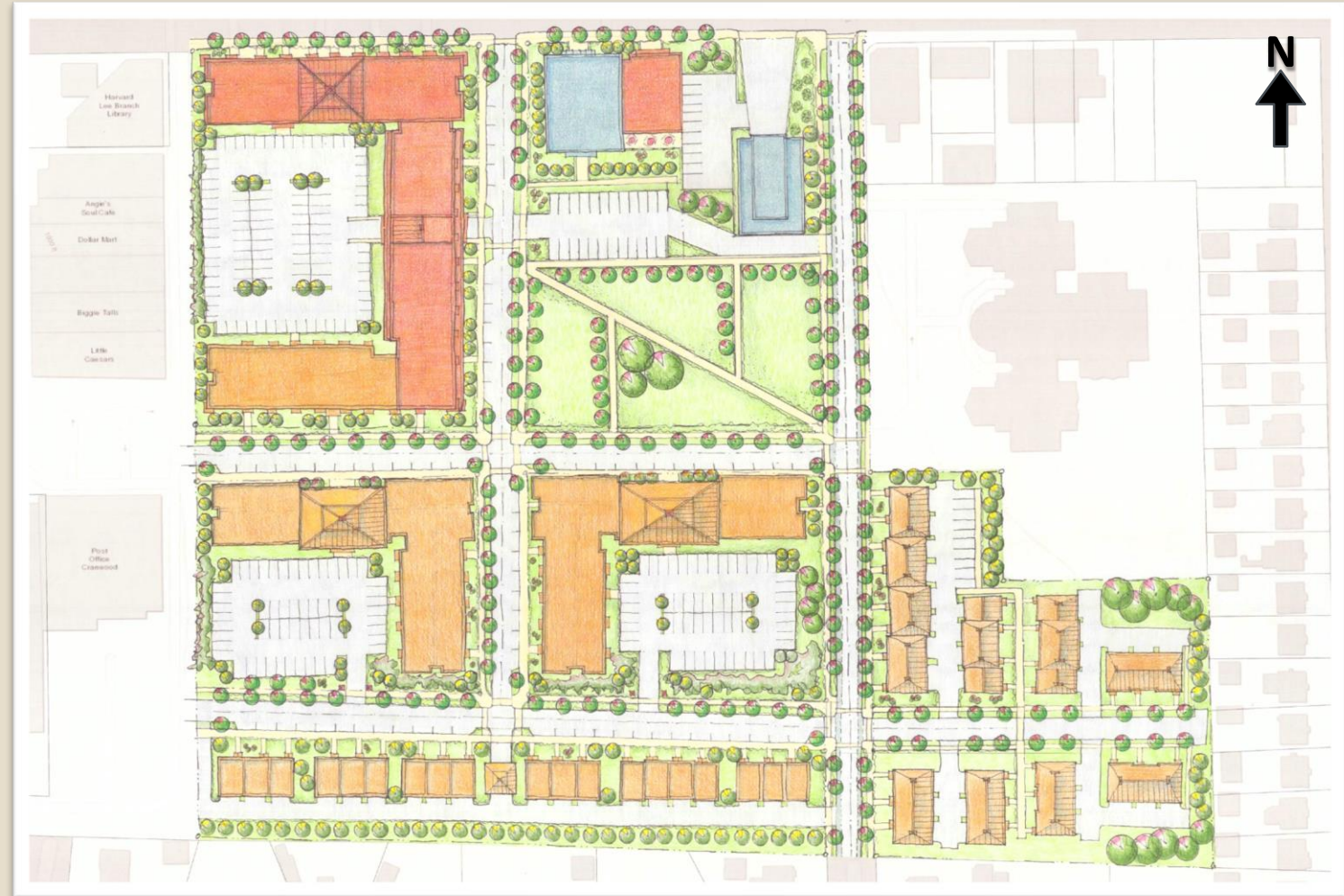
## ***FORMER JFK HIGH GUIDING PRINCIPLES***

1. Develop the site as a town center mix of uses that provide housing, business opportunities, and institutional and cultural amenities.
2. Retain a real estate development team that is managed by the City of Cleveland to prepare a suite of predevelopment tools to attract developers to the Lee Harvard neighborhood.
3. Develop a financing strategy that provides community shareholding and resident investment into the redevelopment of the Former John F. Kennedy High School Site.
4. Community engagement activities with youth, residents, businesses, churches, industrial companies, and organizational partners should be conducted to ensure the proposed development aligns with community the community's vision.

# FORMER JFK HIGH SCHOOL

## DEVELOPMENT PREFERENCES

- Mixed Use
- Multifamily
- Community gathering space
- Neighborhood retail



**\*SUBJECT TO FURTHER STUDY\***

# ***GRACEMOUNT GUIDING PRINCIPLES***

1. Develop housing typologies that provide housing for various incomes, including single-family homes, townhomes, duplexes, and garages that range in size.
2. Public greenspace with amenities in a manner that complements the urban design of the area.
3. Explore innovative financial mechanisms to fund the development and long-term maintenance of the public park.
4. Community engagement activities with youth, residents, businesses, churches, industrial companies, and organizational partners should be conducted to ensure the proposed development aligns with community the community's vision.

# GRACEMOUNT

## DEVELOPMENT PREFERENCES

- Single Family
- Duplexes
- Townhomes
- Greenspace



**\*SUBJECT TO FURTHER STUDY\***

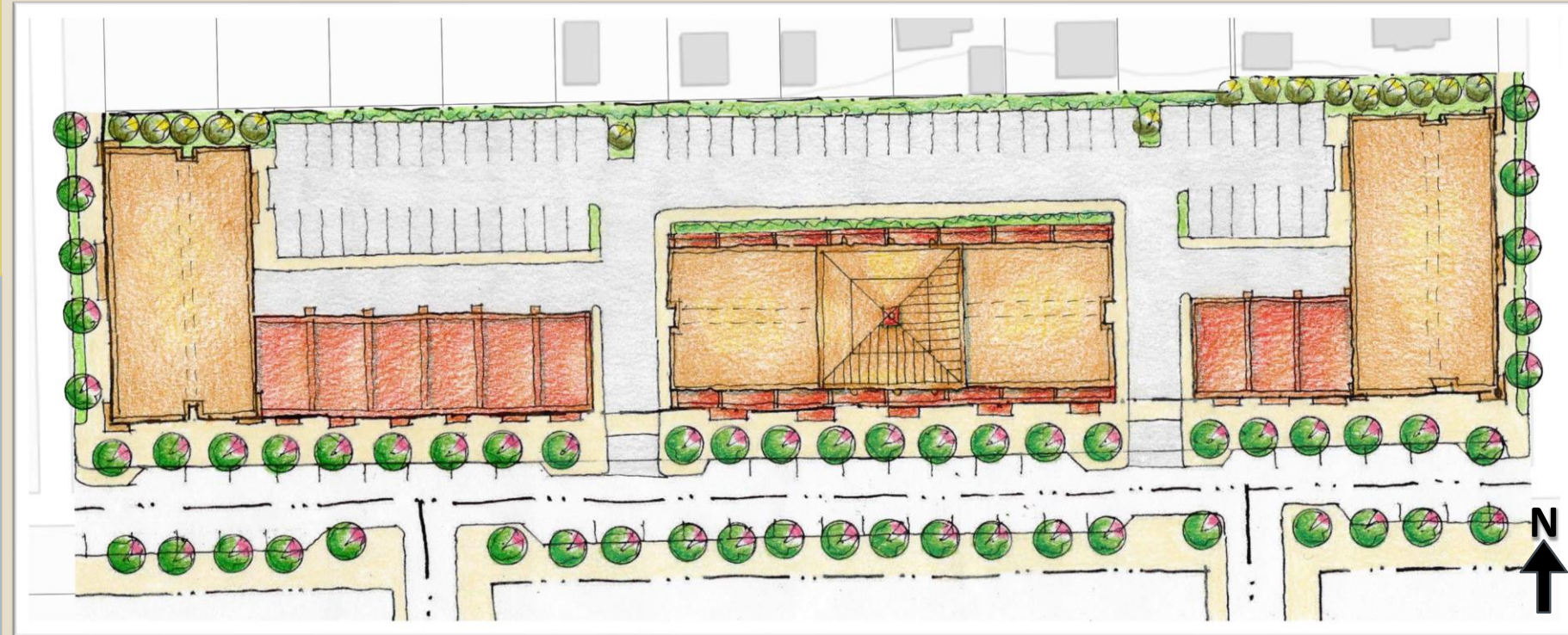
# ***LEE ROAD STREETScape GUIDING PRINCIPLES***

1. Provide a comfortable sidewalk or clear zone to accommodate pedestrian flow and activity.
2. Strongly recommend pedestrian lighting.
3. Streetscape amenities should provide both rest and gathering spaces, trash receptacles, bike racks, public art, and neighborhood history and branding markers.
4. Building placement should be set back no more than 5' from the right-of-way to enclose the public realm.
5. Storefronts should be transparent glass to bring life to the street.

# LEE ROAD BUILDING TYPOLOGIES

## DEVELOPMENT PREFERENCES

- Family Entertainment
- Mixed Use
- Neighborhood retail
- Restaurants
- Health Facility



**\*SUBJECT TO FURTHER STUDY\***

# ***MILES AVENUE***

## **DEVELOPMENT PREFERENCES**

- Adaptive reuse of existing buildings
- Additional retail options



**\*SUBJECT TO FURTHER STUDY\***



**IMPLEMENTATION  
RECOMMENDATIONS**



# IMPLEMENTATION STRATEGIES

## Economic Development Strategies

1. Create streamlined opportunities to access funding for new business to operate in Lee Harvard.
2. Track and inventory available commercial space to market to potential businesses.
3. Increase enforcement of code violations along Miles Avenue.
4. Utilize existing funds to assist business owners with exterior improvements.
5. Work with the community to create a neighborhood brand identity and marketing strategy to use for business recruitment and physical elements throughout the community and at gateway locations.

# ***IMPLEMENTATION STRATEGIES***

## **Lee Road Streetscape and Design Strategies**

1. Improve infrastructure along Lee Road to increase safety for all road users.
2. Improve/ Upgrade Transit Waiting Environments.
3. Create a Green Commercial District with planters, public art, and seating options along the street and in front of businesses.
4. Coordinate with the City of Cleveland on the redesign of Lee Road to provide for street trees, bioswales, and green infrastructure as a part of the overall streetscape implementation plan.

# ***IMPLEMENTATION STRATEGIES***

## **Housing Strategies**

1. Neighborhood-specific Homeowner Rehab Program
2. Neighborhood specific Down Payment Assistance Program
3. Property Tax Assistance Program
4. Develop new housing types to increase access to housing
5. Homeowner Education
6. Enhance condition and usability of existing greenspaces
7. Neighborhood Branding & Identity
8. Continued community engagement

# IMPLEMENTATION STRATEGIES

## Case Studies for Success

- Anti-Displacement Tax Fund - Atlanta, Georgia
  - Property tax assistance program administered by non-profit and funded primarily by philanthropic partners. Payments made directly to the County Tax Commissioner. 20 year program life.
- Wells Fargo (WORTH) Initiative –Atlanta, GA
  - Designed to create 40,000 new homes by 2025. Provides funds to local non-profits to assist people of color with downpayment, closing costs, and new homeowner education.
- Park Pride - Atlanta, GA
  - A non-profit that helps communities improve their local parks. Provide grants for design and improvements of new and existing parks, support initiatives such as community gardens, and events such as a round table series. Developed 3 new parks in the last 10 years.



**THANK YOU**

# Cleveland City Planning Commission

## Director's Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024

**Next meeting: March 15, 2024 at 9 A.M.**

- Form-Based Code**
- Transportation Demand Management Program**

March 1, 2024

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# Cleveland City Planning Commission

## Adjournment

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

March 1, 2024